

PLANNING NOTICE

An application has been received for a Permit under s.57 of the Land Use Planning Approvals Act 1993:

APPLICANT:	Wilson Homes - PA\26\0096
PROPERTY ADDRESS:	34 Scott Street HADSPEN (CT: 179547/1)
DEVELOPMENT:	Multiple dwellings (4 units) – frontage fence, parking areas.

The application can be inspected until **Monday, 1 December 2025**, at www.meander.tas.gov.au or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to planning@mvc.tas.gov.au. Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Dated at Westbury on 15 November 2025.

Jonathan Harmey
GENERAL MANAGER

APPLICATION FORM

PLANNING PERMIT

Land Use Planning and Approvals Act 1993



- Application form & details **MUST** be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

OFFICE USE ONLY

Property No:		Assessment No:		-		-	
DA\		PA\		PC\			

- Is your application the result of an illegal building work? ☐ Yes ☒ No Indicate by ✓ box
- Have you already received a Planning Review for this proposal? ☐ Yes ☒ No
- Is a new vehicle access or crossover required? ☐ Yes ☒ No

PROPERTY DETAILS:

Address:	34 Scott Street	Certificate of Title:	179547
Suburb:	Hadspen	7249	Lot No: 1
Land area:	1942m2	<i>m² / ha</i>	
Present use of land/building:	Vacant Land	<i>(vacant, residential, rural, industrial, commercial or forestry)</i>	

- Does the application involve Crown Land or Private access via a Crown Access Licence: ☐ Yes ☒ No
- Heritage Listed Property: Yes ☐ No

DETAILS OF USE OR DEVELOPMENT:

- Indicate by ✓ box
- | | | | |
|---|--|--------------------------------------|-------------------------------------|
| ☒ Building work | ☐ Change of use | ☐ Subdivision | ☐ Demolition |
| ☐ Forestry | ☐ Other | | |

Total cost of development (inclusive of GST): Includes total cost of building work, landscaping, road works and infrastructure

Description of work:

Use of building: (main use of proposed building – dwelling, garage, farm building, factory, office, shop)

New floor area: m² New building height: m

Materials: External walls: Colour:
Roof cladding: Colour:

SEARCH OF TORRENS TITLE

VOLUME 179547	FOLIO 1
EDITION 3	DATE OF ISSUE 09-Jun-2022

SEARCH DATE : 09-Oct-2025

SEARCH TIME : 09.09 AM

DESCRIPTION OF LAND

Town of HADSPEN

Lot 1 on Sealed Plan [179547](#)

Derivation : Part of 1000 Acres Gtd. to Alexander Clerk

Prior CT [117185/1](#)SCHEDULE 1

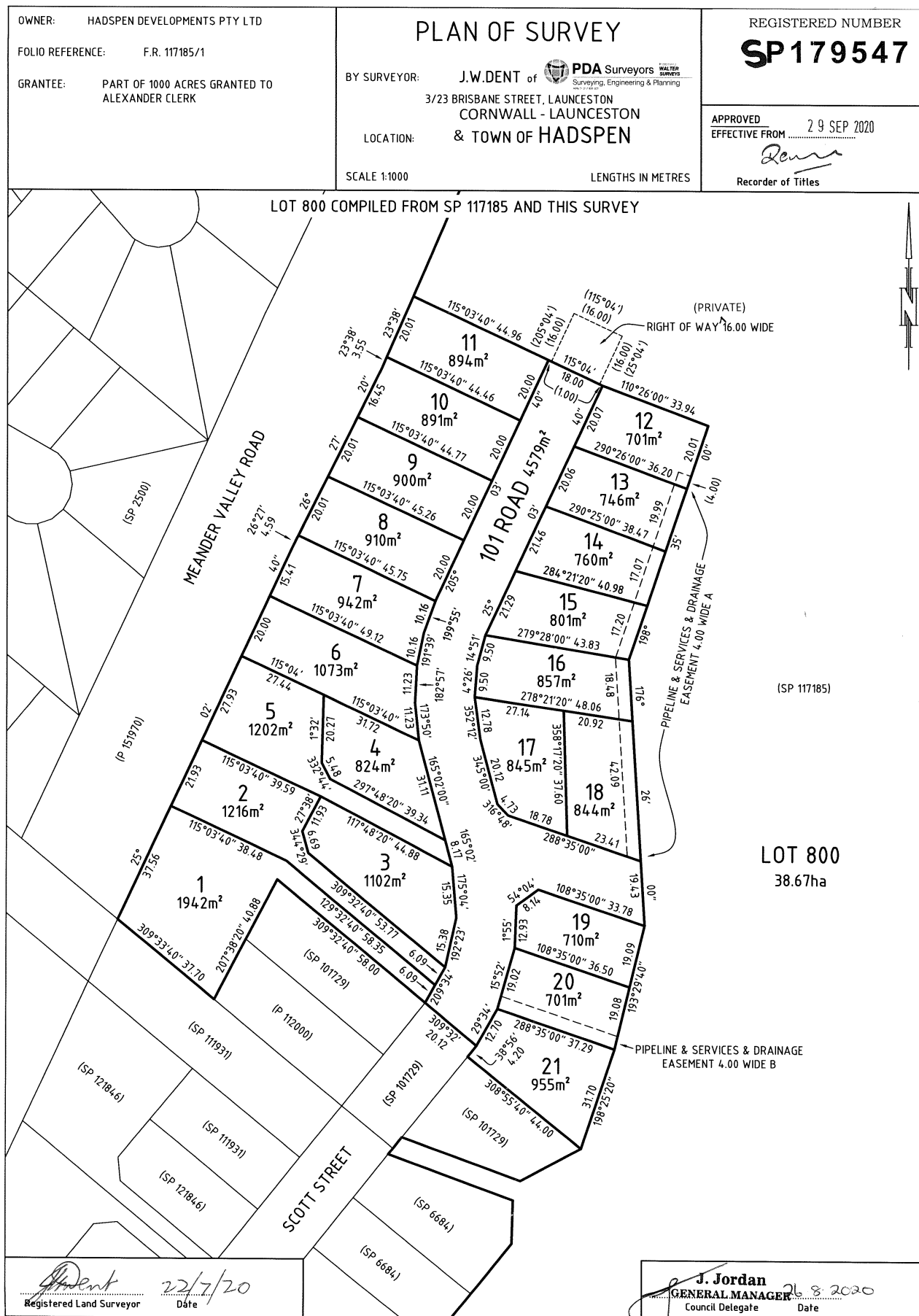
[M952605](#) TRANSFER to JYE CLINTON TYRRELL Registered
09-Jun-2022 at noon

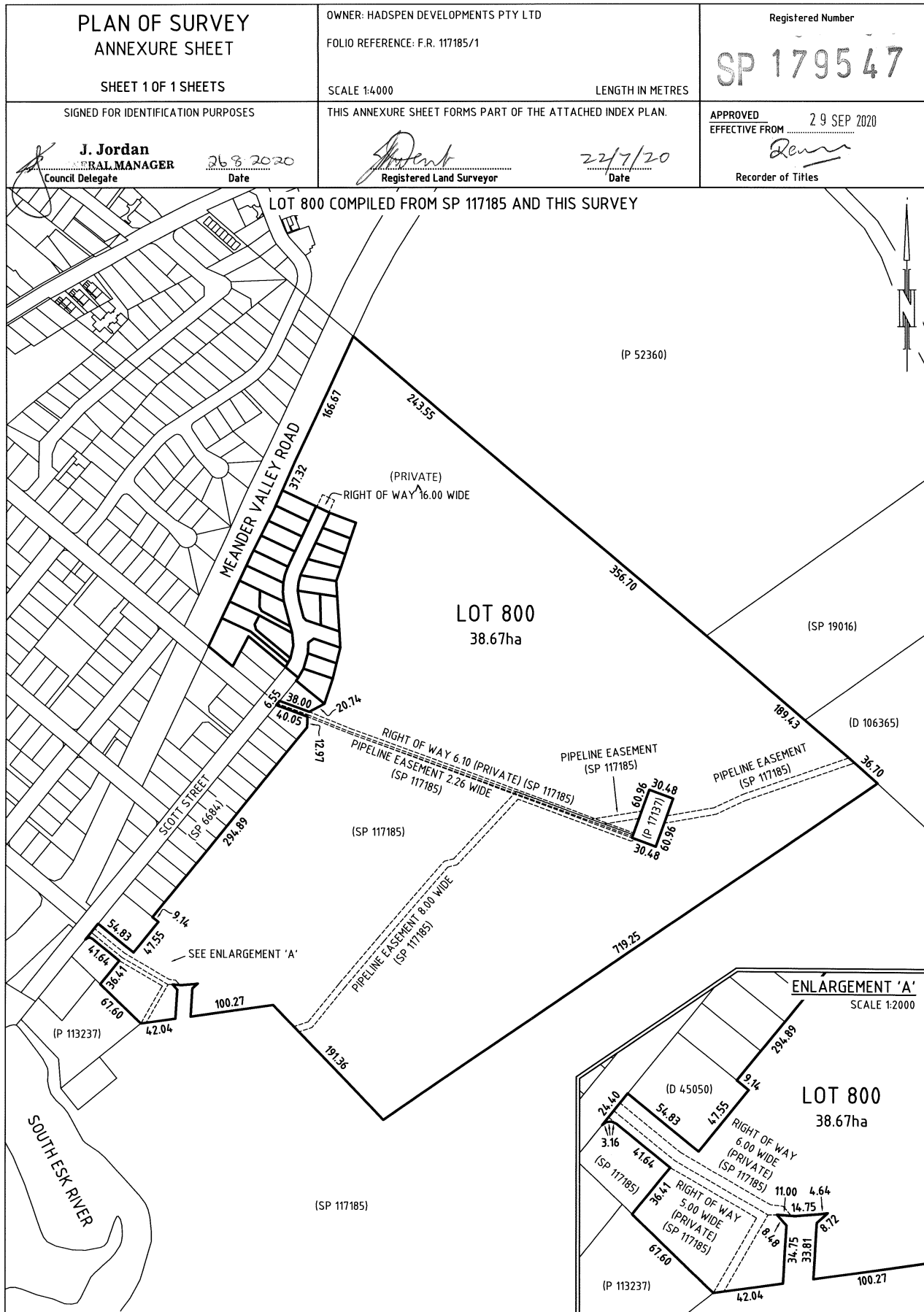
SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[SP179547](#) COVENANTS in Schedule of Easements
[SP179547](#) FENCING COVENANT in Schedule of Easements
[SP117185](#) COVENANTS in Schedule of Easements
[SP117185](#) FENCING COVENANT in Schedule of Easements
[SP117185](#) WATER SUPPLY RESTRICTION
[SP117185](#) SEWERAGE AND/OR DRAINAGE RESTRICTION
[B461495](#) PROCLAMATION under Section 9A and 52A of the Roads
and Jetties Act 1935 Registered 19-Sep-1991 at noon
[B675375](#) PROCLAMATION under Section 9A and 52A of the Roads
and Jetties Act 1935 Registered 22-Mar-1994 at noon
[E306374](#) MORTGAGE to Westpac Banking Corporation Registered
09-Jun-2022 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations





SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	3P 1795 47

EASEMENTS AND PROFITS

PAGE 1 OF 3 PAGE/S
4

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lots 12, 13, 14, 15, 16 and 18 on the Plan are each subject to a Right of Drainage in favour of the Meander Valley Council over the area marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE A" shown passing through those lots on the Plan.

Lots 12, 13, 14, 15, 16 and 18 on the Plan are each subject to a ^{Pty Ltd} Pipeline and Services Easement (as herein defined) in gross in favour of Tasmanian Water and Sewerage Corporation ("TasWater") over the area marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE A" shown passing through those lots on the Plan.

Lot 20 on the Plan is subject to a Right of Drainage in favour of the Meander Valley Council over the area marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE B" shown passing through Lot 20 on the Plan.

Lot 20 on the Plan is subject to a ^{Pty Ltd} Pipeline and Services Easement (as herein defined) in gross in favour of Tasmanian Water and Sewerage Corporation ("TasWater") over the area marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE B" shown passing through Lot 20 on the Plan.

Lot 800 on the Plan is subject to a Right of Carriageway in favour of the Meander Valley Council over the area marked "RIGHT OF WAY 16.00 WIDE" shown passing through Lot 800 on the Plan.
(PRIVATE)

INTERPRETATION

In this Schedule of Easements, "Pipeline & Services Easement" means:-

The full right and liberty for TasWater at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
 - (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
 - (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
 - (4) remove and replace the Infrastructure;
 - (5) run and pass sewage, water and electricity through and along the Infrastructure;
 - (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
- (1) without doing unnecessary damage to the Easement Land; and
 - (2) leaving the Easement Land in a clean and tidy condition; and

A.W. Hansen

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Hadspen Developments Pty Ltd	PLAN SEALED BY: Meander Valley Council
FOLIO REF: Certificate of Title Volume 117185 Folio 1	DATE: 26 August 2020
SOLICITOR & REFERENCE: Sproal & Associates – Barry Sproal	J. Jordan GENERAL MANA..... Council Delegate
REF NO. PA/19/1014	
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 4 PAGES 4	Registered Number SP 1795 47
SUBDIVIDER: Hadspen Developments Pty Ltd FOLIO REFERENCE: Volume 117185 Folio 1	

- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and
- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

Provided always that:

- (1) The registered proprietors of the Lot in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained (which cannot be unreasonably refused) and only in compliance with any conditions which form the consent:
- (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do anything which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lot.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
- (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
- (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace anything that supported, protected or covered the Infrastructure.

Interpretation:

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) anything reasonably required to support, protect or cover any of the Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 4 PAGES	Registered Number SP 179547
SUBDIVIDER: Hadspen Developments Pty Ltd FOLIO REFERENCE: Volume 117185 Folio 1	

Lot 800 on the Plan is subject to a Right of Carriage Way (appurtenant to the Rivers and Water Supply Commission) over the area marked "RIGHT OF WAY 6.10 WIDE (PRIVATE) (SP117185)" shown passing through Lot 800 on the Plan.

Lot 800 on the Plan is subject to a Right of Carriage Way (appurtenant to Lot 4 on SP117185) over the area marked "RIGHT OF WAY 6.00 WIDE (PRIVATE) (SP117185)" shown passing through Lot 800 on the Plan.

Lot 800 on the Plan is subject to a Right of Carriage Way in favour of the Rivers and Water Supply Commission over the area marked "RIGHT OF WAY 5.00 WIDE (PRIVATE) (SP117185)" shown passing through Lot 800 on the Plan.

Lot 800 on the Plan is subject to a Pipeline Easement (as herein defined) in favour of the Rivers and Water Supply Commission over the area marked "PIPELINE EASEMENT 2.26 WIDE (SP117185)" shown passing through Lot 800 on the Plan together with a right of entry for maintenance.

Lot 800 on the Plan is subject to a Pipeline Easement (as herein defined) and a Right of Carriage Way in favour of the Rivers and Water Supply Commission over the area marked "PIPELINE EASEMENT 8.00 WIDE (SP117185)" shown passing through Lot 800 on the Plan.

Lot 800 on the Plan is subject to a Pipeline Easement (as herein defined) in favour of the Rivers and Water Supply Commission over the areas marked "PIPELINE EASEMENT (SP117185)" shown passing through Lot 800 on the Plan.

INTERPRETATION

In this Schedule of Easements "Pipeline Easement" means:

The full and free right and liberty to draw water through pipes now or to be installed as hereinafter appears within that portion of each Lot subject thereto marked pipeline easement on the plan and for that purpose to enter thereon and to lay in, under and upon the pipeline easement such pipe or pipes as shall from time to time be necessary for the purposes aforesaid and to draw water through such pipes and at all times to enter into and upon the pipeline easement for the purpose of maintaining any pumping system and inspecting, cleaning, maintaining, removing and renewing such pipes and to carry out all necessary work thereon causing as little damage as possible and making reasonable compensation for all damage done or caused thereby.

COVENANTS

Each Lot on the Plan is burdened by the restrictive covenants created by and more fully set forth in SP117185.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 3 PAGES 4 4	Registered Number SP 179547
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FENCING COVENANT

The Owner of each lot on the Plan covenants with the Vendor (Hadspen Developments Pty Ltd) that the Vendor shall not be required to fence.

EXECUTED by HADSPEN DEVELOPMENTS PTY LTD
being the registered proprietor of the lands comprised in
folio of the Register Volume 117185 Folio 1 in accordance
with Section 127 of the Corporations Act 2001:

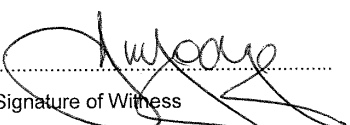

.....
Anthony William Saunders
Director


.....
Barry David Sprial
Director

SIGNED for and on behalf of COMMONWEALTH BANK OF
AUSTRALIA ABN 48 123 123 124 by its Attorney)
Jenny Cahoon under Power dated 25/7/2008, registered)
number PA28019 dated who certifies that he/she is)
Relationship Executive of COMMONWEALTH BANK of)
AUSTRALIA)
in the presence of:)

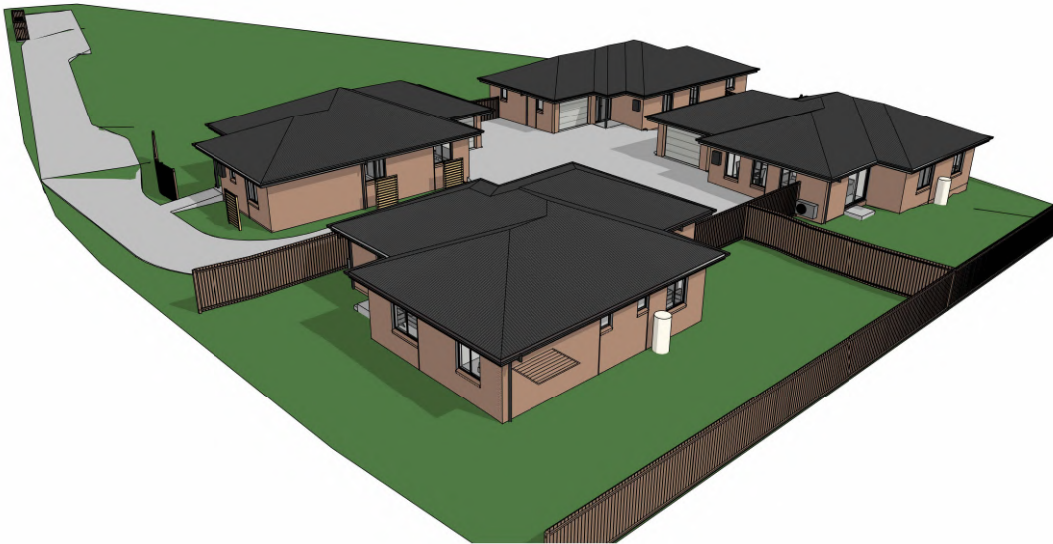
COMMONWEALTH BANK OF AUSTRALIA by its
attorney


.....


.....
Signature of Witness

JODI LODGE, LVL 1 97 BRISBANE ST, LAUNCESTON
Name of Witness

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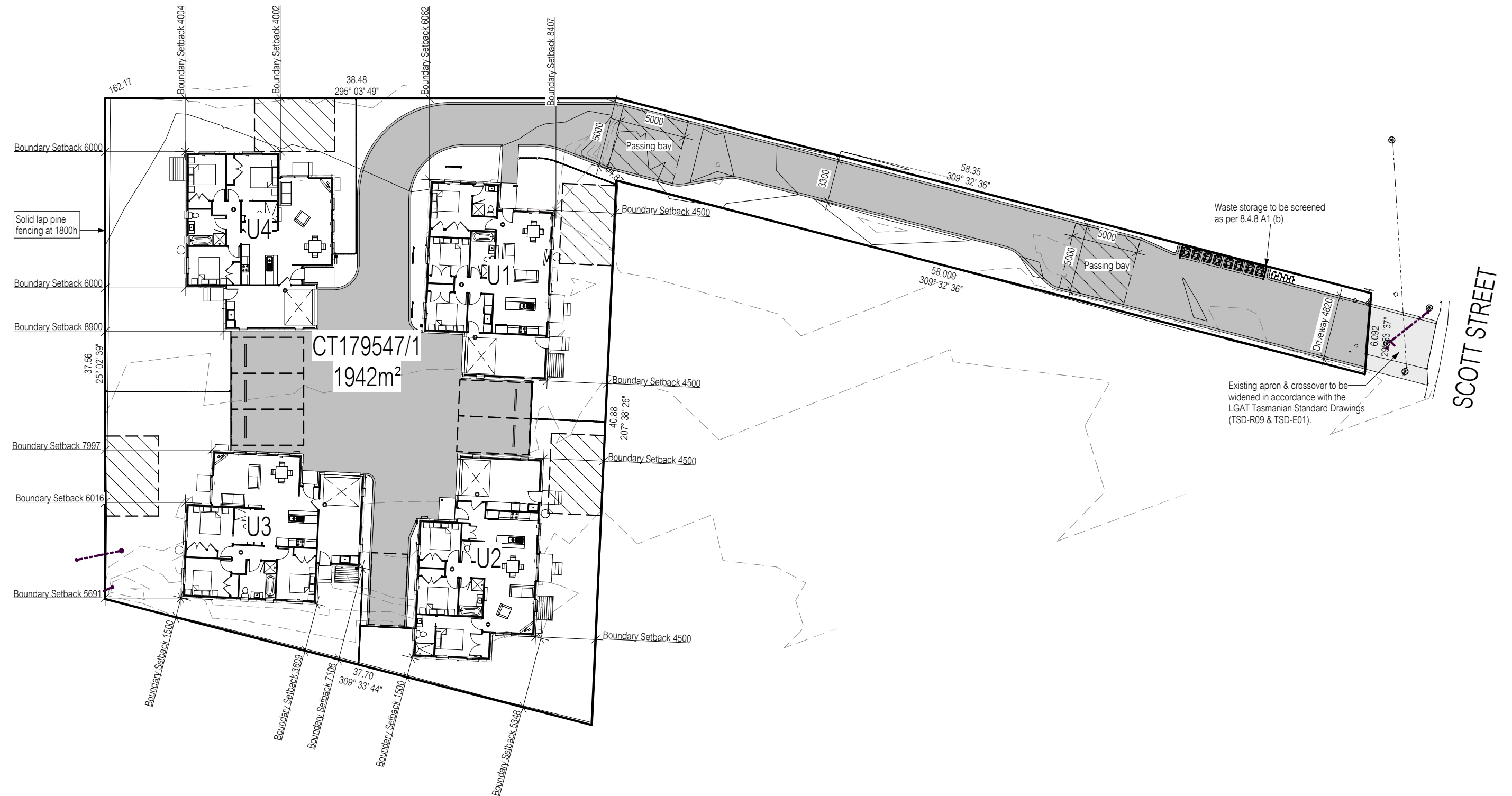
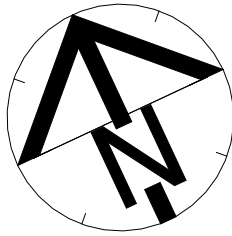


WH713525 - PROPOSED TYRRELL UNIT DEVELOPMENT
34 Scott Street
HADSPEN

SHEET		DRAWING TITLE	SHEET		DRAWING TITLE
01	G	LOCATION PLAN	15	D	UNIT 2 ELECTRICAL PLAN
01a	G	SITE PLAN SHEET 1	16	C	UNIT 2 CALCULATIONS & SCHEDULES
01b	G	SITE PLAN SHEET 2	17		UNIT 2 ROOF PLAN
01c	F	LANDSCAPING PLAN	18	F	UNIT 3 FLOOR PLAN
01d	F	SOIL & WATER MANAGEMENT PLAN	18a	F	UNIT 3 WET AREA PLAN
01e	F	MANOEUVRING PLAN SHEET 1	19	F	UNIT 3 ELEVATIONS
01f	F	MANOEUVRING PLAN SHEET 2	20	F	UNIT 3 SLAB SETOUT PLAN
01g	F	MANOEUVRING PLAN SHEET 3	21	D	SECTION CC
01h	F	PERSPECTIVE VIEWS	22		UNIT 3 WINDOW FLASHING DETAIL
02	F	UNIT 1 FLOOR PLAN	23	F	UNIT 3 ELECTRICAL PLAN
02a	F	UNIT 1 WET AREA PLAN	24	C	UNIT 3 CALCULATIONS & SCHEDULES
03	E	UNIT 1 ELEVATIONS	25		UNIT 3 ROOF PLAN
04	D	UNIT 1 SLAB SETOUT PLAN	26	F	UNIT 4 FLOOR PLAN
05	D	SECTION AA	26a	F	UNIT 4 WET AREA PLAN
06		UNIT 1 WINDOW FLASHING DETAIL	27	F	UNIT 4 ELEVATIONS
07	D	UNIT 1 ELECTRICAL PLAN	28	F	UNIT 4 SLAB SETOUT PLAN
08	C	UNIT 1 CALCULATIONS & SCHEDULES	29	D	SECTION DD
09		UNIT 1 ROOF PLAN	30		UNIT 4 WINDOW FLASHING DETAIL
10	F	UNIT 2 FLOOR PLAN	31	F	UNIT 4 ELECTRICAL PLAN
10a	F	UNIT 2 WET AREA PLAN	32	C	UNIT 4 CALCULATIONS & SCHEDULES
11	E	UNIT 2 ELEVATIONS	33		UNIT 4 ROOF PLAN
12	D	UNIT 2 SLAB SETOUT PLAN	34		STANDARD NOTES
13	D	SECTION BB	34a		ENERGY EFFICIENCY NOTES
14		UNIT 2 WINDOW FLASHING DETAIL	34b		WET AREAS NOTES
			34c		BAL LOW SPECIFICATIONS

G	Remove storage shed, U1 - Bed 1 window to be screened, Screening to be provided to bin storage.	10 Nov. 2025	SW	ST	01 - 01b
	BA PLAN SET - NEW LAYOUT	04 Oct. 2023	KV	RJ	01 - 34
F	Check Hydraulic and civil plans, Provide landing outside living aea for U3 and U4, Revise ORG location as per hydraulic plans.	04 Oct. 2023	KV	RJ	01 - 02a,10,10a 18-20,23,26-28 &31
E	Changes to floor plans as requested.	05 July 2023	RJ	CK	01,01a,01c02,03,10,11, 18,19,26 & 27
D	Changes as per civil plans: Revise floor levels and driveway, Provide wet area plans for each units, Provide niche to all showers, Relocate bin area at front of site, Relocate letter boxes, Update relevant plans.	01 February 2023	KV	CK	01-05, 10-13, 15, 18-21, 23, 26-29 & 31
	BA PLAN SET	06 Oct. 22	RJ	CK	01-34
C	Show external colours in perspectives to reflect actual colour selections, additional electrical items & changes as requested, update Lighting calcs to reflect changes.	05 Oct. 22	RJ	KV	01,01a,01e-03a,04a, 05a, Electrical & Calcs
B	Council RFI: Provided 1800h Fence to rear of the site	10 Aug. 2022	KV	RJ	01,01a,01e & 01j
A	Client changes: Remove Detention tanks & Footpath	13 July 2022	KV	CK	01 - 01i
	DA PLAN SET	23 June 2022	KV	CK	01 - 05
No.	Amendment	Date	Drawn	Checked	Sheet

Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info	Soil Classification: Title Reference: Floor Areas: Porch / Deck Areas: Wind Speed: Climate Zone: Alpine Zone: Corrosion Environment: Certified BAL: Designed BAL: (Refer to Standard Notes for Explanation)	P CT179547/1 Refer Floor Plans Refer Floor Plans N2 7 N/A Moderate BAL LOW BAL LOW	COVER SHEET				
	ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED TYRRELL UNIT DEVELOPMENT 34 Scott Street HADSPEN				WH713525			
					Date	23 June 2022	Sheet		
					Scale				
00/34									



G	10 Nov. 2025	SW
F	04 Oct. 2023	KV
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Amendment changes as per cover sheet

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Designer:

ANOTHER PERSPECTIVE PTY LTD
PO BOX 21
NEW TOWN
LIC. NO. CC2204H (A. Strugnelli)
Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

Client / Project info

PROPOSED TYRRELL UNIT DEVELOPMENT
34 Scott Street
HADSPEN



LOCATION PLAN

Drawn	KV	WH713525
Date	23 June 2022	Sheet
Scale	1 : 300	

01/34



Note:
Refer to Civil plans document no.22.0253
by GANDY & ROBERTS for driveway
design and levels.

EXPLANATORY NOTES: MEANDER VALLEY COUNCIL INTERIM PLANNING SCHEME		
8.4.1 - Residential density for multiple dwellings		
A1	(a)	Site Density: Min. 325m² per unit 1942m² / 4 (units) = 485.5m² provided
8.4.3 - Site coverage and private open space for all dwellings		
A1	(a)	Site Coverage: Max. 50% of site = 971m² Proposed site coverage (excl. eaves up to 0.6m): 507.8m² (26.14%)

U1 FFL	162.35
U2 FFL	162.05
U3 FFL	162.00
U4 FFL	162.35



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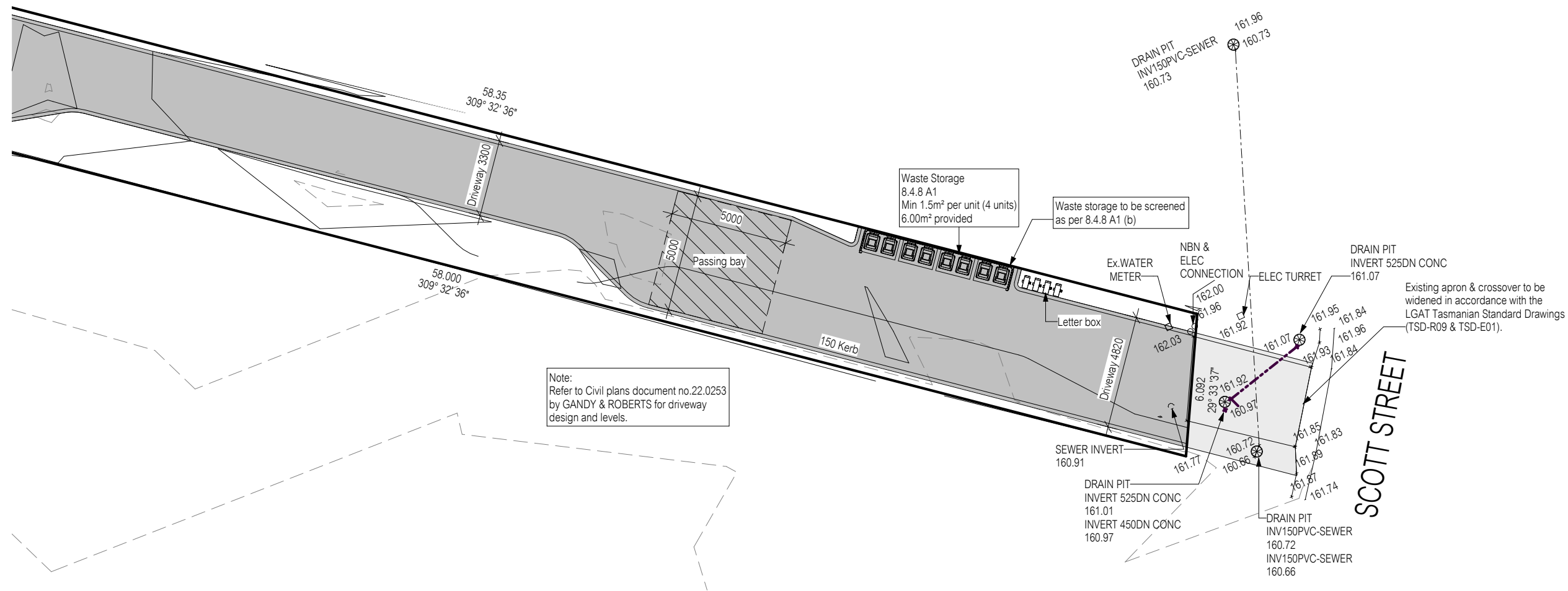
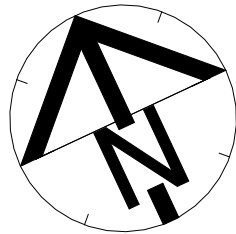
Client / Project info

PROPOSED TYRRELL UNIT DEVELOPMENT

34 Scott Street
HADSPEN



SITE PLAN SHEET 1		
Drawn	KV	WH713525
Date	23 June 2022	Sheet
Scale	1:200	01a/34



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F	04 Oct. 2023	KV
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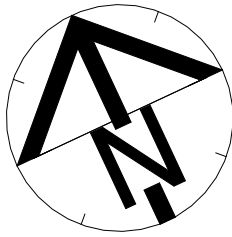
Designer:
ANOTHER PERSPECTIVE PTY LTD
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Client / Project info
PROPOSED TYRRELL UNIT DEVELOPMENT
34 Scott Street
HADSPEN



SITE PLAN SHEET 2

Drawn	KV	WH713525
Date	23 June 2022	Sheet
Scale	1 : 200	01b/34



F	04 Oct. 2023	KV
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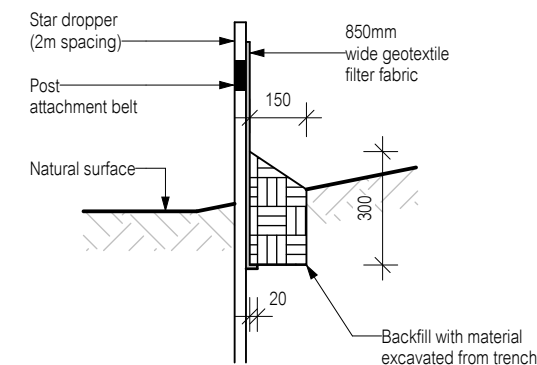
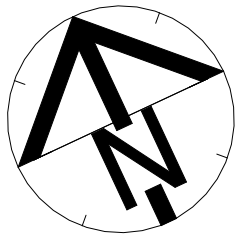
PROPOSED TYRRELL UNIT DEVELOPMENT
34 Scott Street
HADSPEN

m WILSON
MULTI

LANDSCAPING PLAN

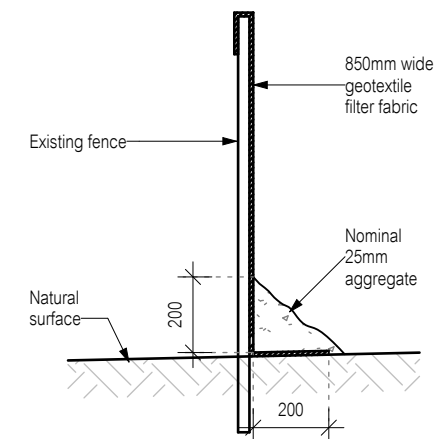
Drawn	KV	WH713525
Date	23 June 2022	Sheet
Scale	1 : 300	

01c/34



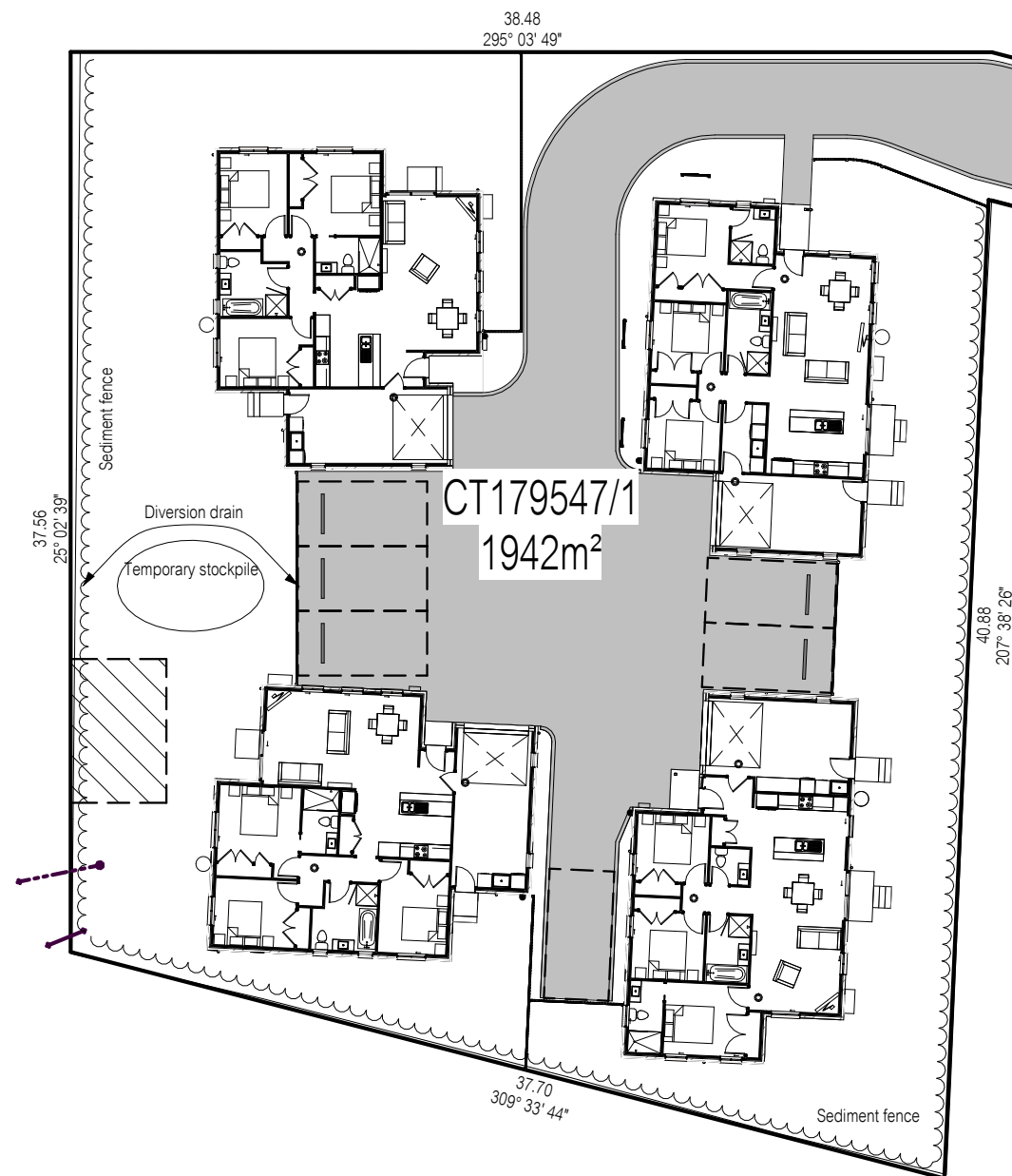
SILT STOP TYPE 1

TEMPORARY FENCE 1:20



SILT STOP TYPE 2

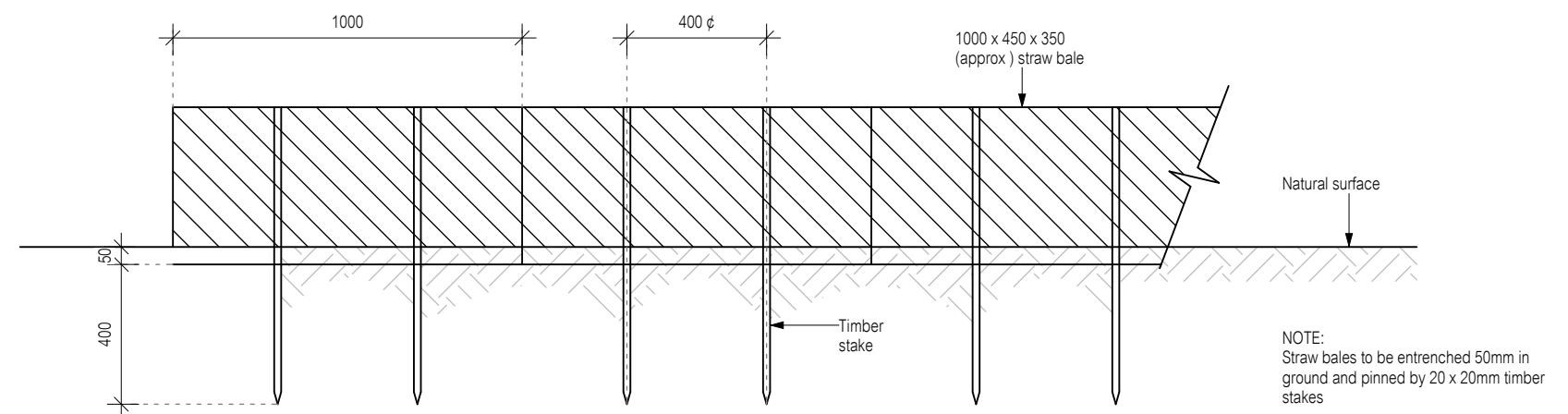
EXISTING FENCE 1:20



NOTES:
Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site

NOTES:
1. Diversion drains are to be connected to a legal discharge point. (council Stormwater system, watercourse or road drain).
2. Sediment retention traps installed around the inlets to the Stormwater system to prevent sediment & other debris blocking the drains.

NOTES:
1. Erosion and sediment control structures to be inspected each working day and maintained in good working order.
2. All ground cover vegetation outside the immediate building area to be preserved during the building phase
3. All erosion and sediment control measures to be installed prior to commencement of major earthworks.
4. Stockpiles of clayey material to be covered with an impervious sheet.
5. Roof water downpipes to be connected to the permanent underground Stormwater drainage system as soon as practical after the roof is laid



STRAW BALE SEDIMENT TRAP SECTION DETAIL

SCALE 1:20

F	04 Oct. 2023	KV
D	01 February 2023	KV
C	05 Oct. 22	RJ
A	13 July 2022	KV
No.	Date	Int.

Amendment changes as per cover sheet

Notes
• Builder to verify all dimensions and levels on site prior to commencement of work
• All work to be carried out in accordance with the current National Construction Code.
• All materials to be installed according to manufacturers specifications.
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• No changes permitted without consultation with designer.

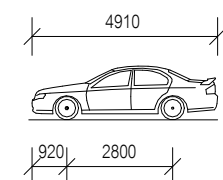
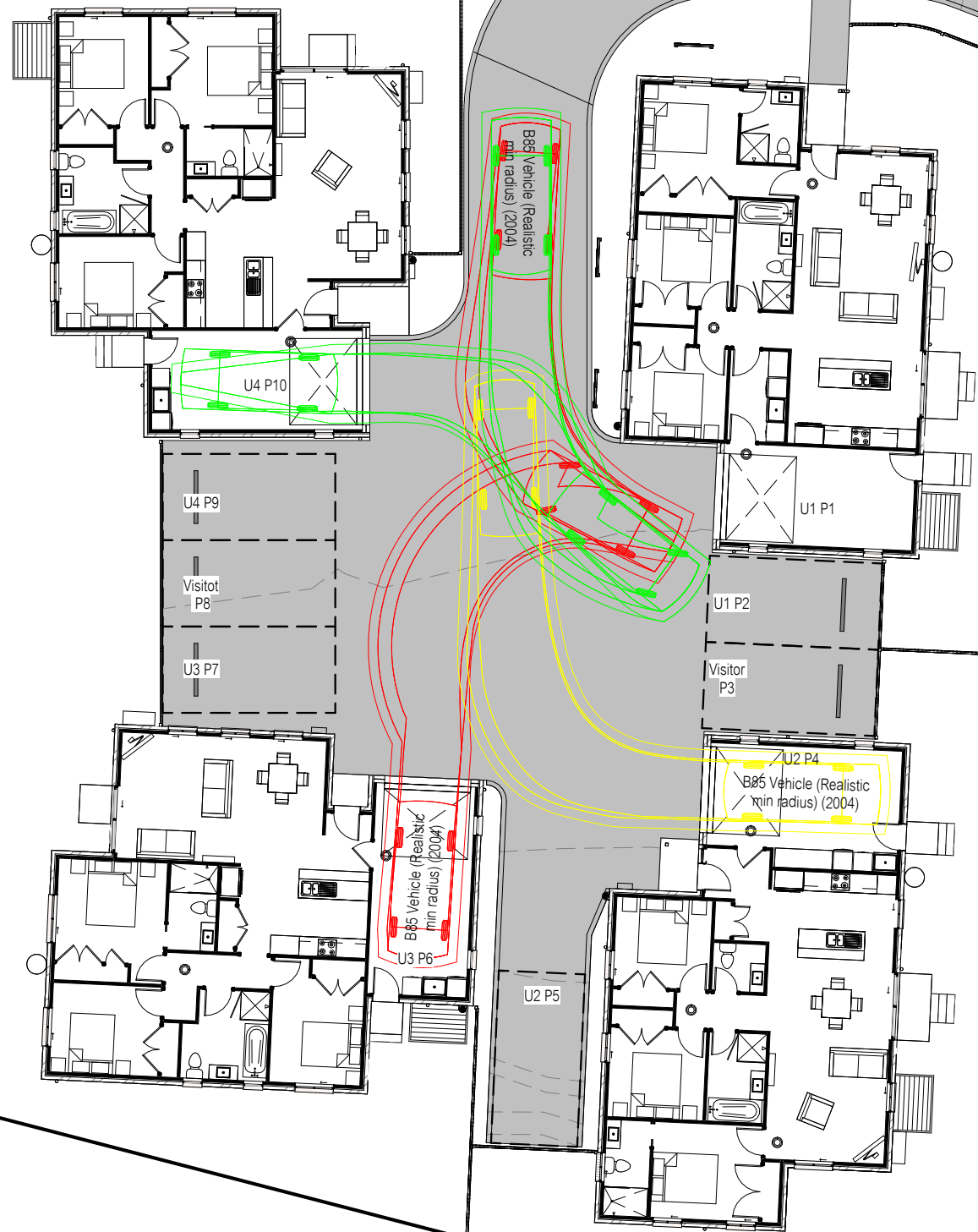
Designer:
ANOTHER PERSPECTIVE PTY LTD
PO BOX 21
NEW TOWN
LIC. NO. CC2204H (A. Strugnelli)
Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

Client / Project info
PROPOSED TYRRELL UNIT DEVELOPMENT
34 Scott Street
HADSPEN

m WILSON MULTI

SOIL & WATER MANAGEMENT PLAN

Drawn	KV	WH713525
Date	23 June 2022	Sheet
Scale	As indicated	01d/34



B85 Vehicle (Realistic min radius) (2004)

Overall Length	4.910m
Overall Width	1.870m
Overall Body Height	1.421m
Min Body Ground Clearance	0.159m
Track Width	1.770m
Lock to Lock Time	4.00s
Curb to Curb Turning Radius	5.750m

* Manoeuvring has been achieved using 'autotrack 10' Manoeuvring software.

F	04 Oct. 2023	KV
D	01 February 2023	KV
C	05 Oct. 22	RJ
A	13 July 2022	KV
No.	Date	Int.

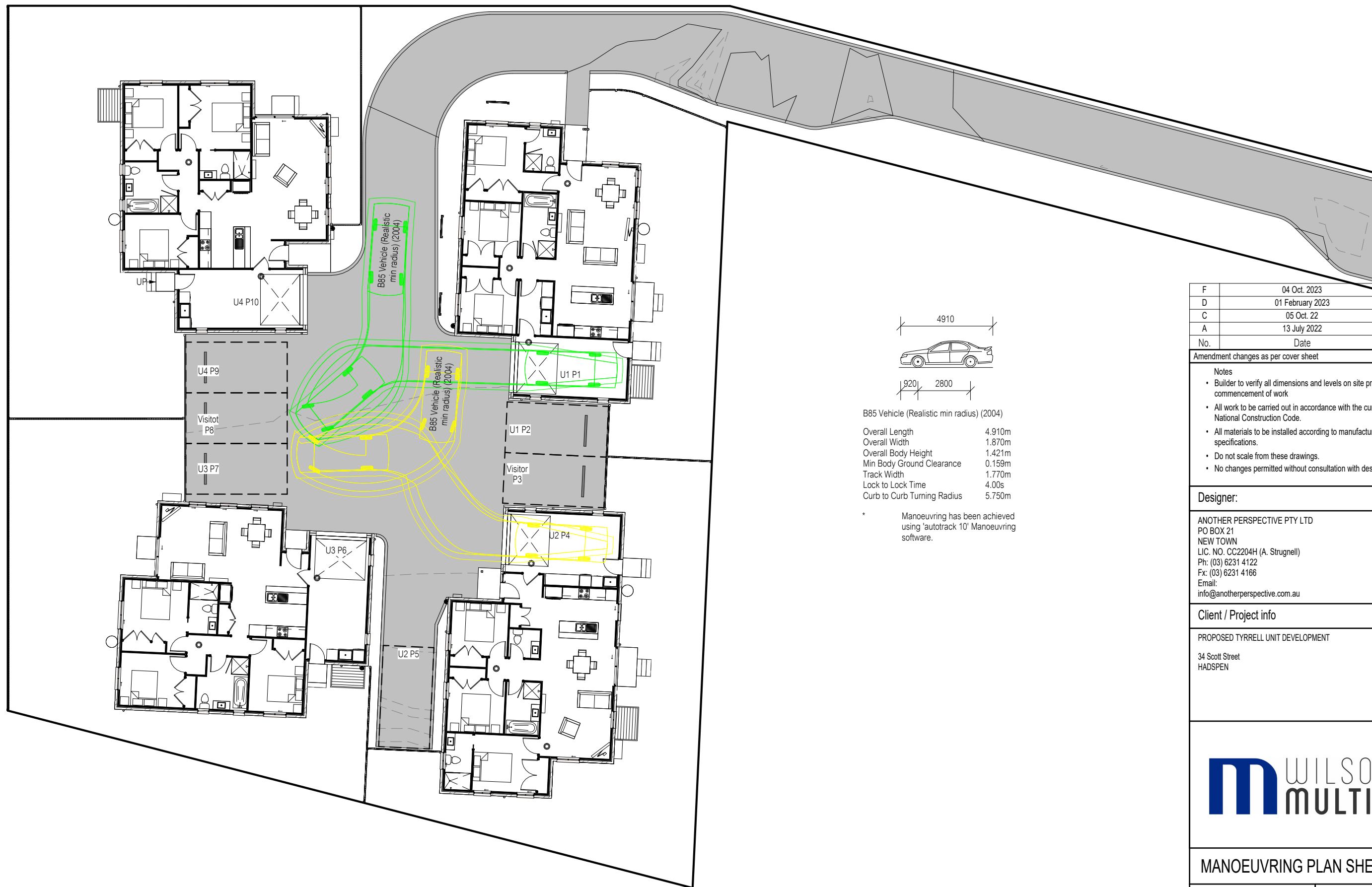
Amendment changes as per cover sheet	
Notes	
• Builder to verify all dimensions and levels on site prior to commencement of work	
• All work to be carried out in accordance with the current National Construction Code.	
• All materials to be installed according to manufacturers specifications.	
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• No changes permitted without consultation with designer.	

Designer:	
ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	

Client / Project info	
PROPOSED TYRRELL UNIT DEVELOPMENT 34 Scott Street HADSPEN	



MANOEUVRING PLAN SHEET 1	
Drawn	KV WH713525
Date	23 June 2022 Sheet
Scale	1 : 200 01e/34



F	04 Oct. 2023	KV
D	01 February 2023	KV
C	05 Oct. 22	RJ
A	13 July 2022	KV
No.	Date	Int.

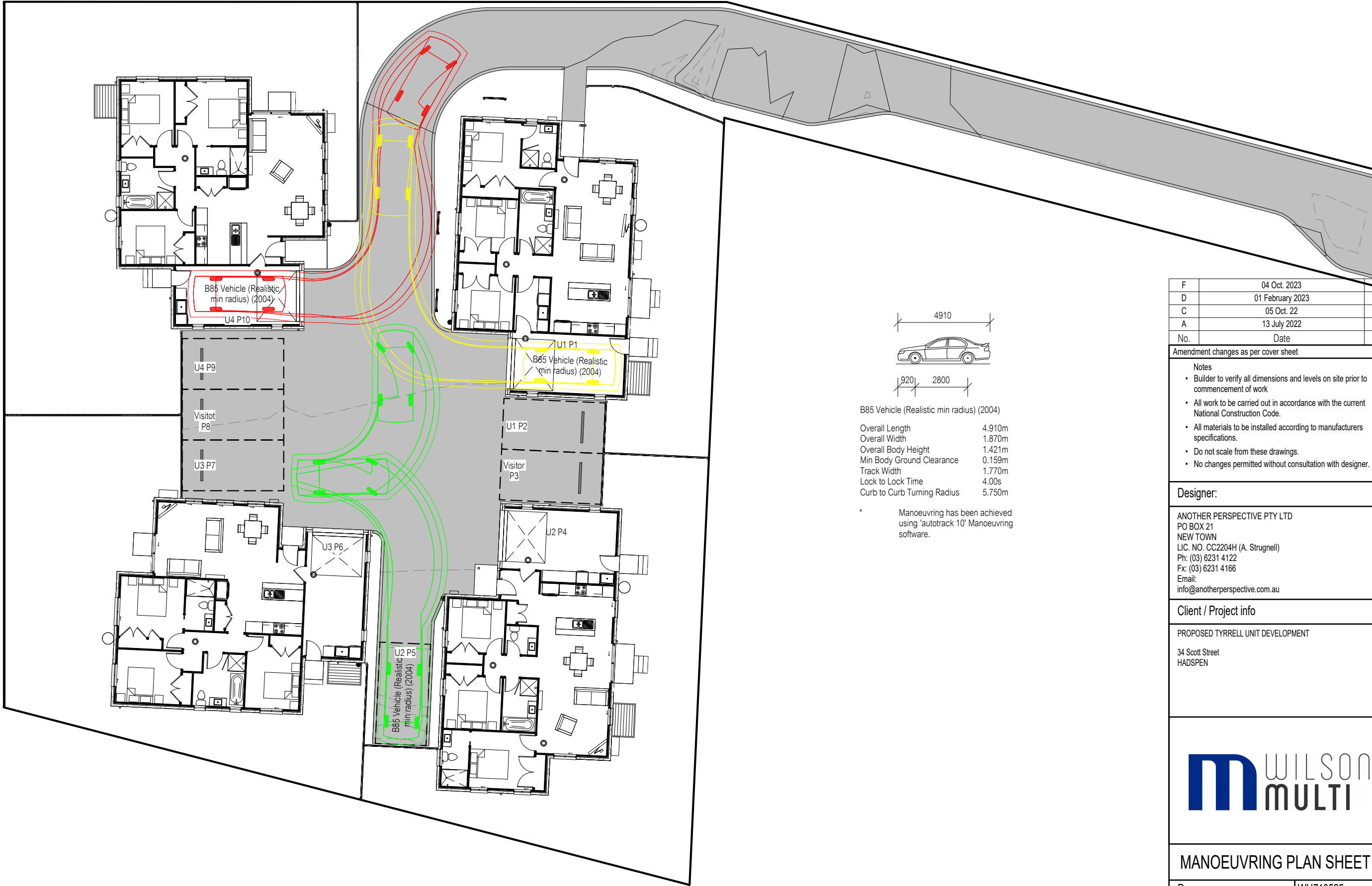
Amendment changes as per cover sheet
Notes
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• All materials to be installed according to manufacturers specifications.
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Designer:
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Client / Project info
PROPOSED TYRRELL UNIT DEVELOPMENT 34 Scott Street HADSPEN

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MANOEUVRING PLAN SHEET 2		
Drawn	KV	WH713525
Date	23 June 2022	Sheet
Scale	1 : 200	01f/34



F	04 Oct. 2023	KV
D	01 February 2023	KV
C	05 Oct. 22	RJ
A	13 July 2022	KV
No.	Date	Int.

Amendment changes as per cover sheet
Notes
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Designer:
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Client / Project info
PROPOSED TYRRELL UNIT DEVELOPMENT
34 Scott Street HADSPEN



MANOEUVRING PLAN SHEET 3		
Drawn	KV	WH713525
Date	23 June 2022	Sheet
Scale	1 : 200	01g/34



F	04 Oct. 2023	KV
D	01 February 2023	KV
C	05 Oct. 22	RJ
B	10 Aug. 2022	KV
No.	Date	Int.

Amendment changes as per cover sheet		Shadows shown for stylisations purpose only
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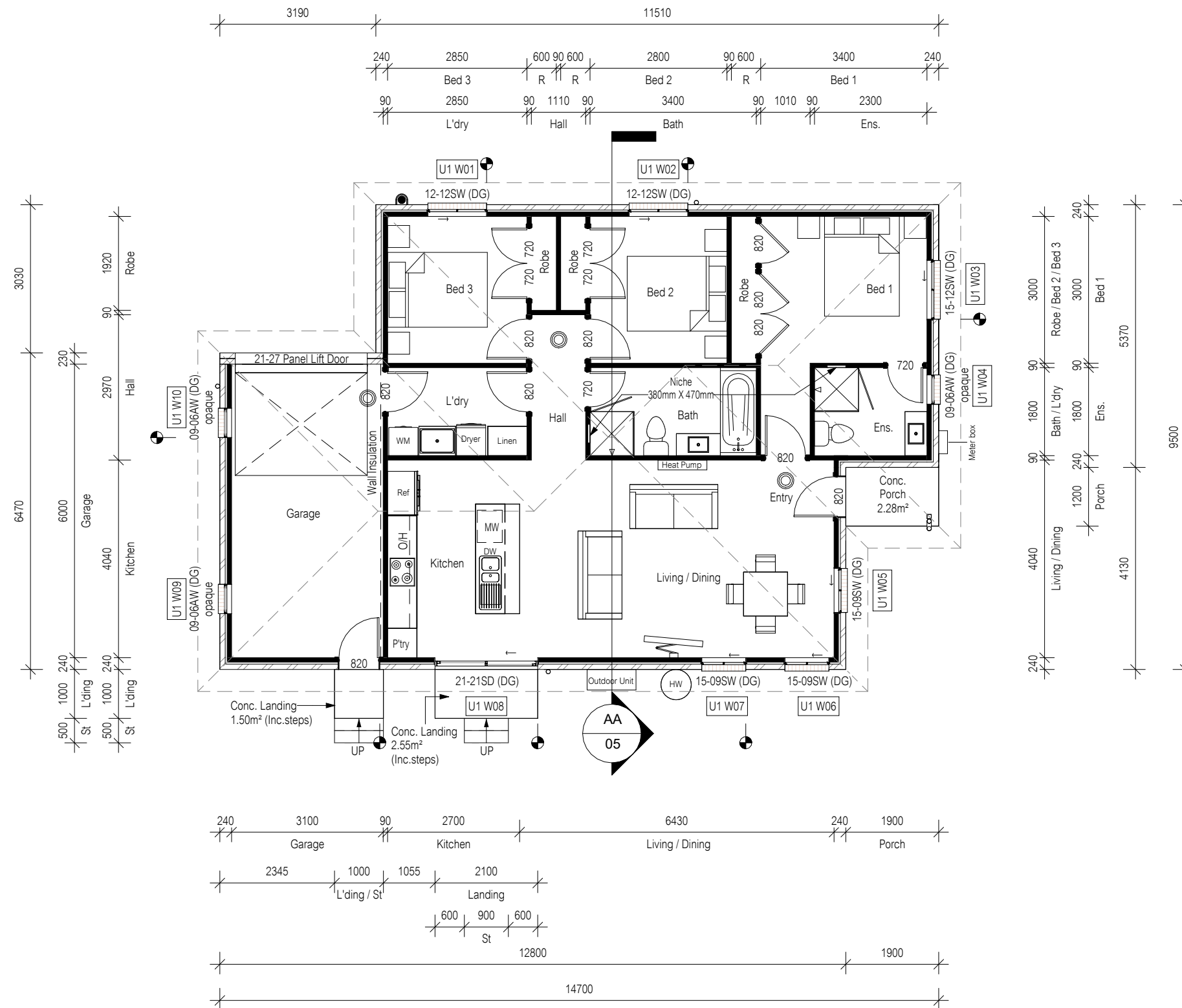
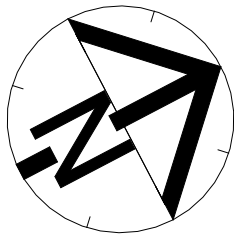
Notes
• Builder to verify all dimensions and levels on site prior to commencement of work
• All work to be carried out in accordance with the current National Construction Code.
• All materials to be installed according to manufacturers specifications.
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Designer:
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Client / Project info
PROPOSED TYRRELL UNIT DEVELOPMENT 34 Scott Street HADSPEN



PERSPECTIVE VIEWS	
Drawn KV	WH713525
Date 23 June 2022	Sheet
Scale	01h/34
Copyright ©	



F	04 Oct. 2023	KV
E	05 July 2023	RJ
D	01 February 2023	KV
C	05 Oct. 22	RJ
No.	Date	Int.

Floor Area = 122.14m ²	All window sizes to be checked and/or confirmed on site prior to ordering glazing units
Articulation joints	
Smoke Alarm (interconnected where more than 1)	
Amendment changes as per cover sheet	

- Notes
- Builder to verify all dimensions and levels on site prior to commencement of work
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Designer:

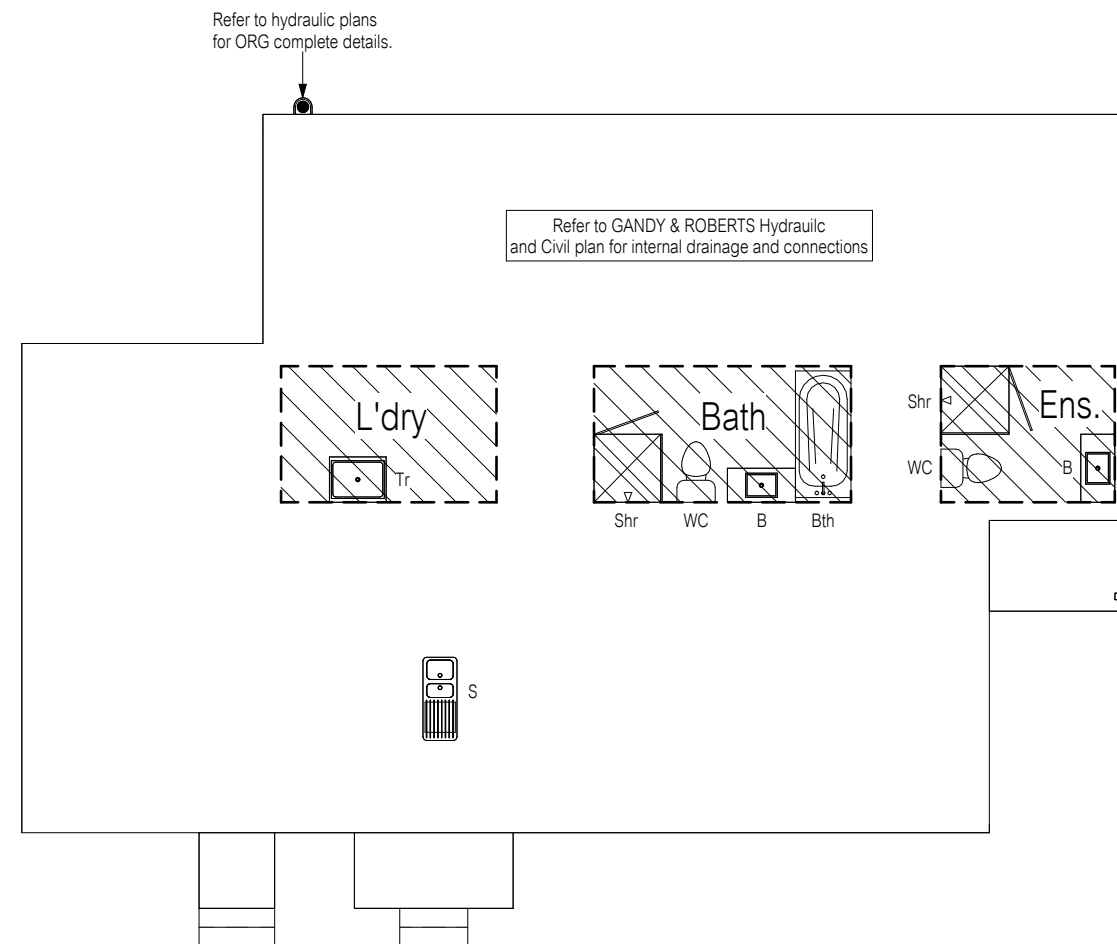
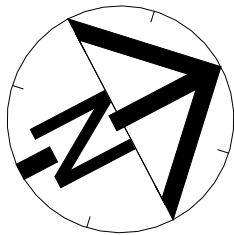
ANOTHER PERSPECTIVE PTY LTD
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Client / Project info

PROPOSED TYRRELL UNIT DEVELOPMENT
34 Scott Street
HADSPEN



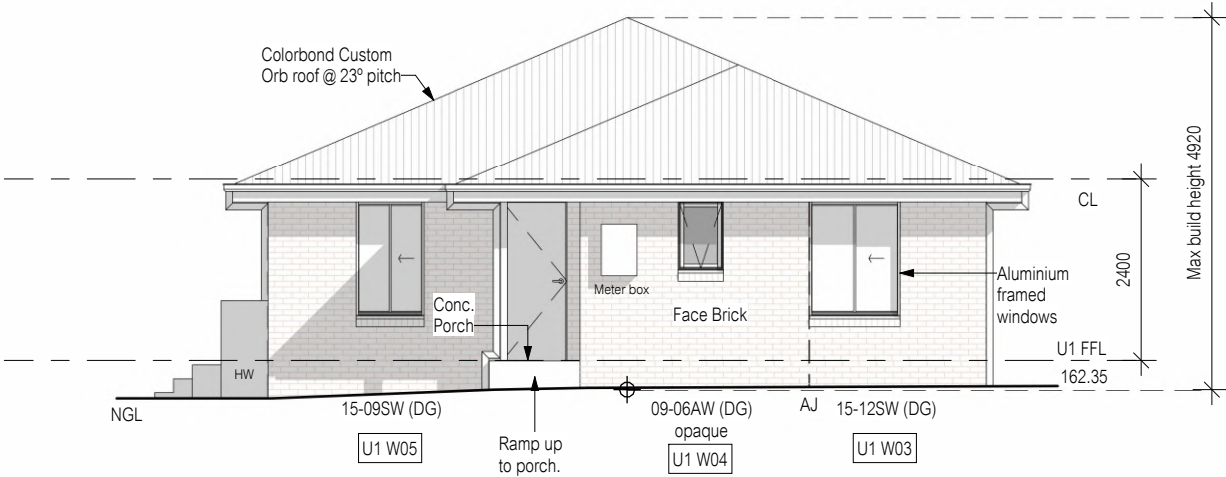
UNIT 1 FLOOR PLAN	
Drawn	KV
Date	23 June 2022
Scale	1 : 100
Copyright ©	
Sheet	
02/34	



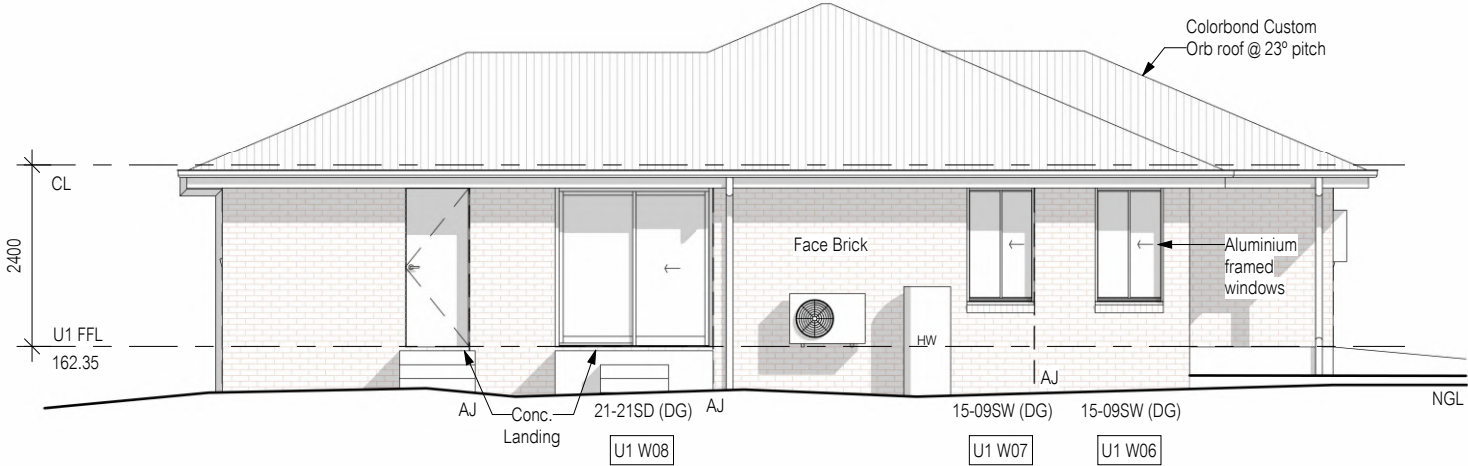
F	04 Oct. 2023	KV
D	01 February 2023	KV
No.	Date	Int.

Soil classification: P		 - Wet areas to comply with NCC 3.8.1.2 and AS3740	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		UNIT 1 WET AREA PLAN		
Refer to Soil Report for nominated founding depth and description of founding material.				ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnell) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED TYRRELL UNIT DEVELOPMENT 34 Scott Street HADSPEN		Drawn	KV	WH713525
All Materials and construction to comply with AS/NZ3500 Part 2 & Part 3:2003							Date	01 February 2023	Sheet
Amendment changes as per cover sheet							Scale	1 : 100	02a/34

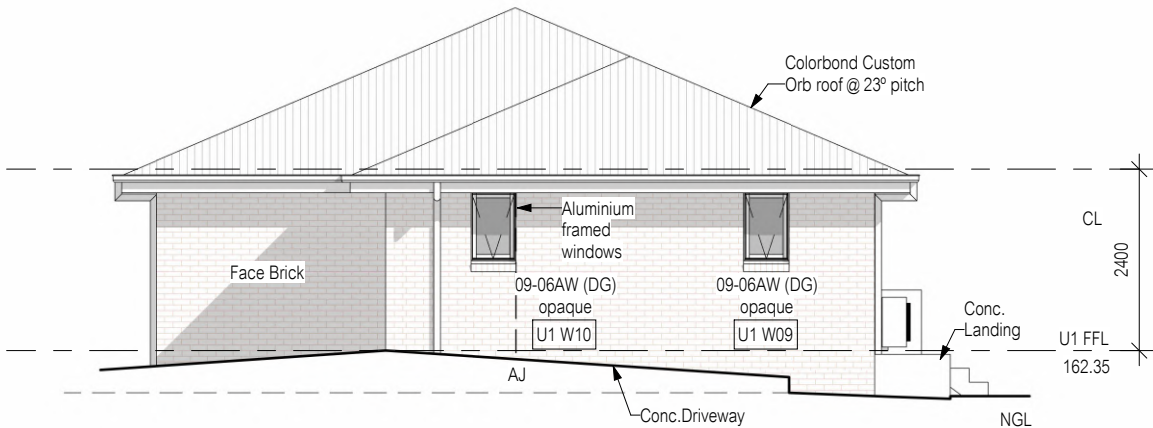
Material	Colour
Colorbond Roof	'Monument'
Face Brick	Austral Access 'Shale'



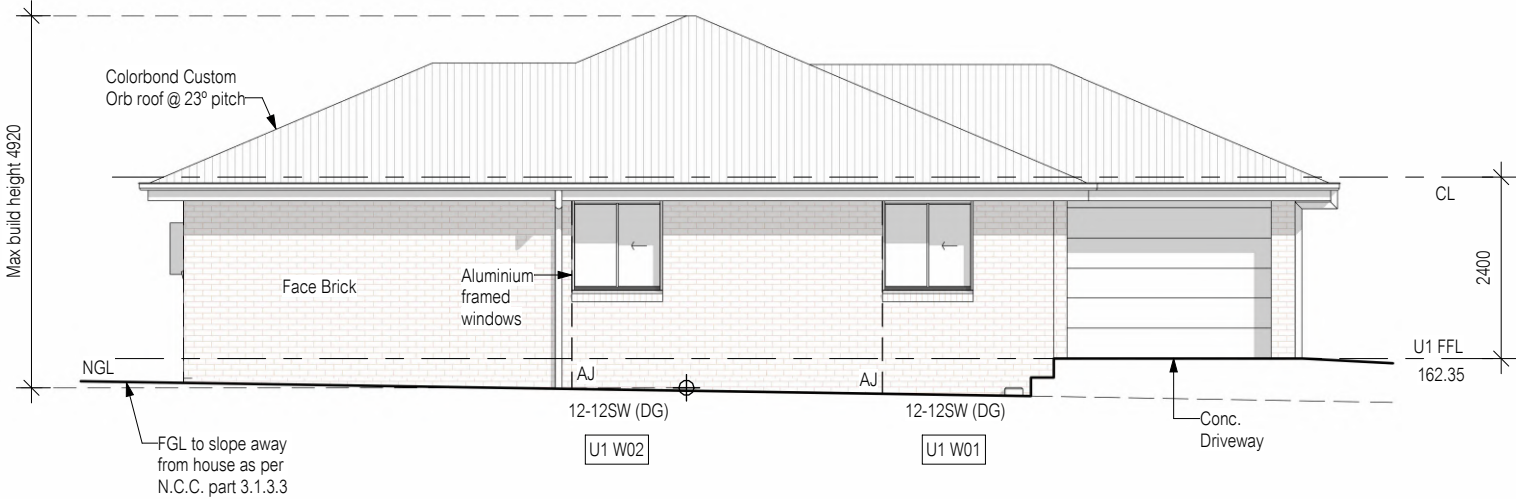
North East Elevation



South East Elevation



South West Elevation



North West Elevation

E	05 July 2023	RJ
D	01 February 2023	KV
C	05 Oct. 22	RJ
No.	Date	Int.

All window sizes to be checked and/or confirmed on site prior to ordering glazing units		LEGEND: AJ - Articulation Joint BV - Brick Vent
Amendment changes as per cover sheet		Shadows shown for stylisation purposes only

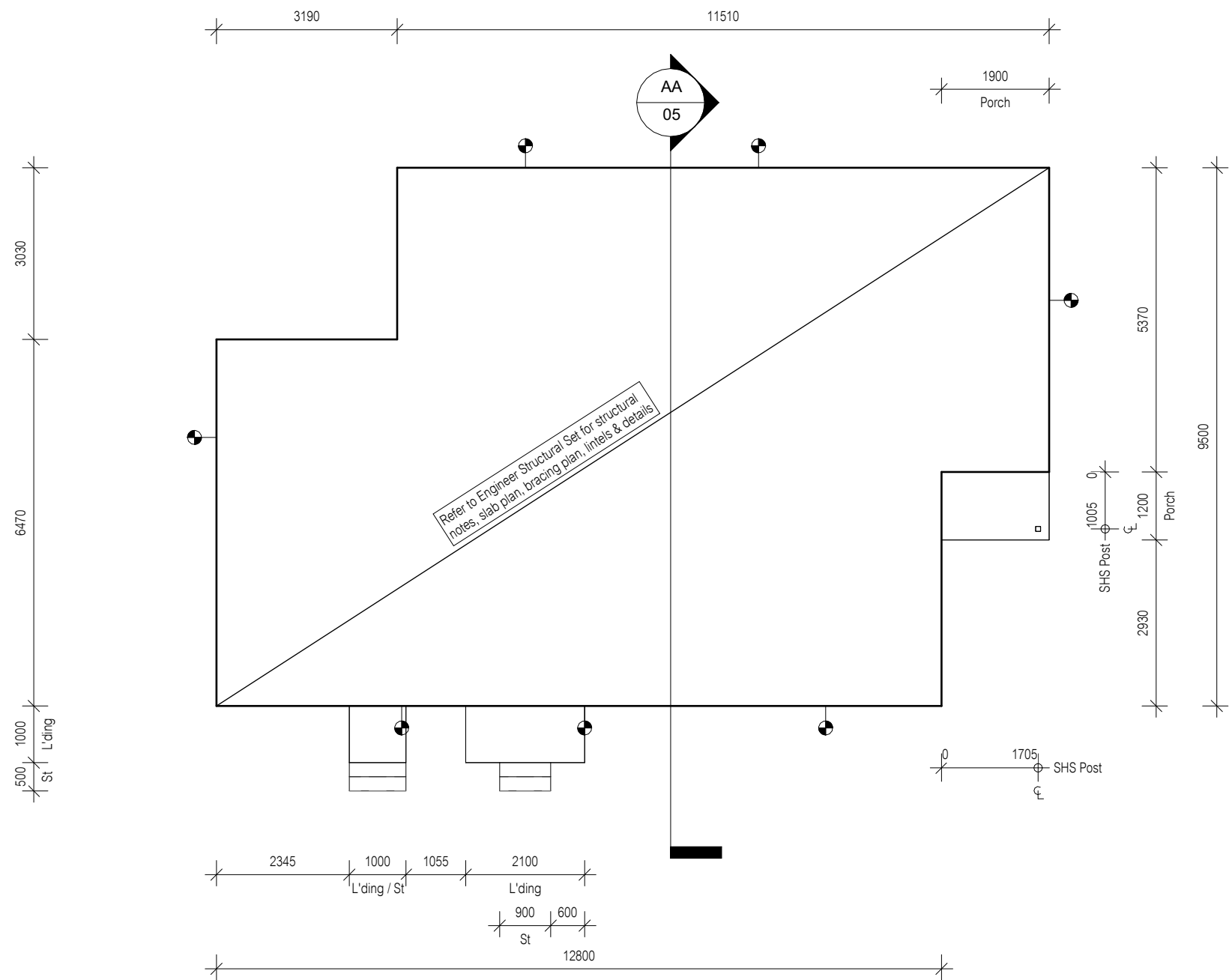
Notes - Builder to verify all dimensions and levels on site prior to commencement of work - All work to be carried out in accordance with the current National Construction Code. - All materials to be installed according to manufacturers specifications. - Do not scale from these drawings. - No changes permitted without consultation with designer.

Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au

Client / Project info PROPOSED TYRRELL UNIT DEVELOPMENT 34 Scott Street HADSPEN
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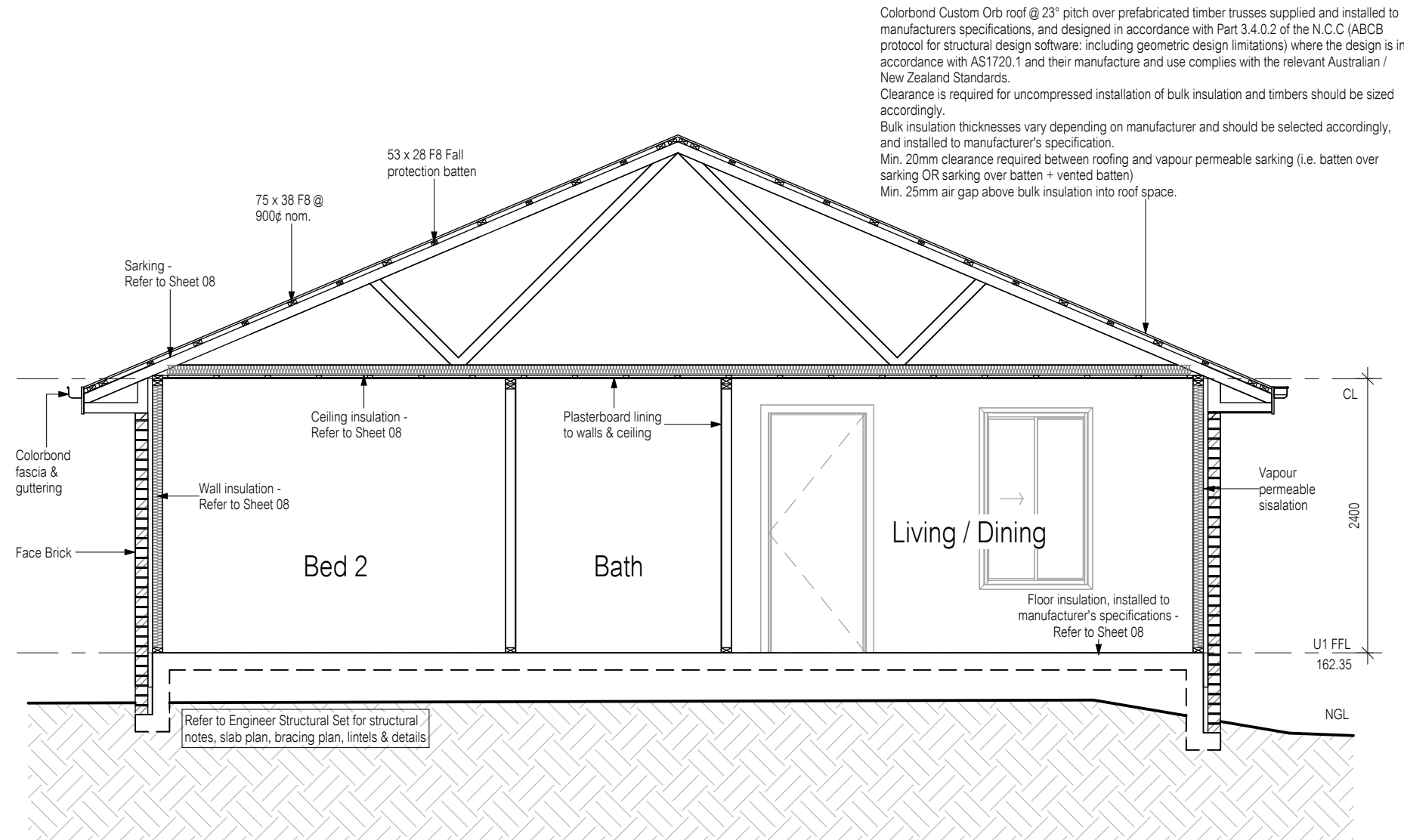
m WILSON MULTI

UNIT 1 ELEVATIONS	
Drawn	KV
Date	23 June 2022
Scale	1 : 100
Copyright ©	
WH713525	
Sheet	
03/34	



D			01 February 2023			KV		
No.			Date			Int.		
Amendment changes as per cover sheet			Soil classification: P			Articulation joints		
Refer to Soil Report for nominated founding depth and description of founding material.			All Materials and construction to comply with AS/NZ3500 Part 2 & Part 3:2003			Notes		
						• Builder to verify all dimensions and levels on site prior to commencement of work		
						• All work to be carried out in accordance with the current National Construction Code.		
						• All materials to be installed according to manufacturers specifications.		
						• Do not scale from these drawings.		
						• No changes permitted without consultation with designer.		
						Designer:		
						Client / Project info		
						ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnell) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au		
						PROPOSED TYRRELL UNIT DEVELOPMENT 34 Scott Street HADSPEN		
						m WILSON MULTI		
						UNIT 1 SLAB SETOUT PLAN		
						Drawn RJ		
						Date 06 October 2022		
						Scale 1 : 100		
						Sheet		
						04/34		
						WH713525		

- Batten fixings:
100mm type 17, 14g bugle screws to comply with AS1684, or refer to AS1684 for alternatives
- Colorbond fixings:
50mm M6 11 x 50 EPDM seal to comply with AS3566 or refer to AS3566 for alternatives.
- Lightweight claddings fixings:
Refer to manufacturer's specifications for fixings, flashings and other installation details.



Section AA

SHEET: 02
SCALE: 1 : 50

D	01 February 2023	KV
No.	Date	Int.

Amendment changes as per cover sheet

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Designer:

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NEW TOWN
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Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

Client / Project info

PROPOSED TYRRELL UNIT DEVELOPMENT

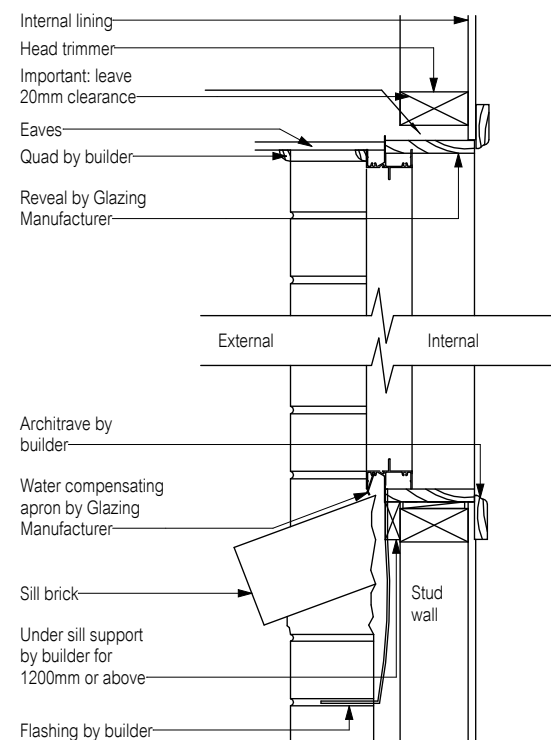
34 Scott Street
HADSPEN



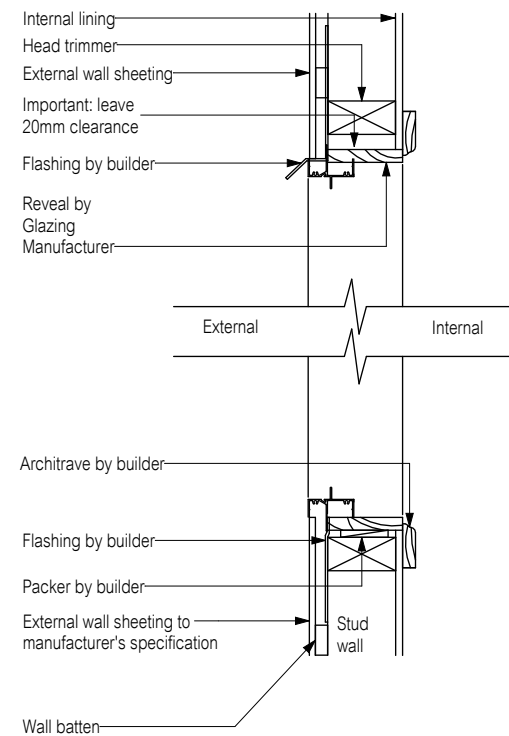
SECTION AA

Drawn	RJ	WH713525
Date	06 October 2022	Sheet
Scale	1 : 50	

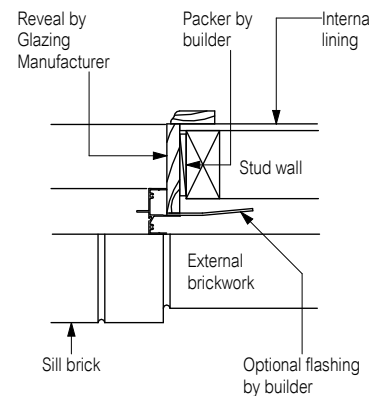
05/34



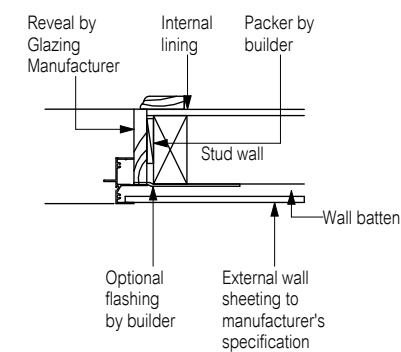
BRICK VENEER FLASHING
HEAD / SILL DETAIL



LIGHTWEIGHT CLADDING FLASHING
HEAD / SILL DETAIL



BRICK VENEER FLASHING
JAMB DETAIL



LIGHTWEIGHT CLADDING FLASHING
JAMB DETAIL

- Notes
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 - All work to be carried out in accordance with the current National Construction Code.
 - All materials to be installed according to manufacturers specifications.
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Designer:
ANOTHER PERSPECTIVE PTY LTD
PO BOX 21
NEW TOWN
LIC. NO. CC2204H (A. Strugnell)
Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

Client / Project info
PROPOSED TYRRELL UNIT DEVELOPMENT
34 Scott Street
HADSPEN



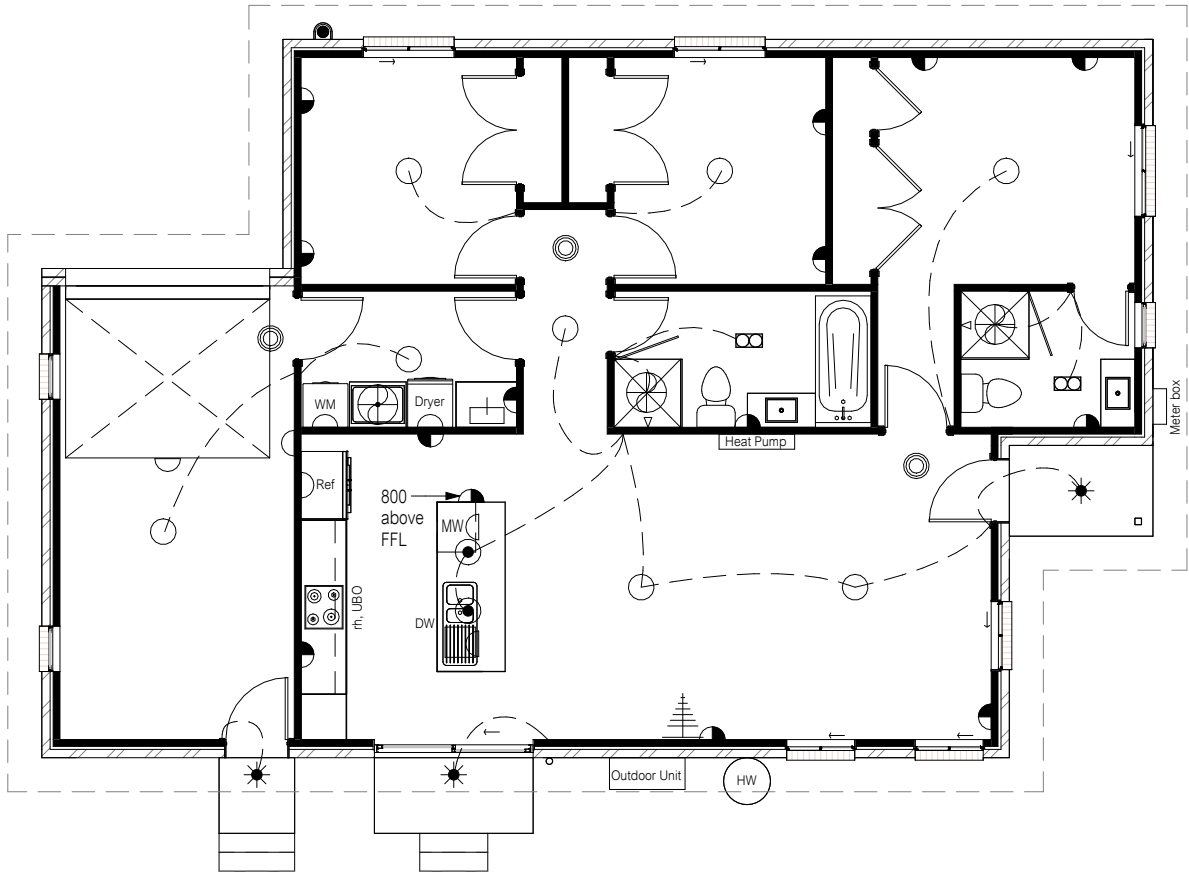
UNIT 1 WINDOW FLASHING
DETAIL

Drawn	RJ	WH713525
Date	06 October 2022	Sheet
Scale	1 : 10	

06/34

No.	Date	Int.	Amendment changes as per cover sheet
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NOTE
NBN CAT6 data point &
GPO located second shelf
from top in Linen



- LEGEND (W = Wattage e.g. 35W = 35 Watts.)
- STANDARD CEILING LIGHT POINT (30W)
 - DOWNLIGHT POINT (UNVENTED) (35W)
 - ✱ LED DOWNLIGHT POINT (10W) SUITABLE FOR & FITTED WITH INSULATION OVER. (IC RATED)
 - PENDANT LIGHT (30W)
 - WALL LIGHT POINT (30W)
 - 2 x 900mm FLUORESCENT LIGHT POINT (36W)
 - 2 x SLIM T5 900mm FLUORESCENT LIGHT POINT (28W)
 - X LIGHT SWITCH
 - ⌒ SINGLE POWER POINT
 - ⌒ DOUBLE POWER POINT
 - ⌒ DOUBLE POWER POINT WITH USB
 - ⌒ WATER PROOF POWER POINT
 - ⊙ SMOKE ALARM (INTERCONNECTED WHERE MORE THAN 1)
 - ⌒ HEATER / LIGHT (10W)
 - ⌒ TV CONNECTION POINT
 - ⌒ TELEPHONE CONNECTION POINT
 - ⌒ SENSOR LIGHT
 - ⊙ EXHAUST FAN (VENT IN ACCORDANCE WITH N.C.C. 3.8.7.3)
 - ⌒ FLOOD LIGHT
 - ⌒ CAT 6 CONNECTION POINT
 - ▶ TREAD LIGHTS (2W)
 - ⌒ DUCTED VACUUM POINT
 - ⌒ SECURITY SYSTEM KEYPAD
 - ⌒ SECURITY SYSTEM SENSOR

ALL EXHAUST FANS:
25 L/s for a bathroom or sanitary compartment, 40 L/s for a kitchen or laundry. Exhaust from a bathroom, sanitary compartment, or laundry must be discharged directly or via a shaft or duct to outdoor air or to a roof space that is ventilated in accordance with 3.8.7.4

D	01 February 2023	KV
C	05 Oct. 22	RJ
No.	Date	Int.

Amendment changes as per cover sheet	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		UNIT 1 ELECTRICAL PLAN		
		ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnell) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED TYRRELL UNIT DEVELOPMENT 34 Scott Street HADSPEN		Drawn	KV	WH713525
					Date	23 June 2022	Sheet
					Scale	1 : 100	07/34

Building name/description

PROPOSED TYRRELL UNIT DEVELOPMENT (UNIT 1) 34 Scott Street, HADSPEN

Number of rows preferred in table below

10

(as currently displayed)

Classification

Class 1

Separate aggregate allowances are calculated for Class 1, 2 or 4 cases; for a verandah or balcony; or for a Class 10 building. The % of Allowance Used' outcomes refer to these aggregate allowances.

ID	Description	Type of space	Floor area of the space	Design Lamp or Illumination Power Load	Location	Adjustment Factor			SATISFIES PART 3.12.5.5		
						Adjustment Factor	Dimming % Area	Dimming % of Full Power	Lamp or Illumination Power Density	System Share of % of Aggregate Allowance Used	
						Adjustment			System Allowance	System Design	
1	Bed 3	Bedroom	9.7 m ²	30 W	Class 1 building				5.0 W/m ²	3.1 W/m ²	9% of 64%
2	Bed 2	Bedroom	9.6 m ²	30 W	Class 1 building				5.0 W/m ²	3.1 W/m ²	9% of 64%
3	Bed 1	Bedroom	13.9 m ²	30 W	Class 1 building				5.0 W/m ²	2.2 W/m ²	6% of 64%
4	Ens.	Bathroom	4.1 m ²	8 W	Class 1 building				5.0 W/m ²	1.9 W/m ²	6% of 64%
5	Bath	Bathroom	6.1 m ²	8 W	Class 1 building				5.0 W/m ²	1.3 W/m ²	4% of 64%
6	Hall	Corridor	3.3 m ²	30 W	Class 1 building				5.0 W/m ²	9.1 W/m ²	27% of 64%
7	L'dry	Laundry	5.1 m ²	30 W	Class 1 building				5.0 W/m ²	5.8 W/m ²	17% of 64%
8	Kitchen	Kitchen	10.9 m ²	60 W	Class 1 building				5.0 W/m ²	5.5 W/m ²	16% of 64%
9	Living / Dining	Living room	26.0 m ²	60 W	Class 1 building				5.0 W/m ²	2.3 W/m ²	7% of 64%
10	Garage	Other	18.6 m ²	30 W	Class 10a building				3.0 W/m ²	1.6 W/m ²	100% of 53%

	Allowance	Design Average
107.3 m ²	316 W	
Class 1 building	5.0 W/m ²	3.2 W/m ²
Class 10a building (associated with a Class 1 building)	3.0 W/m ²	1.6 W/m ²

if inputs are valid



IMPORTANT NOTICE AND DISCLAIMER IN RESPECT OF THIS LIGHTING CALCULATOR

By accessing or using this calculator, you agree to the following: While care has been taken in the preparation of this calculator, it may not be complete or up-to-date. You can ensure that you are using a complete and up-to-date version by checking the Australian Building Codes Board website (www.abcb.gov.au). The Australian Building Codes Board, the Commonwealth of Australia and States and Territories of Australia do not accept any liability, including liability for negligence, for any loss (howsoever caused), damage, injury, expense or cost incurred by any person as a result of accessing, using or relying upon this publication, to the maximum extent permitted by law. No representation or warranty is made or given as to the currency, accuracy, reliability, merchantability, fitness for any purpose or completeness of this publication or any information which may appear on any linked websites, or in other linked information sources, and all such representations and warranties are excluded to the extent permitted by law. This calculator is not legal or professional advice. Persons rely upon this calculator entirely at their own risk and must take responsibility for assessing the relevance and accuracy of the information in relation to their particular circumstances.



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WINDOW MANUFACTURER:
CLARK WINDOWS

LEGEND:
SW = Sliding Window, AW = Awning Window, SD = Sliding door, FD = French Door,
BRPG = Bushfire Rated Privacy Glass
NOTE: Window tags including (DG) are to be Double Glazed, otherwise they are to be single glazed.

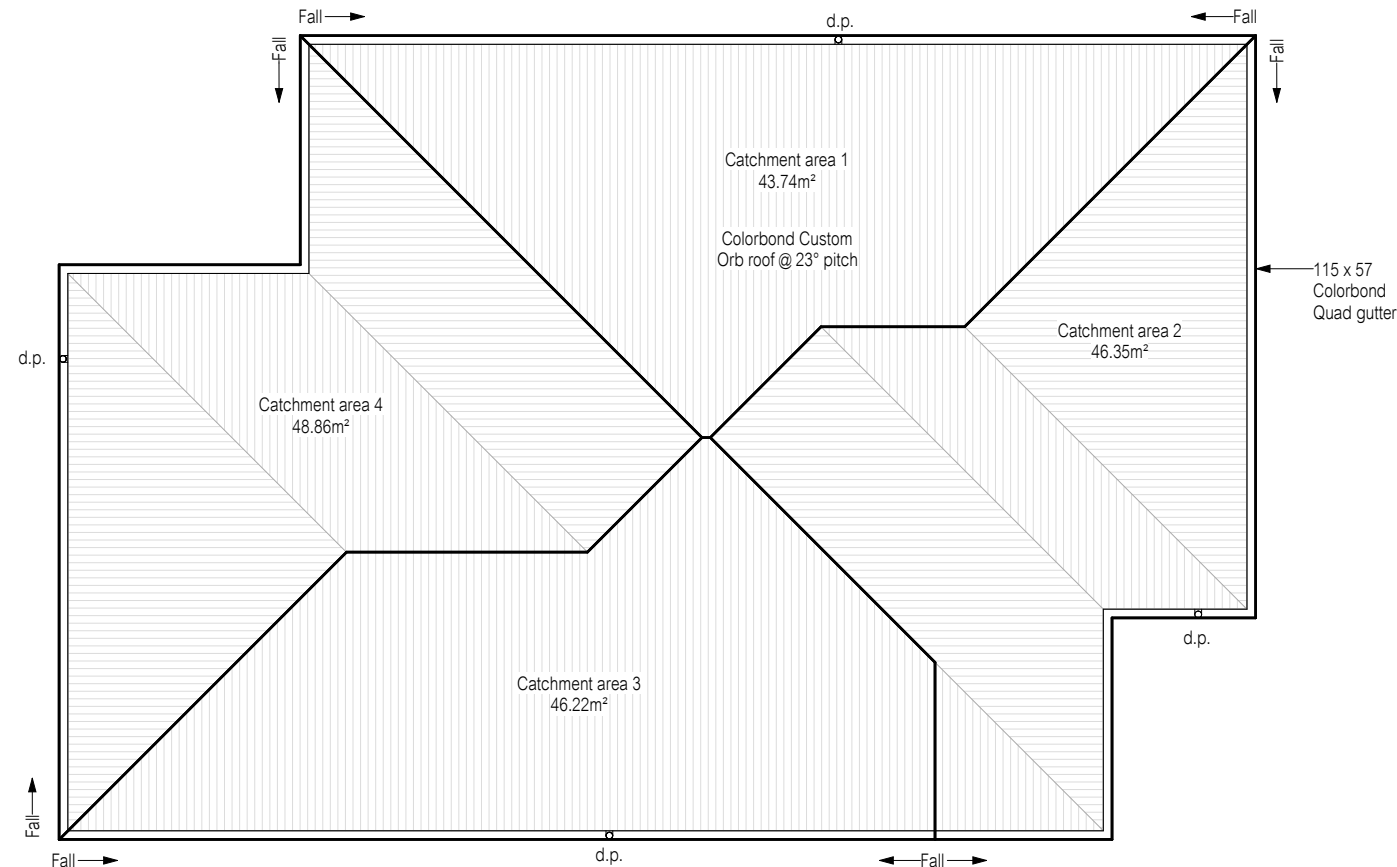
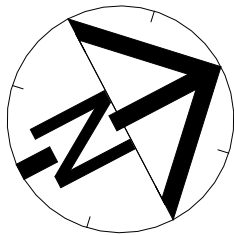
NOTE:
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures.
Windows labelled YES in "Restricted/protected" column to comply with N.C.C. 3.9.2.6 & 3.9.2.7

WINDOW NUMBER	SIZE / TYPE	ID	Uw	SHGC	RESTRICTED
U1 W01	12-12SW (DG)	BRD-154-36	3.80	0.61	NO
U1 W02	12-12SW (DG)	BRD-154-36	3.80	0.61	NO
U1 W03	15-12SW (DG)	BRD-154-36	3.80	0.61	NO
U1 W04	09-06AW (DG) opaque	BRD-113-35	4.10	0.57	NO
U1 W05	15-09SW (DG)	BRD-154-36	3.80	0.61	NO
U1 W06	15-09SW (DG)	BRD-154-36	3.80	0.61	NO
U1 W07	15-09SW (DG)	BRD-154-36	3.80	0.61	NO
U1 W08	21-21SD (DG)	BRD-035-15	3.66	0.66	NO
U1 W09	09-06AW (DG) opaque	BRD-113-35	4.10	0.57	NO
U1 W10	09-06AW (DG) opaque	BRD-113-35	4.10	0.57	NO

INSULATION SCHEDULE

Area	Insulation Details
Roof	Sarking (vapour permeable)
Ceiling	R4.1 bulk insulation (or equivalent) excluding GARAGE
Walls (external)	R2.0 bulk insulation (or equivalent) with 1 layer sisalation (vapour permeable). Sisalation only to GARAGE
Walls (Internal)	R2.0 bulk insulation (or equivalent) to internal walls adjacent to GARAGE
Floors	R0.6 allowance for Biax pods (215mm) in concrete slab

NOTE:
Clearance is required for uncompressed installation of bulk insulation and timbers should be sized accordingly.
Bulk insulation thicknesses vary depending on manufacturer and should be selected accordingly, and installed to manufacturer's specification.
Min. 20mm clearance required between roofing and vapour permeable sarking (i.e. batten over sarking OR sarking over batten + vented batten)
Min. 25mm air gap above bulk insulation into roof space.
Where solar tubes are located, diffusers are to be installed.
Where skylights are located, ceiling insulation is to be installed to length of shaft.



GUTTER OVERFLOW
REQUIREMENTS as per
N.C.C. Table 3.5.2.4:
Controlled front bead height
with the front bead of the
gutter installed a minimum of
10mm below the top of the
fascia.

Batten fixings:
100mm type 17, 14g bugle
screws to comply with
AS1684, or refer to AS1684
for alternatives.

Batten spacing:
75 x 38 F8
@ 900 Centre

Colorbond fixings:
50mm M6 11 x 50 EPDM
seal to comply with AS3566
or refer to AS3566 for
alternatives.

ROOF VENTILATION GUIDE:
Ventilation calculations must be read in conjunction with
*CBOS - Condensation in Buildings - Tasmanian Designers'
Guide - Version 2 (published April 2019).*

Continuous gap:	
Supply	Exhaust
Continuous gap at eaves is: 25mm for <16° pitch 10mm for >16° pitch	Continuous gap at ridge is at least 5mm for all roof pitches

OR

Roof vents:
The minimum vent area should be:
a) Ceiling area/150 for <16° pitch, or
b) Ceiling area/300 for >16° pitch

Supply	Exhaust
75% of ventilation should be supply	25% of ventilation should be exhaust

Vent at gable should be within 900mm of ridge.

ROOF VENTILATION CALCULATION

Roof vents:	
Ceiling Area:	110.79m²
Roof Pitch:	23°
Supply area required (75%):	0.27m²
Exhaust area required (25%):	0.09m²

Example	
Vent Width	200mm
Vent Length	400mm
Vent area	0.08m²
Opening	50%
Supply number required	7 evenly spaced
Exhaust number required	Continuous 5mm gap to ridge

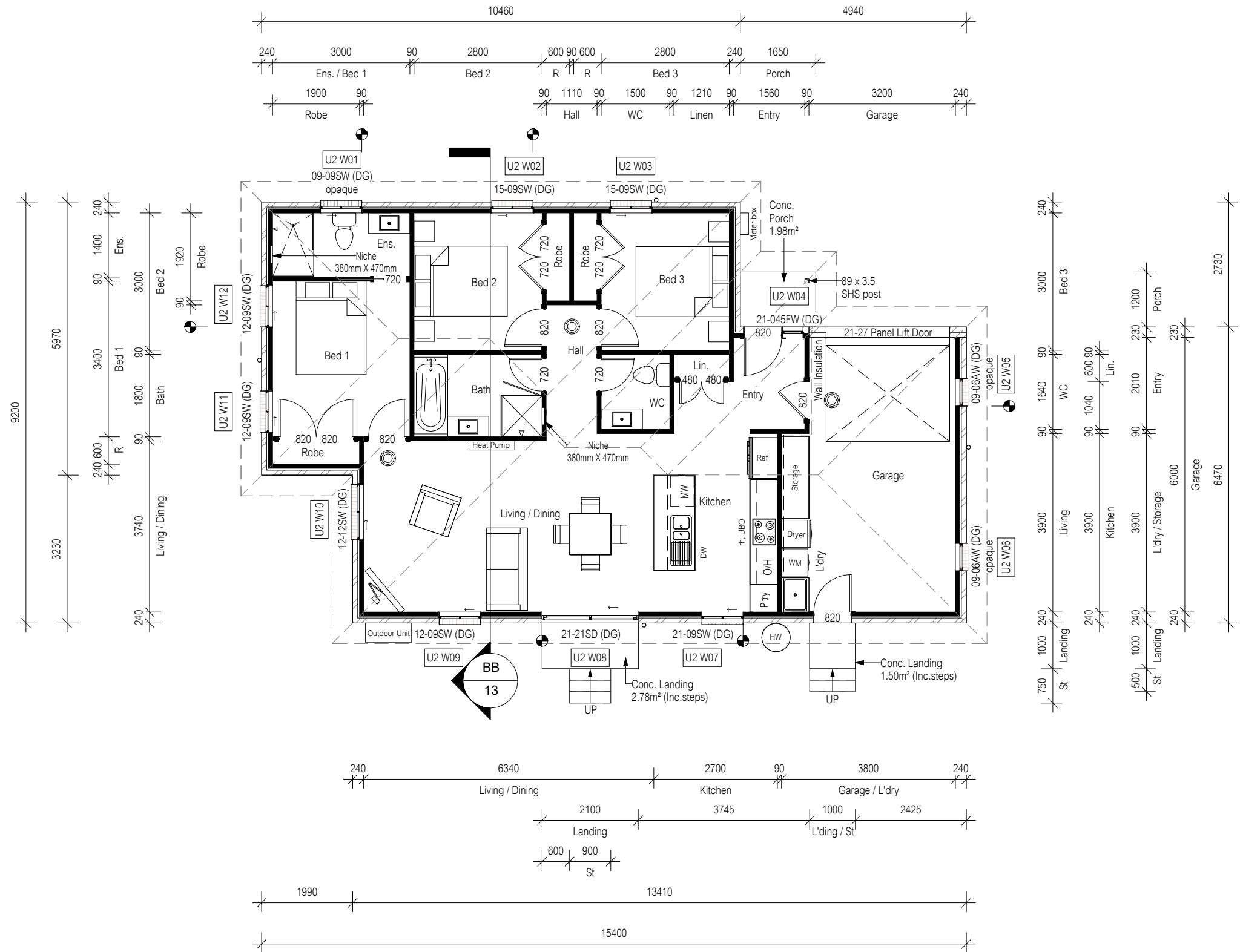
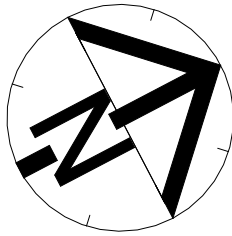
AS3959 compliant ember mesh and compressible blanket to
ridge vents on jobs in BAL zones.

Position and quantity of downpipes
are not to be altered without
consultation with designer

Area's shown are surface areas /
catchment areas, not plan areas.

DOWNPIPE AND ROOF CATCHMENT AREA CALCULATIONS (as per AS/NZS 3500.3)		
Ah¹	147.00	Area of Roof (excluding 115mm Quad gutter) (m²)
Ah²	153.04	Area of Roof (including 115mm Quad gutter) (m²)
Ac	185.17	Ah² x Slope factor (Table 3.2 from AS/NZS 3500.3) (m²)
Ae	6555	Cross sectional area of assumed 57 x 115 Quad Gutter. (mm²)
DRI	110	Design Rainfall Intensity (determined from Figure E8 from AS/NZS 3500.3)
ACDP	58	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3) (m²)
Required Downpipes	3.19	Ac ÷ Acdp
Downpipes Provided	4	

			Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		UNIT 1 ROOF PLAN		
				ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED TYRRELL UNIT DEVELOPMENT 34 Scott Street HADSPEN		Drawn	KV	WH713525
							Date	23 June 2022	Sheet
							Scale	1 : 100	09/34
No.	Date	Int.	Amendment changes as per cover sheet						



F	04 Oct. 2023	KV
E	05 July 2023	RJ
D	01 February 2023	KV
C	05 Oct. 22	RJ
No.	Date	Int.

Floor Area = 121.77m ²	All window sizes to be checked and/or confirmed on site prior to ordering glazing units
Articulation joints	
Smoke Alarm (interconnected where more than 1)	
Amendment changes as per cover sheet	

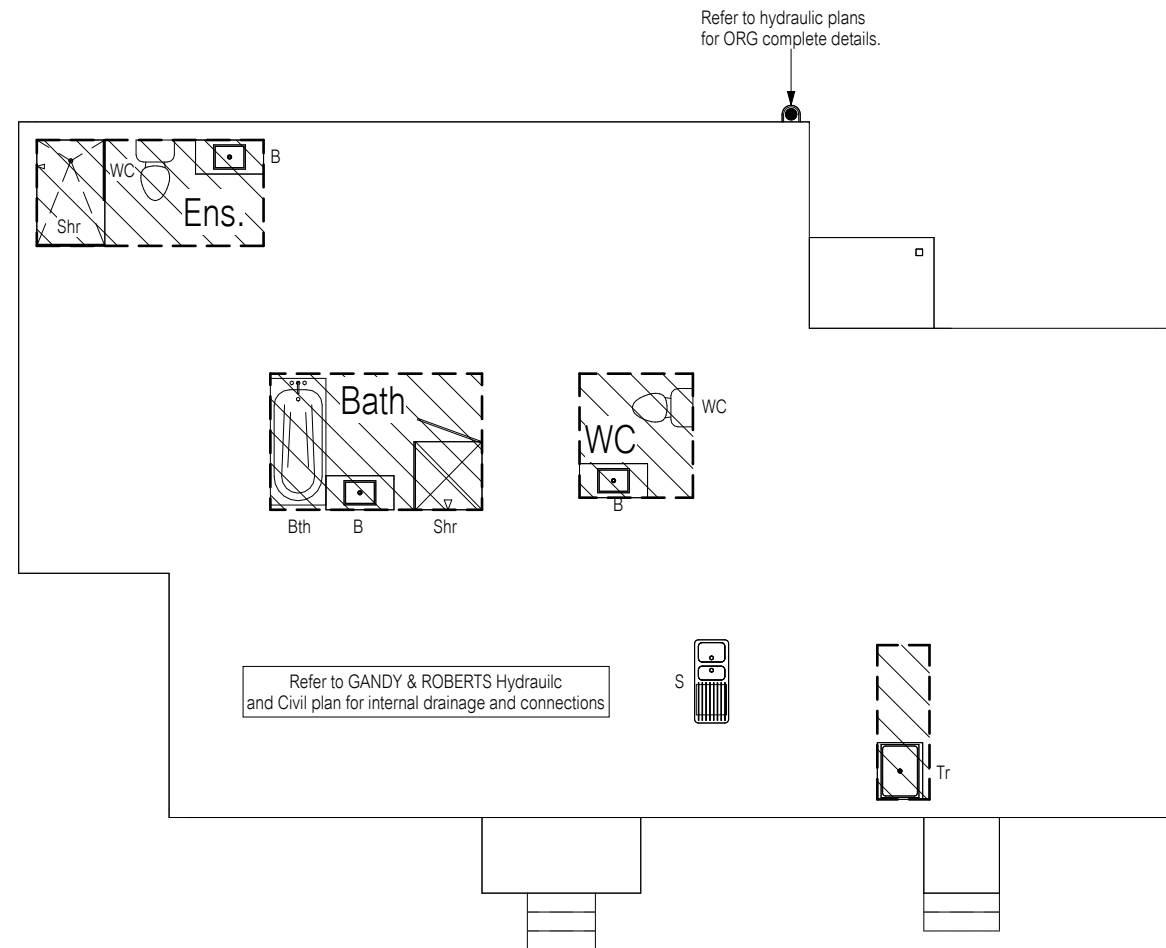
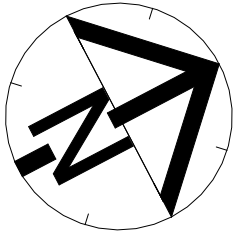
Notes
• Builder to verify all dimensions and levels on site prior to commencement of work
• All work to be carried out in accordance with the current National Construction Code.
• All materials to be installed according to manufacturers specifications.
• Do not scale from these drawings.
• No changes permitted without consultation with designer.

Designer:
ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au

Client / Project info
PROPOSED TYRRELL UNIT DEVELOPMENT 34 Scott Street HADSPEN



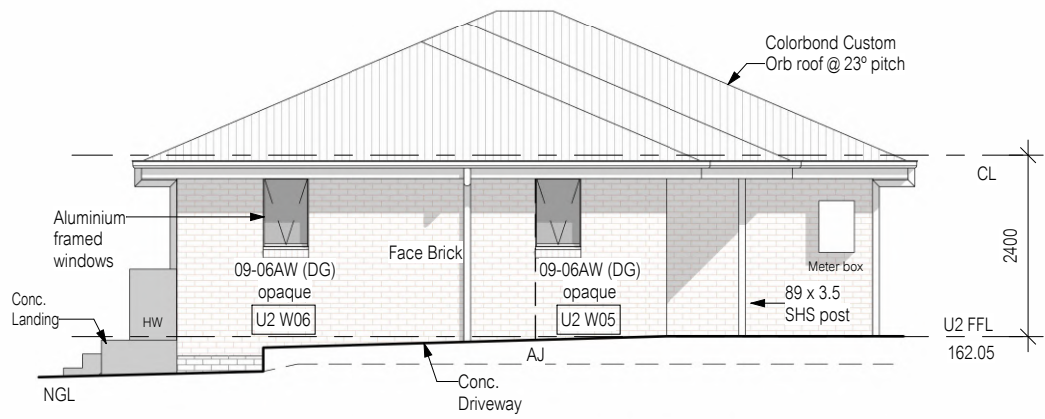
UNIT 2 FLOOR PLAN	
Drawn KV	WH713525
Date 23 June 2022	Sheet
Scale 1:100	10/34
Copyright ©	



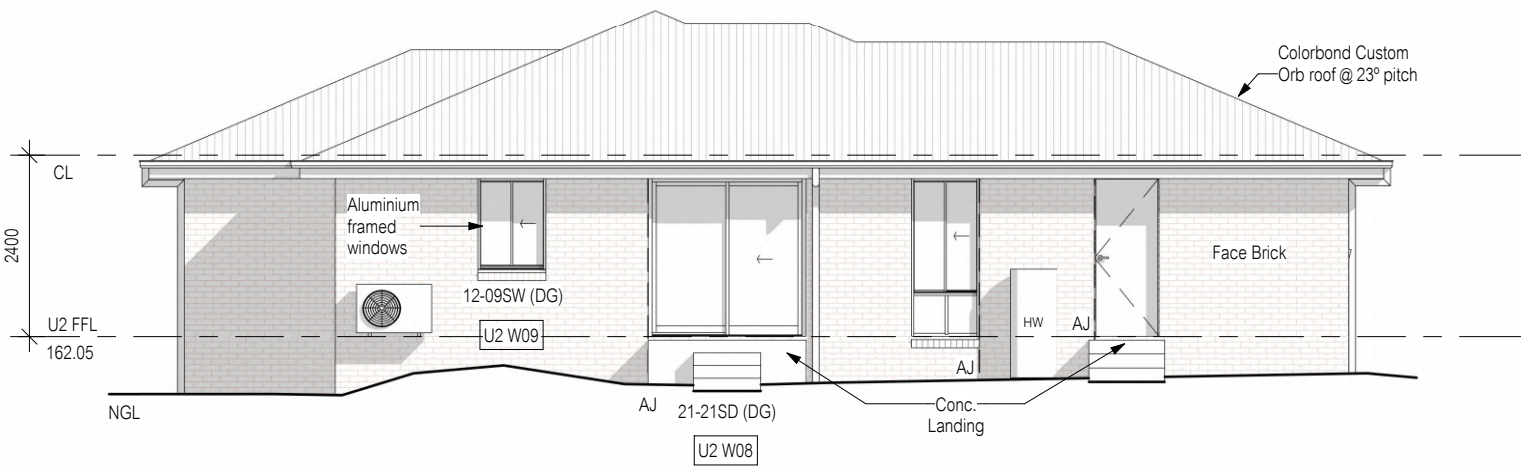
F	04 Oct. 2023	KV
D	01 February 2023	KV
No.	Date	Int.

Soil classification: P			- Wet areas to comply with NCC 3.8.1.2 and AS3740	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		UNIT 2 WET AREA PLAN	
Refer to Soil Report for nominated founding depth and description of founding material.					ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED TYRRELL UNIT DEVELOPMENT 34 Scott Street HADSPEN		Drawn	KV
All Materials and construction to comply with AS/NZ3500 Part 2 & Part 3:2003		Amendment changes as per cover sheet			Date	01 February 2023		Sheet	
					Scale	1 : 100		10a/34	

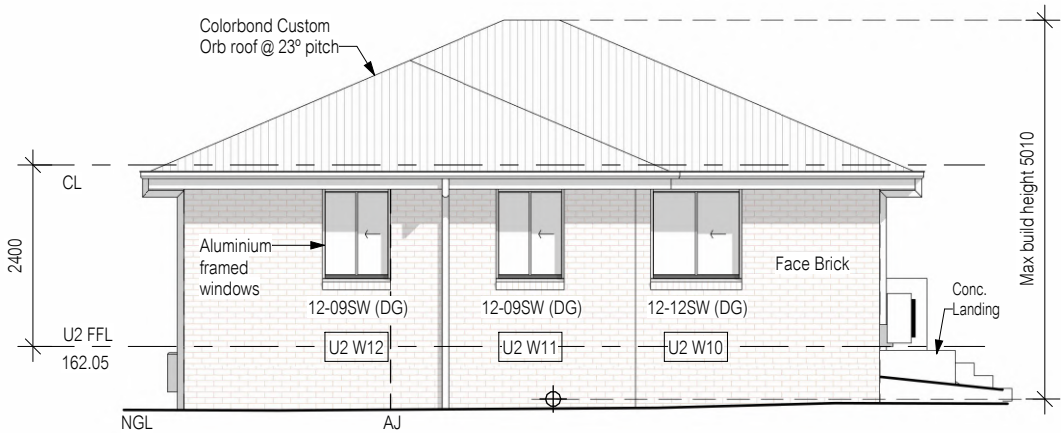
Material	Colour
Colorbond Roof	'Monument'
Face Brick	Austral Access 'Shale'



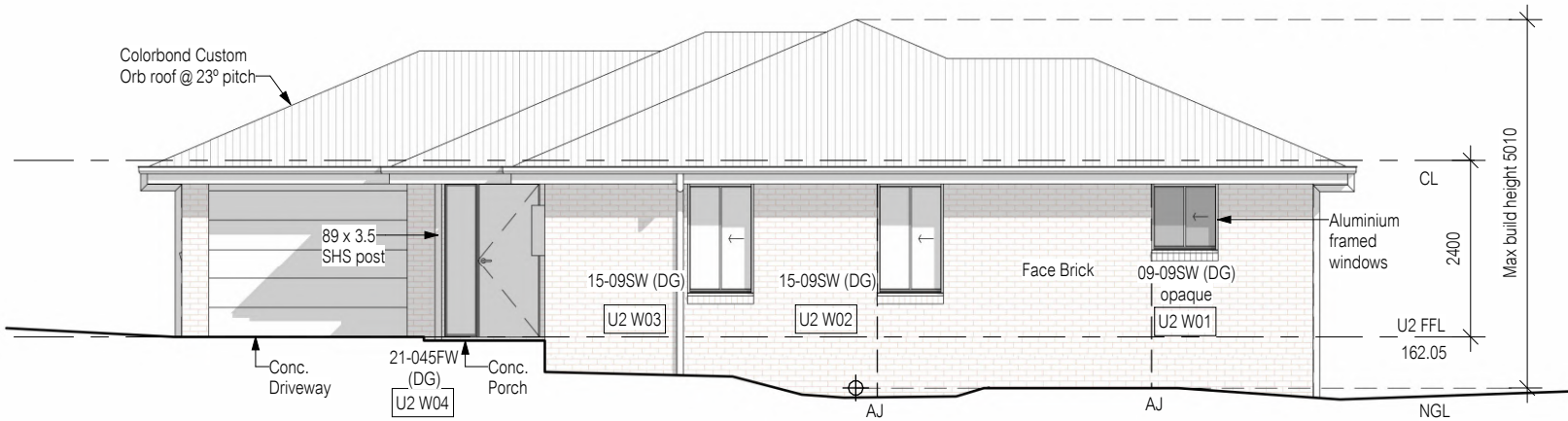
North East Elevation



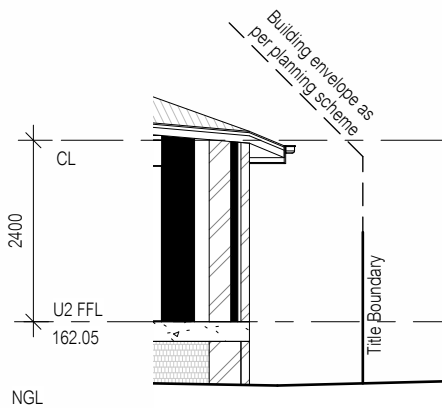
South East Elevation



South West Elevation



North West Elevation



Building Envelope 01

E	05 July 2023	RJ
D	01 February 2023	KV
C	05 Oct. 22	RJ
No.	Date	Int.

Amendment changes as per cover sheet

LEGEND:
AJ - Articulation Joint
BV - Brick Vent

Shadows shown for stylisation purposes only

All window sizes to be checked and/or confirmed on site prior to ordering glazing units

- Notes
- Builder to verify all dimensions and levels on site prior to commencement of work
 - All work to be carried out in accordance with the current National Construction Code.
 - All materials to be installed according to manufacturers specifications.
 - Do not scale from these drawings.
 - No changes permitted without consultation with designer.

Designer:

ANOTHER PERSPECTIVE PTY LTD
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NEW TOWN
LIC. NO. CC2204H (A. Strugnell)
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info@anotherperspective.com.au

Client / Project info

PROPOSED TYRRELL UNIT DEVELOPMENT
34 Scott Street
HADSPEN



UNIT 2 ELEVATIONS

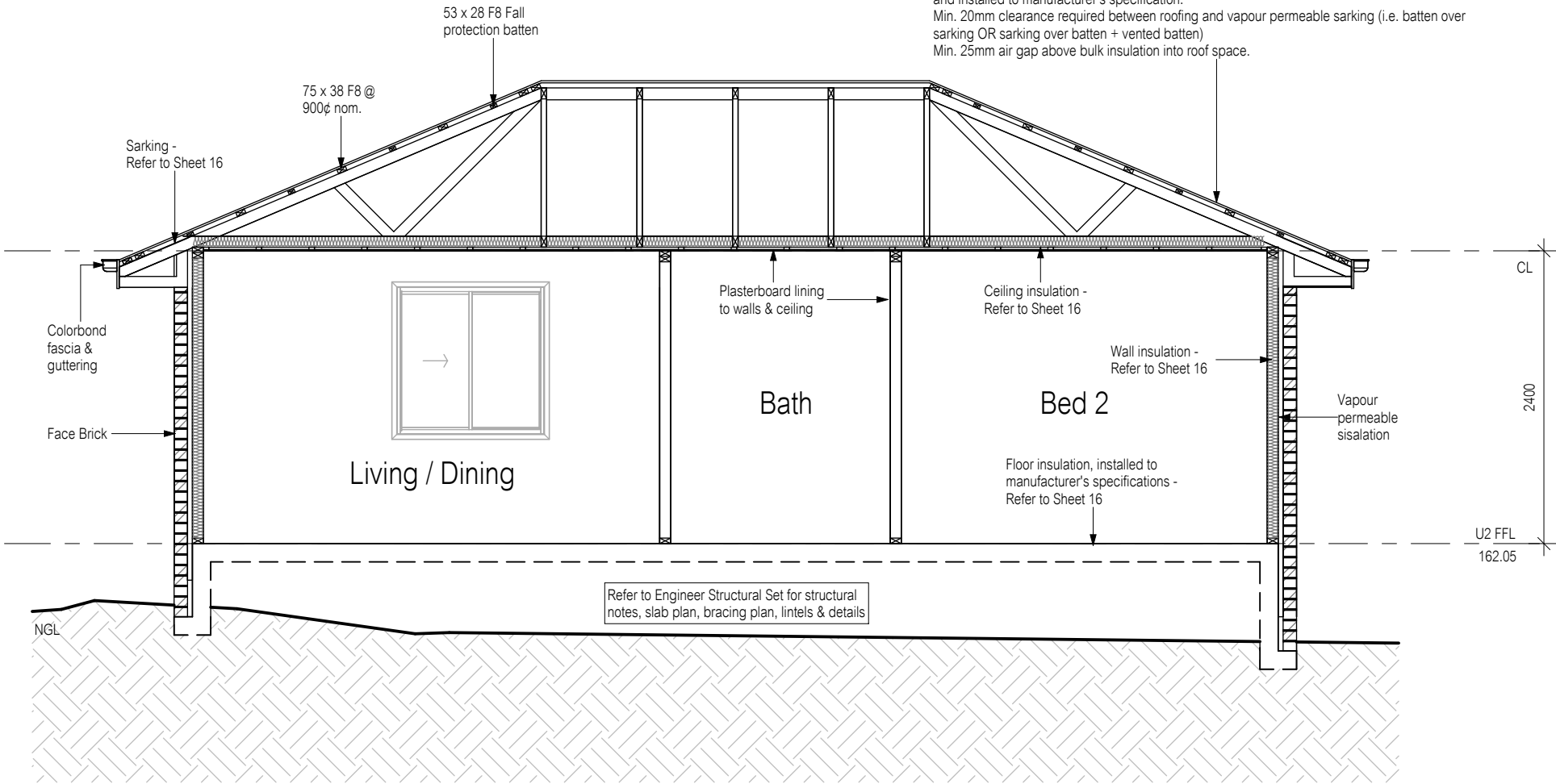
Drawn	KV	WH713525
Date	23 June 2022	Sheet
Scale	1 : 100	
Copyright ©		11/34

Batten fixings:
100mm type 17, 14g bugle screws to comply with AS1684, or refer to AS1684 for alternatives

Colorbond fixings:
50mm M6 11 x 50 EPDM seal to comply with AS3566 or refer to AS3566 for alternatives.

Lightweight claddings fixings:
Refer to manufacturer's specifications for fixings, flashings and other installation details.

Colorbond Custom Orb roof @ 23° pitch over prefabricated timber trusses supplied and installed to manufacturers specifications, and designed in accordance with Part 3.4.0.2 of the N.C.C (ABCB protocol for structural design software: including geometric design limitations) where the design is in accordance with AS1720.1 and their manufacture and use complies with the relevant Australian / New Zealand Standards.
Clearance is required for uncompressed installation of bulk insulation and timbers should be sized accordingly.
Bulk insulation thicknesses vary depending on manufacturer and should be selected accordingly, and installed to manufacturer's specification.
Min. 20mm clearance required between roofing and vapour permeable sarking (i.e. batten over sarking OR sarking over batten + vented batten)
Min. 25mm air gap above bulk insulation into roof space.



Section BB

SHEET: 10
SCALE: 1 : 50

D	01 February 2023	KV
No.	Date	Int.

Amendment changes as per cover sheet

- Notes
- Builder to verify all dimensions and levels on site prior to commencement of work
 - All work to be carried out in accordance with the current National Construction Code.
 - All materials to be installed according to manufacturers specifications.
 - Do not scale from these drawings.
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Designer:

ANOTHER PERSPECTIVE PTY LTD
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NEW TOWN
LIC. NO. CC2204H (A. Strugnell)
Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

Client / Project info

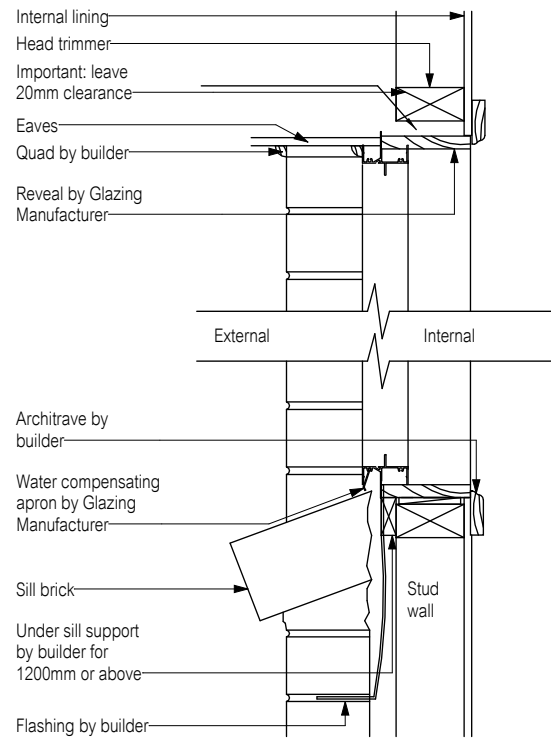
PROPOSED TYRRELL UNIT DEVELOPMENT
34 Scott Street
HADSPEN



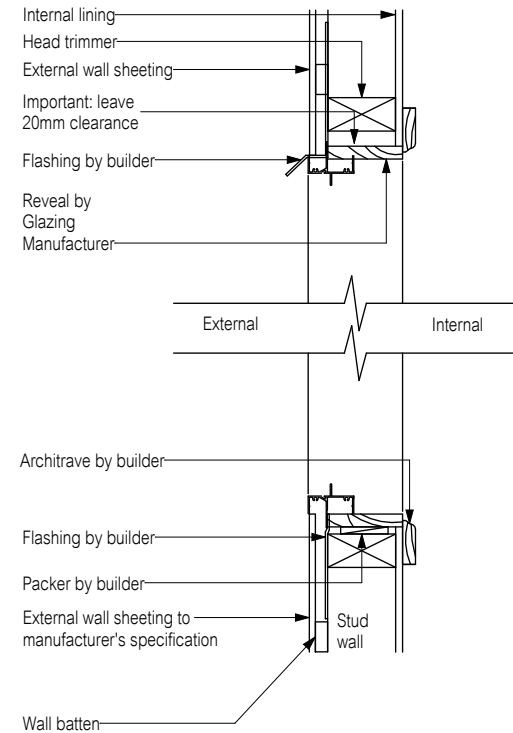
SECTION BB

Drawn	RJ	WH713525
Date	06 October 2022	Sheet
Scale	1 : 50	

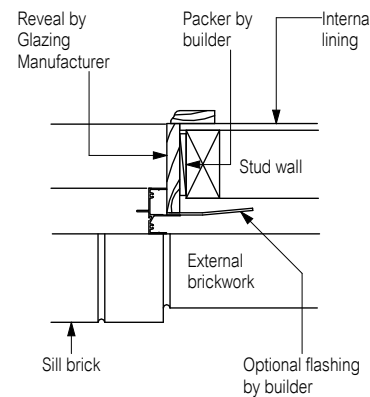
13/34



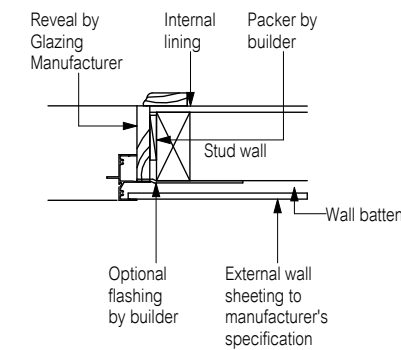
BRICK VENEER FLASHING
HEAD / SILL DETAIL



LIGHTWEIGHT CLADDING FLASHING
HEAD / SILL DETAIL



BRICK VENEER FLASHING
JAMB DETAIL



LIGHTWEIGHT CLADDING FLASHING
JAMB DETAIL

- Notes
- Builder to verify all dimensions and levels on site prior to commencement of work
 - All work to be carried out in accordance with the current National Construction Code.
 - All materials to be installed according to manufacturers specifications.
 - Do not scale from these drawings.
 - No changes permitted without consultation with designer.

Designer:
ANOTHER PERSPECTIVE PTY LTD
PO BOX 21
NEW TOWN
LIC. NO. CC2204H (A. Strugnell)
Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

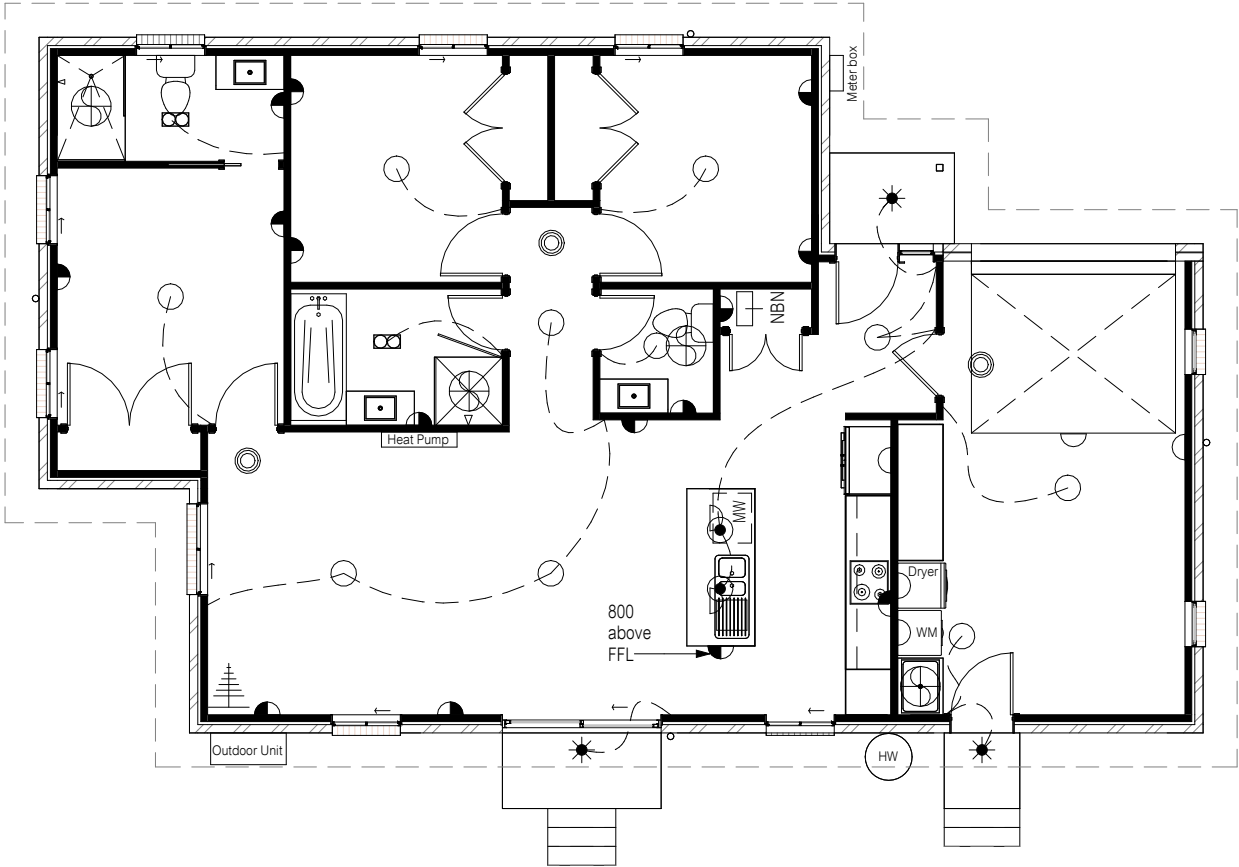
Client / Project info
PROPOSED TYRRELL UNIT DEVELOPMENT
34 Scott Street
HADSPEN

m WILSON
MULTI

UNIT 2 WINDOW FLASHING DETAIL		
Drawn	RJ	WH713525
Date	06 October 2022	Sheet
Scale	1 : 10	14/34

No.	Date	Int.	Amendment changes as per cover sheet
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NOTE
NBN CAT6 data point &
GPO located second shelf
from top in Linen



- LEGEND (W = Wattage e.g. 35W = 35 Watts.)
- STANDARD CEILING LIGHT POINT (30W)
 - DOWNLIGHT POINT (UNVENTED) (35W)
 - ✱ LED DOWNLIGHT POINT (10W) SUITABLE FOR & FITTED WITH INSULATION OVER. (IC RATED)
 - PENDANT LIGHT (30W)
 - WALL LIGHT POINT (30W)
 - 2 x 900mm FLUORESCENT LIGHT POINT (36W)
 - 2 x SLIM T5 900mm FLUORESCENT LIGHT POINT (28W)
 - X LIGHT SWITCH
 - ⌒ SINGLE POWER POINT
 - ⌒ DOUBLE POWER POINT
 - ⌒ DOUBLE POWER POINT WITH USB
 - ⌒ WATER PROOF POWER POINT
 - ⊙ SMOKE ALARM (INTERCONNECTED WHERE MORE THAN 1)
 - ⌒ HEATER / LIGHT (10W)
 - ⌒ TV CONNECTION POINT
 - ⌒ TELEPHONE CONNECTION POINT
 - ⌒ SENSOR LIGHT
 - ⊙ EXHAUST FAN (VENT IN ACCORDANCE WITH N.C.C. 3.8.7.3)
 - ⌒ FLOOD LIGHT
 - ⌒ CAT 6 CONNECTION POINT
 - ▶ TREAD LIGHTS (2W)
 - ⌒ DUCTED VACUUM POINT
 - ⌒ SECURITY SYSTEM KEYPAD
 - ⌒ SECURITY SYSTEM SENSOR

ALL EXHAUST FANS:
25 L/s for a bathroom or sanitary compartment, 40 L/s for a kitchen or laundry. Exhaust from a bathroom, sanitary compartment, or laundry must be discharged directly or via a shaft or duct to outdoor air or to a roof space that is ventilated in accordance with 3.8.7.4

D	01 February 2023	KV
C	05 Oct. 22	RJ
No.	Date	Int.

Amendment changes as per cover sheet	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		UNIT 2 ELECTRICAL PLAN		
		ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED TYRRELL UNIT DEVELOPMENT 34 Scott Street HADSPEN		Drawn	KV	WH713525
					Date	23 June 2022	Sheet
					Scale	1 : 100	15/34

ABCb

Lighting

Class 1 buildings

National Construction Code

Main Menu

Help

Calculator

Building name/description

PROPOSED TYRRELL UNIT DEVELOPMENT (UNIT 2) 34 Scott Street, HADSPEN

Classification

Class 1

Number of rows preferred in table below

11

(as currently displayed)

Separate aggregate allowances are calculated for Class 1, 2 or 4 cases; for a verandah or balcony; or for a Class 10 building. The % of Allowance Used* outcomes refer to these aggregate allowances.

ID	Description	Type of space	Floor area of the space	Design Lamp or Illumination Power Load	Location	Adjustment Factor			SATISFIES PART 3.12.5.5		
						Adjustment Factor	Dimming % Area	Dimming % of Full Power	Design Lumen Depreciation Factor	Lamp or Illumination Power Density	System Share of % of Aggregate Allowance Used
1	Bed 1	Bedroom	11.3 m²	30 W	Class 1 building				5.0 W/m²	2.6 W/m²	5% of 74%
2	Ens.	Bathroom	4.2 m²	8 W	Class 1 building				5.0 W/m²	1.9 W/m²	4% of 74%
3	Bed 2	Bedroom	9.6 m²	30 W	Class 1 building				5.0 W/m²	3.1 W/m²	6% of 74%
4	Bath	Bathroom	5.0 m²	8 W	Class 1 building				5.0 W/m²	1.6 W/m²	3% of 74%
5	Hall	Corridor	3.1 m²	30 W	Class 1 building				5.0 W/m²	9.6 W/m²	20% of 74%
6	Bed 3	Bedroom	9.6 m²	30 W	Class 1 building				5.0 W/m²	3.1 W/m²	6% of 74%
7	WC	Toilet	2.5 m²	30 W	Class 1 building				5.0 W/m²	12.2 W/m²	25% of 74%
8	Entry	Other	5.4 m²	30 W	Class 1 building				5.0 W/m²	5.6 W/m²	12% of 74%
9	Kitchen	Kitchen	10.5 m²	60 W	Class 1 building				5.0 W/m²	5.7 W/m²	12% of 74%
10	Living / Dining	Living room	24.1 m²	60 W	Class 1 building				5.0 W/m²	2.5 W/m²	5% of 74%
11	Garage / L'dry	Other	21.5 m²	60 W	Class 10a building				3.0 W/m²	2.8 W/m²	100% of 93%

106.8 m²

376 W

Class 1 building

5.0 W/m²

3.7 W/m²

Class 10a building (associated with a Class 1 building)

3.0 W/m²

2.8 W/m²

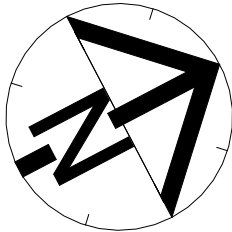
if inputs are valid

WINDOW MANUFACTURER: CLARK WINDOWS
LEGEND: SW = Sliding Window, AW = Awning Window, SD = Sliding door, FD = French Door, BRPG = Bushfire Rated Privacy Glass NOTE: Window tags including (DG) are to be Double Glazed, otherwise they are to be single glazed.
NOTE: Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Windows labelled YES in "Restricted/protected" column to comply with N.C.C. 3.9.2.6 & 3.9.2.7

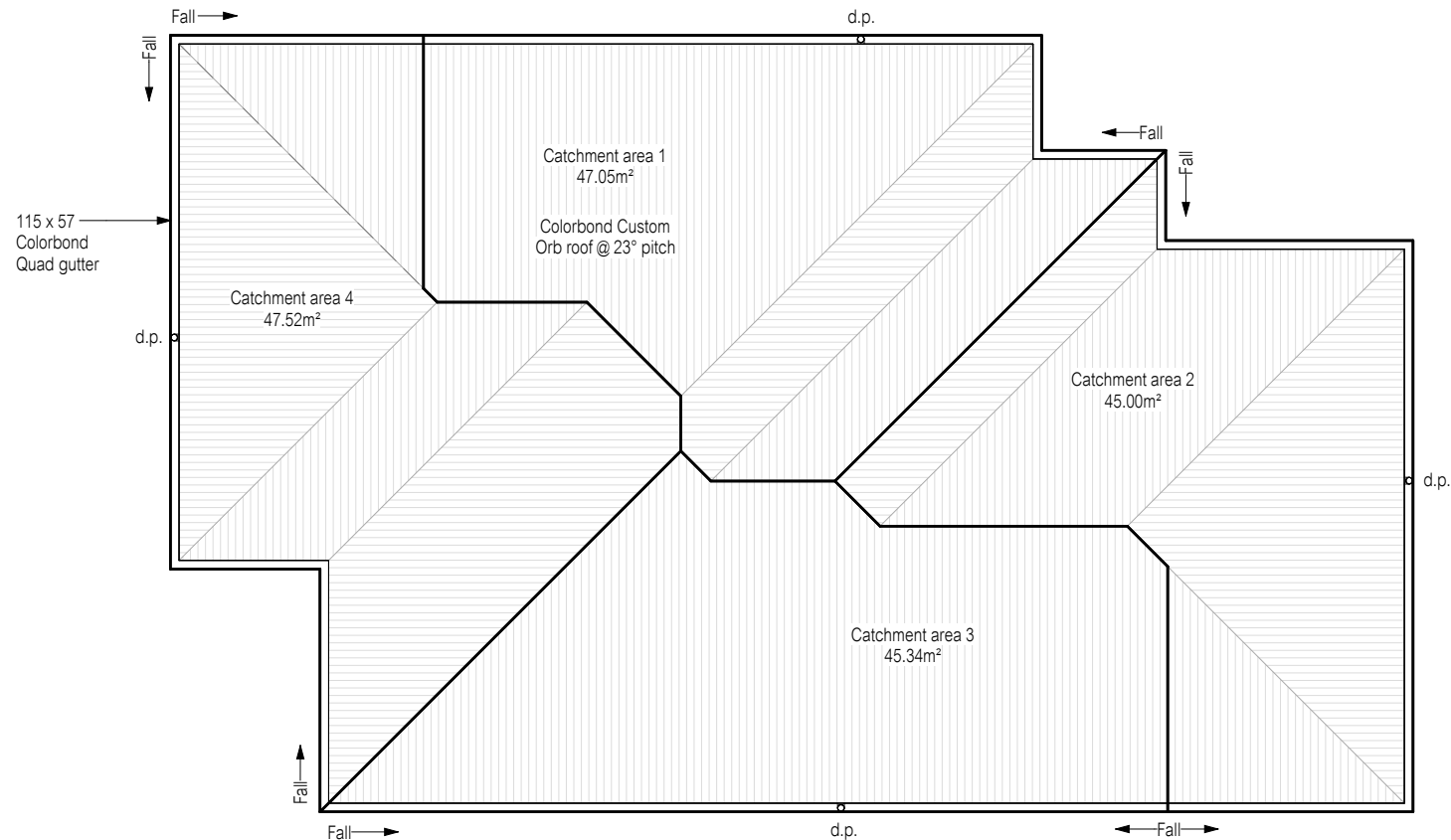
WINDOW NUMBER	SIZE / TYPE	ID	Uw	SHGC	RESTRICTED
U2 W01	09-09SW (DG) opaque	BRD-154-36	3.80	0.61	NO
U2 W02	15-09SW (DG)	BRD-154-36	3.80	0.61	NO
U2 W03	15-09SW (DG)	BRD-154-36	3.80	0.61	NO
U2 W04	21-045FW (DG)	BRD-113-35	4.10	0.57	NO
U2 W05	09-06AW (DG) opaque	BRD-113-35	4.10	0.57	NO
U2 W06	09-06AW (DG) opaque	BRD-035-15	3.66	0.66	NO
U2 W07	21-09SW (DG)	BRD-154-36	3.80	0.61	NO
U2 W08	21-21SD (DG)	BRD-154-36	3.80	0.61	NO
U2 W09	12-09SW (DG)	BRD-154-36	3.80	0.61	NO
U2 W10	12-12SW (DG)	BRD-154-36	3.80	0.61	NO
U2 W11	12-09SW (DG)				
U2 W12	12-09SW (DG)				

INSULATION SCHEDULE	
Area	Insulation Details
Roof	Sarking (vapour permeable)
Ceiling	R4.1 bulk insulation (or equivalent) excluding GARAGE
Walls (external)	R2.0 bulk insulation (or equivalent) with 1 layer sisalation (vapour permeable). Sisalation only to GARAGE
Walls (Internal)	R2.0 bulk insulation (or equivalent) to internal walls adjacent to GARAGE
Floors	R0.6 allowance for Biax pods (215mm) in concrete slab
NOTE: Clearance is required for uncompressed installation of bulk insulation and timbers should be sized accordingly. Bulk insulation thicknesses vary depending on manufacturer and should be selected accordingly, and installed to manufacturer's specification. Min. 20mm clearance required between roofing and vapour permeable sarking (i.e. batten over sarking OR sarking over batten + vented batten) Min. 25mm air gap above bulk insulation into roof space. Where solar tubes are located, diffusers are to be installed. Where skylights are located, ceiling insulation is to be installed to length of shaft.	

C05 Oct. 22RJ			Notes - Builder to verify all dimensions and levels on site prior to commencement of work - All work to be carried out in accordance with the current National Construction Code. - All materials to be installed according to manufacturers specifications. - Do not scale from these drawings. - No changes permitted without consultation with designer.	Designer:	Client / Project info	WILSONMULTI	UNIT 2 CALCULATIONS & SCHEDULES	
No.	Date	Int.		ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED TYRRELL UNIT DEVELOPMENT 34 Scott Street HADSPEN			
Amendment changes as per cover sheet			DrawnKVWH713525 Date23 June 2022Sheet Scale16/34					



GUTTER OVERFLOW REQUIREMENTS as per N.C.C. Table 3.5.2.4: Controlled front bead height with the front bead of the gutter installed a minimum of 10mm below the top of the fascia.
Batten fixings: 100mm type 17, 14g bugle screws to comply with AS1684, or refer to AS1684 for alternatives.
Batten spacing: 75 x 38 F8 @ 900 Centre
Colorbond fixings: 50mm M6 11 x 50 EPDM seal to comply with AS3566 or refer to AS3566 for alternatives.



Position and quantity of downpipes are not to be altered without consultation with designer

Area's shown are surface areas / catchment areas, not plan areas.

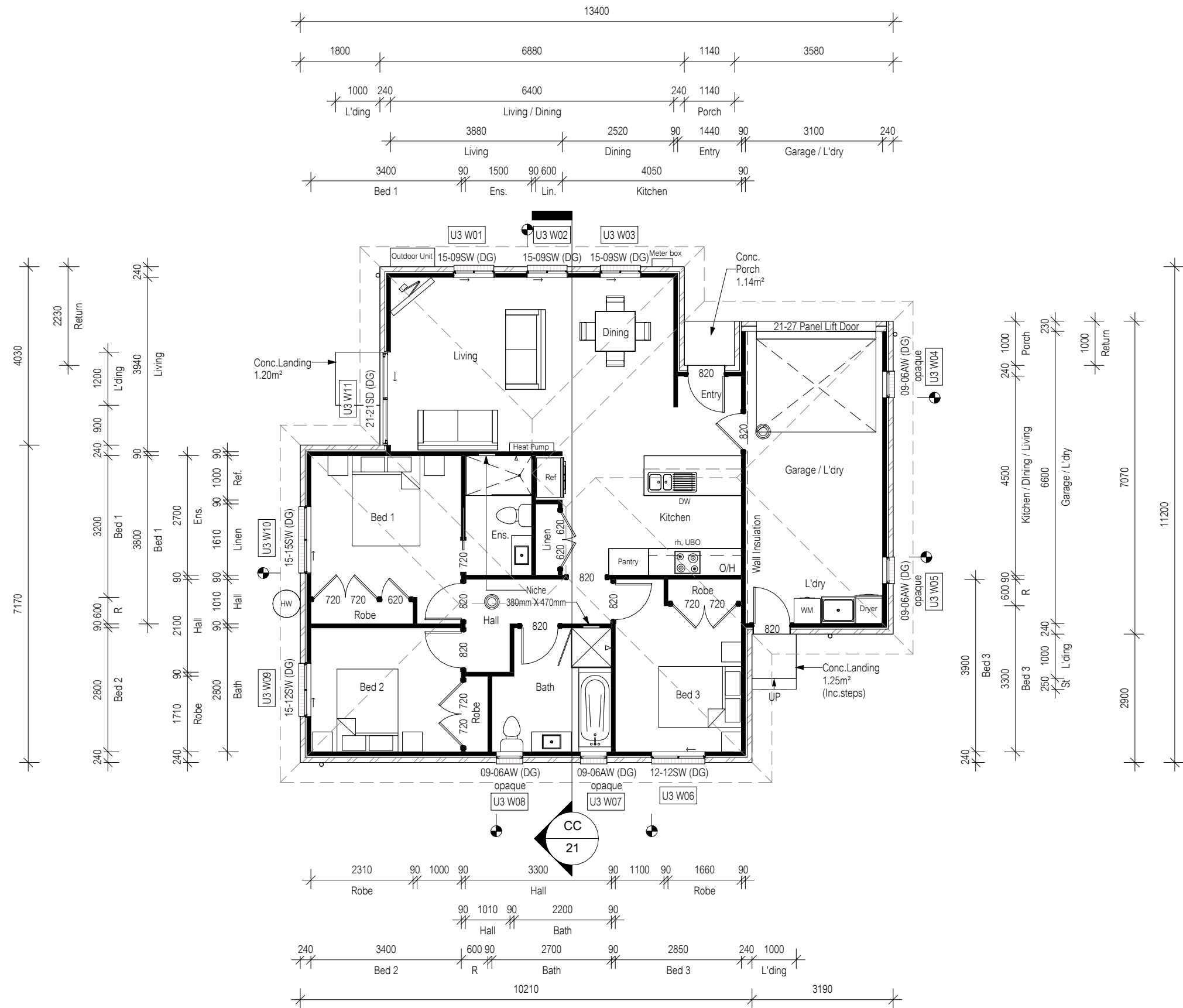
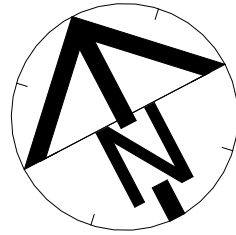
DOWNPIPE AND ROOF CATCHMENT AREA CALCULATIONS (as per AS/NZS 3500.3)		
Ah ¹	146.70	Area of Roof (excluding 115mm Quad gutter) (m ²)
Ah ²	152.82	Area of Roof (including 115mm Quad gutter) (m ²)
Ac	184.91	Ah ² x Slope factor (Table 3.2 from AS/NZS 3500.3) (m ²)
Ae	6555	Cross sectional area of assumed 57 x 115 Quad Gutter. (mm ²)
DRI	110	Design Rainfall Intensity (determined from Figure E8 from AS/NZS 3500.3)
ACDP	58	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3) (m ²)
Required Downpipes	3.18	Ac ÷ Acdp
Downpipes Provided	4	

ROOF VENTILATION GUIDE:
Ventilation calculations must be read in conjunction with *CBOS - Condensation in Buildings - Tasmanian Designers' Guide - Version 2 (published April 2019)*.

Continuous gap:	
Supply	Exhaust
Continuous gap at eaves is: 25mm for <16° pitch 10mm for >16° pitch	Continuous gap at ridge is at least 5mm for all roof pitches
OR	
Roof vents: The minimum vent area should be: a) Ceiling area/150 for <16° pitch, or b) Ceiling area/300 for >16° pitch	
Supply	Exhaust
75% of ventilation should be supply	25% of ventilation should be exhaust
Vent at gable should be within 900mm of ridge.	

ROOF VENTILATION CALCULATION	
Roof vents:	
Ceiling Area:	110.24m ²
Roof Pitch:	23°
Supply area required (75%):	0.27m ²
Exhaust area required (25%):	0.09m ²
Example	
Vent Width	200mm
Vent Length	400mm
Vent area	0.08m ²
Opening	50%
Supply number required	7 evenly spaced
Exhaust number required	Continuous 5mm gap to ridge
AS3959 compliant ember mesh and compressible blanket to ridge vents on jobs in BAL zones.	

			Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		UNIT 2 ROOF PLAN		
				ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnell) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED TYRRELL UNIT DEVELOPMENT 34 Scott Street HADSPEN		Drawn	KV	WH713525
							Date	23 June 2022	Sheet
							Scale	1 : 100	17/34
No.	Date	Int.	Amendment changes as per cover sheet						



F	04 Oct. 2023	KV
E	05 July 2023	RJ
D	01 February 2023	KV
No.	Date	Int.

Floor Area = 126.63m ²	
	Articulation joints
	Smoke Alarm (interconnected where more than 1)
All window sizes to be checked and/or confirmed on site prior to ordering glazing units	

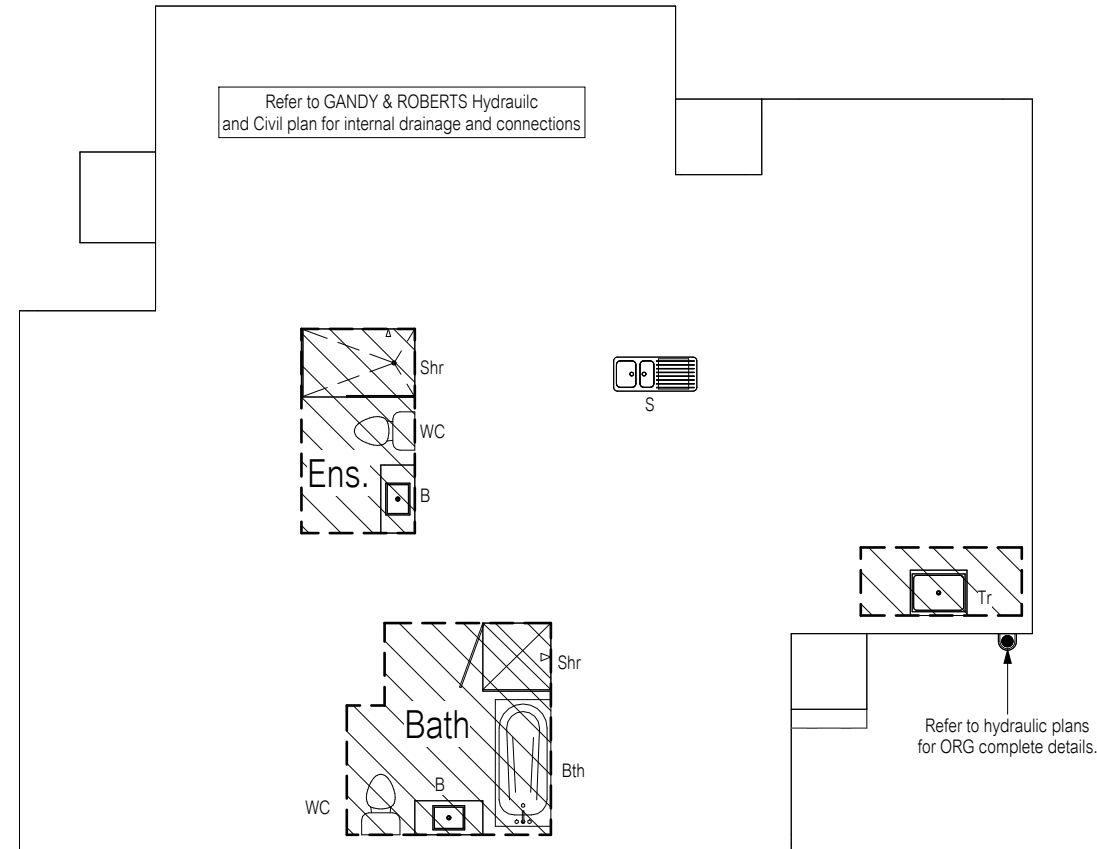
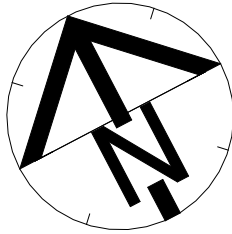
Notes	
• Builder to verify all dimensions and levels on site prior to commencement of work	
• All work to be carried out in accordance with the current National Construction Code.	
• All materials to be installed according to manufacturers specifications.	
• Do not scale from these drawings.	
• No changes permitted without consultation with designer.	

Designer:
ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au

Client / Project info
PROPOSED TYRRELL UNIT DEVELOPMENT 34 Scott Street HADSPEN



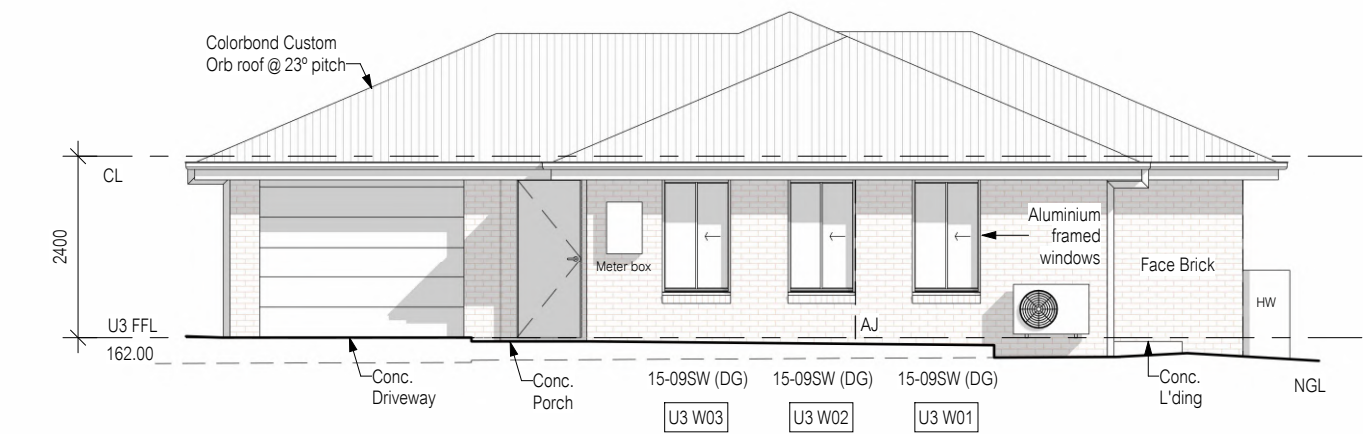
UNIT 3 FLOOR PLAN	
Drawn	KV
Date	23 June 2022
Scale	1 : 100
Copyright ©	
Sheet	
18/34	



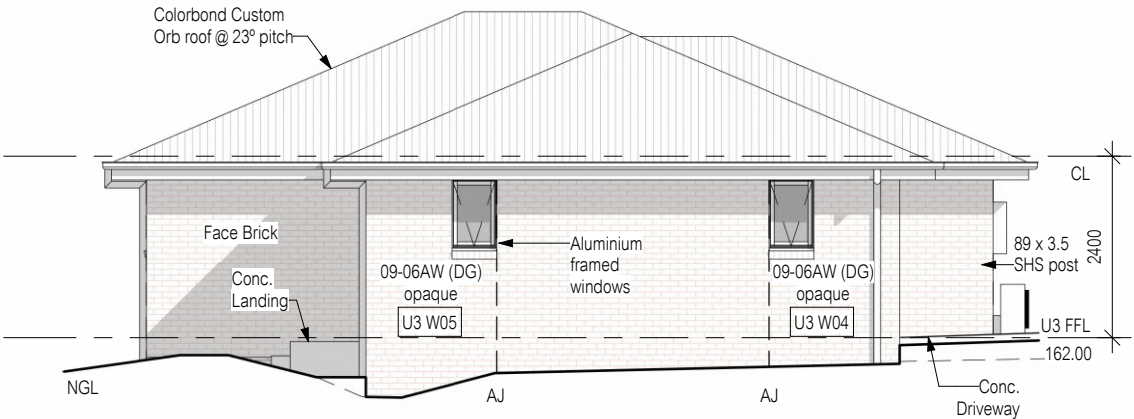
F	04 Oct. 2023	KV
D	01 February 2023	KV
No.	Date	Int.

Soil classification: P			- Wet areas to comply with NCC 3.8.1.2 and AS3740	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		UNIT 3 WET AREA PLAN	
Refer to Soil Report for nominated founding depth and description of founding material.					ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED TYRRELL UNIT DEVELOPMENT 34 Scott Street HADSPEN		Drawn	KV
All Materials and construction to comply with AS/NZ3500 Part 2 & Part 3:2003		Amendment changes as per cover sheet			Date	01 February 2023		Sheet	
					Scale	1 : 100		18a/34	

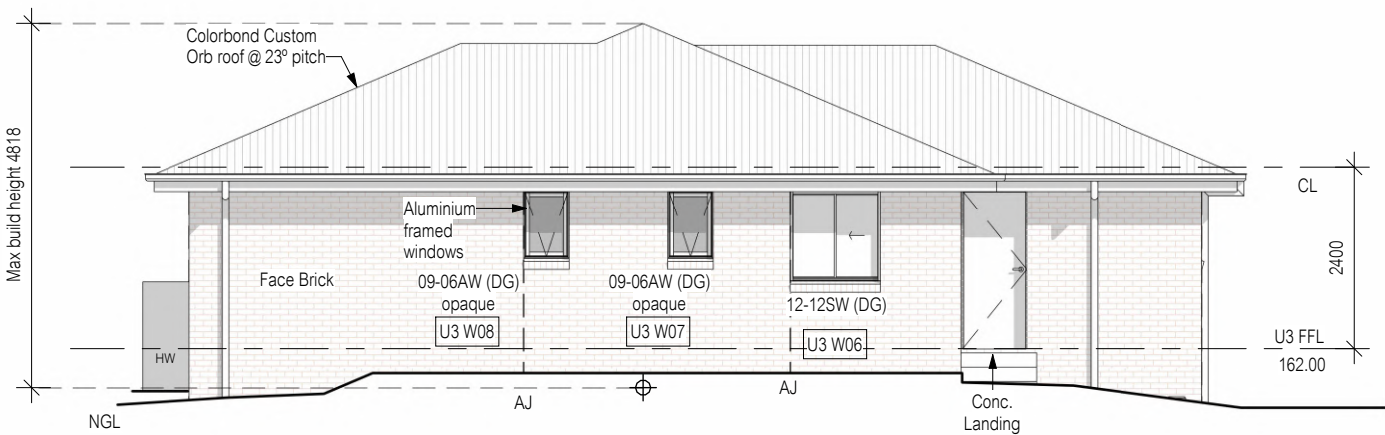
Material	Colour
Colorbond Roof	'Monument'
Face Brick	Austral Access 'Shale'



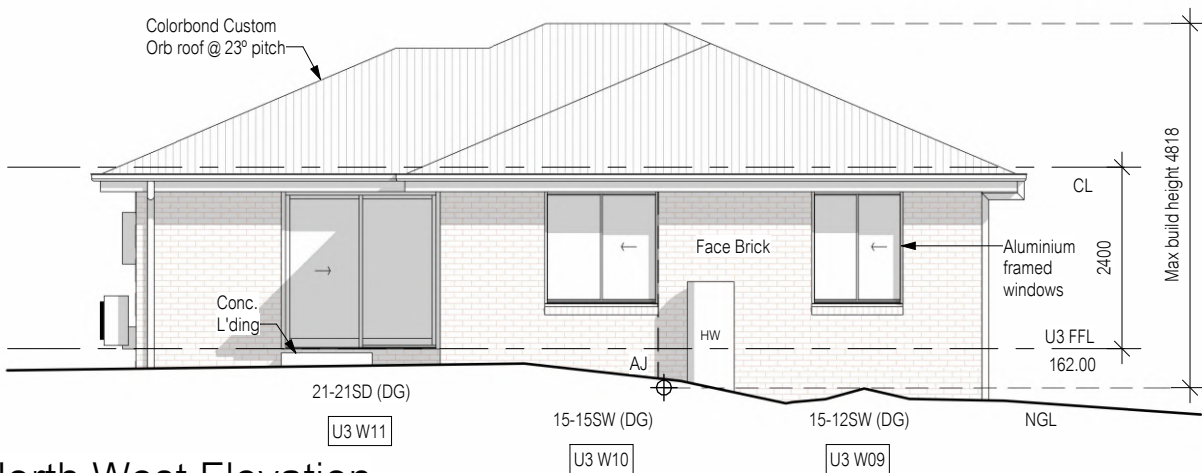
North East Elevation



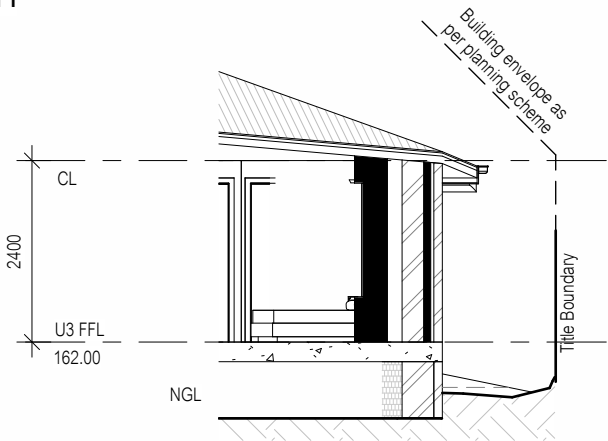
South East Elevation



South West Elevation



North West Elevation



Building Envelope 02

F	04 Oct. 2023	KV
E	05 July 2023	RJ
D	01 February 2023	KV
C	05 Oct. 22	RJ
No.	Date	Int.

Amendment changes as per cover sheet

LEGEND:
AJ - Articulation Joint
BV - Brick Vent

Shadows shown for stylisation purposes only

All window sizes to be checked and/or confirmed on site prior to ordering glazing units

- Notes
- Builder to verify all dimensions and levels on site prior to commencement of work
 - All work to be carried out in accordance with the current National Construction Code.
 - All materials to be installed according to manufacturers specifications.
 - Do not scale from these drawings.
 - No changes permitted without consultation with designer.

Designer:

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NEW TOWN
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Client / Project info

PROPOSED TYRRELL UNIT DEVELOPMENT
34 Scott Street
HADSPEN



UNIT 3 ELEVATIONS

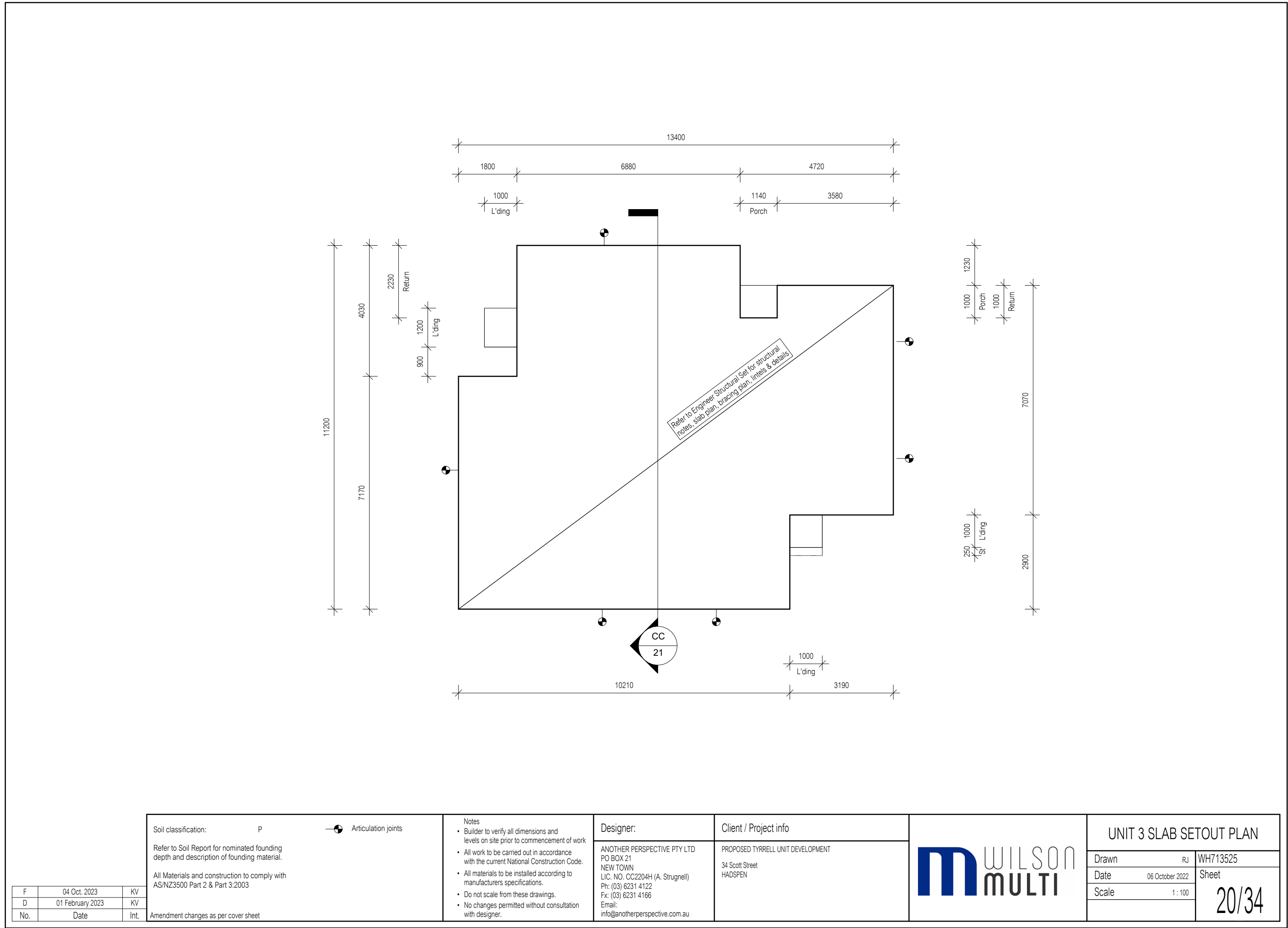
Drawn KV WH713525

Date 23 June 2022 Sheet

Scale 1 : 100

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19/34



F	04 Oct. 2023	KV
D	01 February 2023	KV
No.	Date	Int.

Soil classification:	P	 Articulation joints
Refer to Soil Report for nominated founding depth and description of founding material.		
All Materials and construction to comply with AS/NZ3500 Part 2 & Part 3:2003		
Amendment changes as per cover sheet		

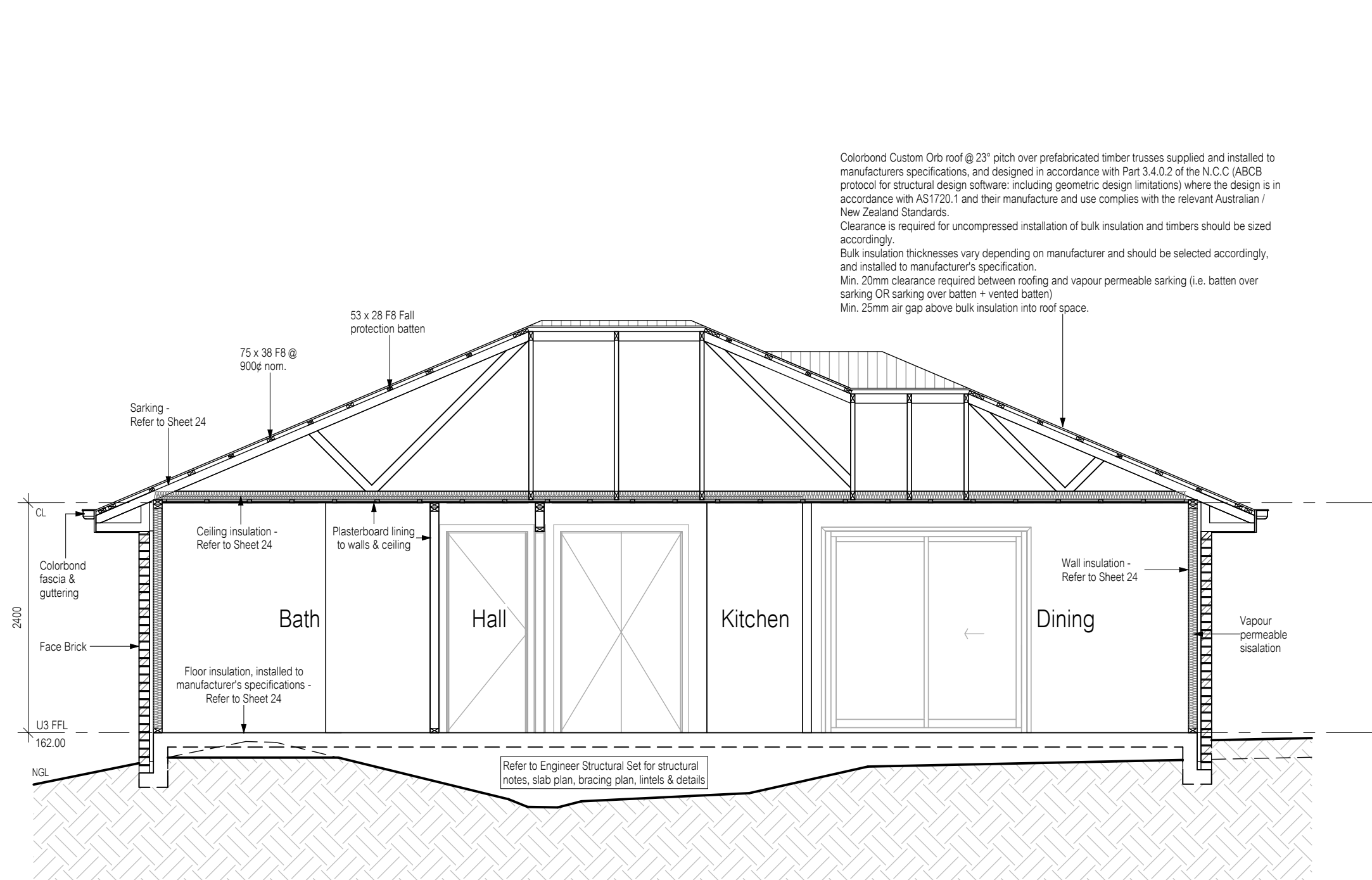
Notes
• Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.

Designer:
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Client / Project info
PROPOSED TYRRELL UNIT DEVELOPMENT 34 Scott Street HADSPEN



UNIT 3 SLAB SETOUT PLAN	
Drawn RJ	WH713525
Date 06 October 2022	Sheet
Scale 1 : 100	20/34



Colorbond Custom Orb roof @ 23° pitch over prefabricated timber trusses supplied and installed to manufacturers specifications, and designed in accordance with Part 3.4.0.2 of the N.C.C (ABCB protocol for structural design software: including geometric design limitations) where the design is in accordance with AS1720.1 and their manufacture and use complies with the relevant Australian / New Zealand Standards.

Clearance is required for uncompressed installation of bulk insulation and timbers should be sized accordingly.

Bulk insulation thicknesses vary depending on manufacturer and should be selected accordingly, and installed to manufacturer's specification.

Min. 20mm clearance required between roofing and vapour permeable sarking (i.e. batten over sarking OR sarking over batten + vented batten)

Min. 25mm air gap above bulk insulation into roof space.

Batten fixings:
100mm type 17, 14g bugle screws to comply with AS1684, or refer to AS1684 for alternatives

Colorbond fixings:
50mm M6 11 x 50 EPDM seal to comply with AS3566 or refer to AS3566 for alternatives.

Lightweight claddings fixings:
Refer to manufacturer's specifications for fixings, flashings and other installation details.

Section CC

SHEET: 18
SCALE: 1 : 50

D	01 February 2023	KV
No.	Date	Int.

Amendment changes as per cover sheet

- Notes
- Builder to verify all dimensions and levels on site prior to commencement of work
 - All work to be carried out in accordance with the current National Construction Code.
 - All materials to be installed according to manufacturers specifications.
 - Do not scale from these drawings.
 - No changes permitted without consultation with designer.

Designer:

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NEW TOWN
LIC. NO. CC2204H (A. Strugnell)
Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

Client / Project info

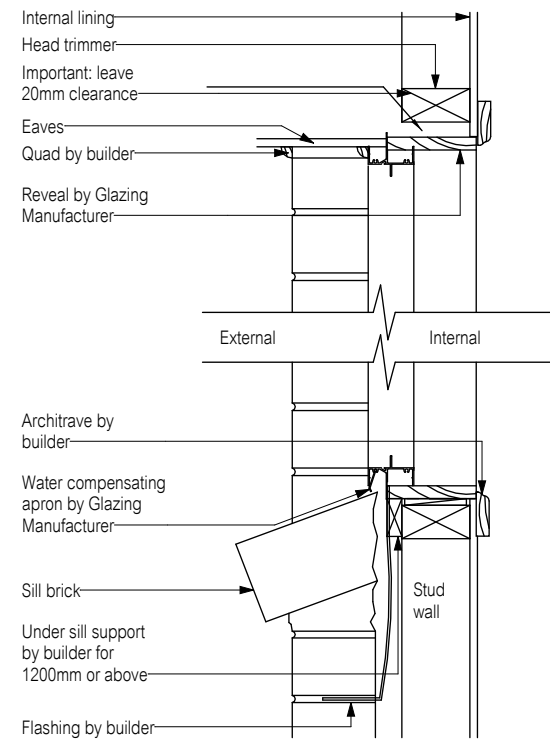
PROPOSED TYRRELL UNIT DEVELOPMENT
34 Scott Street
HADSPEN



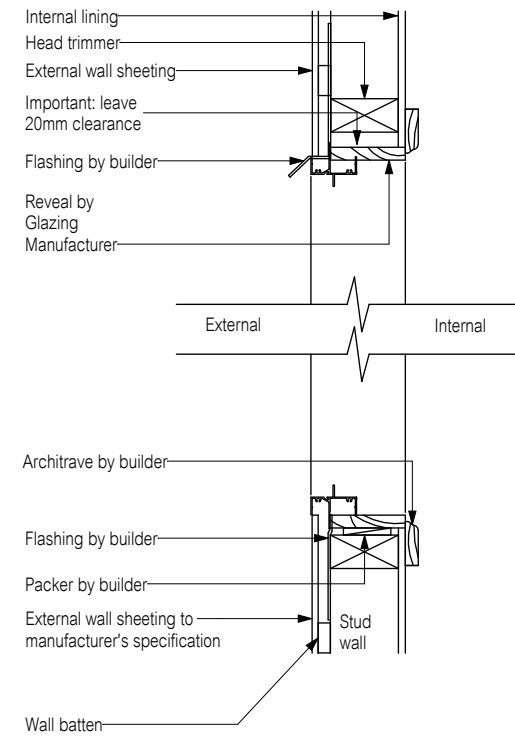
SECTION CC

Drawn	RJ	WH713525
Date	06 October 2022	Sheet
Scale	1 : 50	

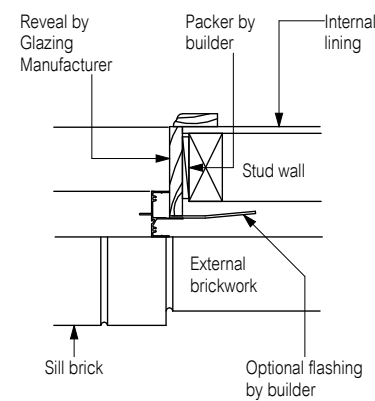
21/34



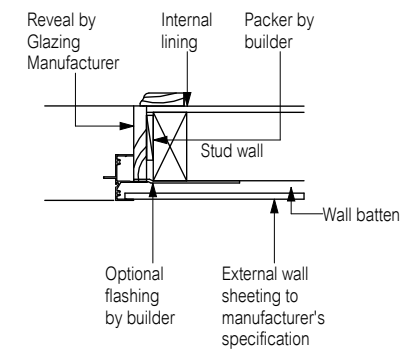
BRICK VENEER FLASHING
HEAD / SILL DETAIL



LIGHTWEIGHT CLADDING FLASHING
HEAD / SILL DETAIL



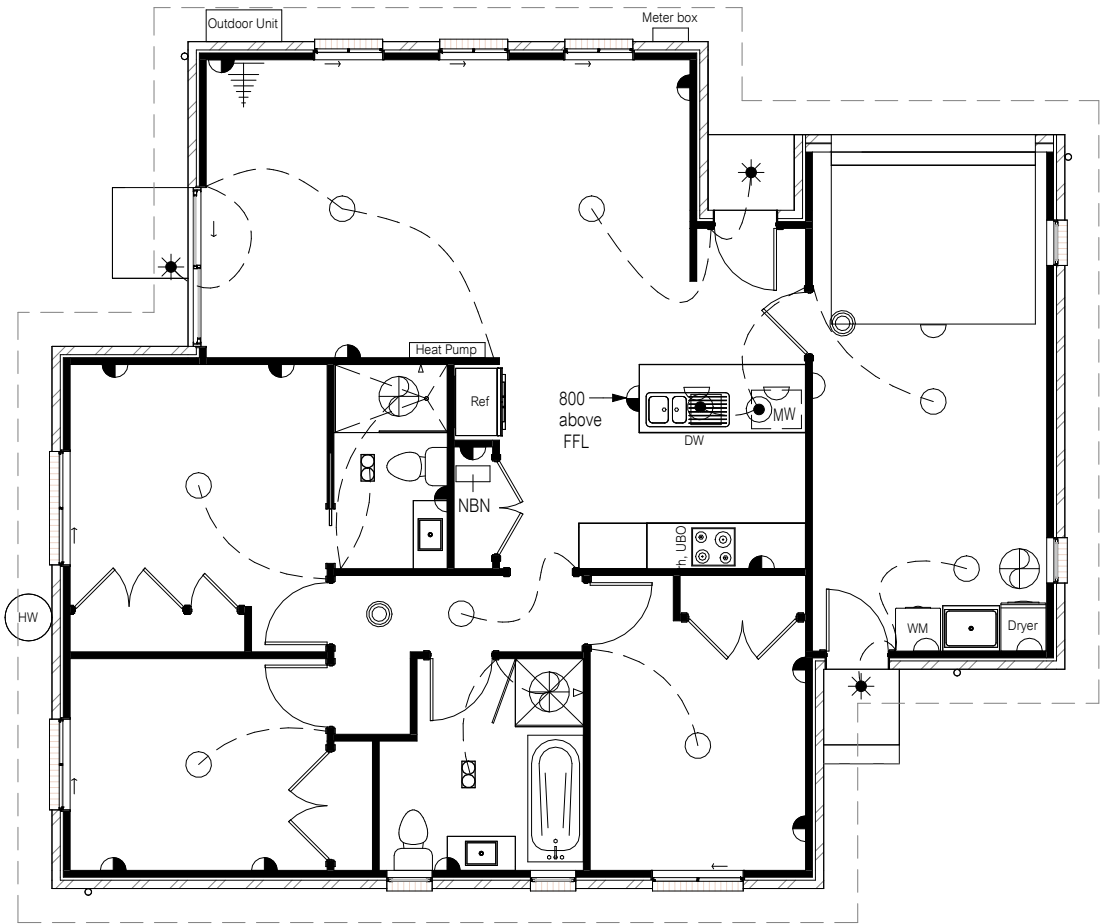
BRICK VENEER FLASHING
JAMB DETAIL



LIGHTWEIGHT CLADDING FLASHING
JAMB DETAIL

No. Date Int.			Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info	WILSONMULTI	UNIT 3 WINDOW FLASHING DETAIL		
				ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED TYRRELL UNIT DEVELOPMENT 34 Scott Street HADSPEN		Drawn	RJ	WH713525
							Date	06 October 2022	Sheet
							Scale	1 : 10	22/34

NOTE
NBN CAT6 data point &
GPO located second shelf
from top in Linen



- LEGEND (W = Wattage e.g. 35W = 35 Watts.)
- STANDARD CEILING LIGHT POINT (30W)
 - DOWNLIGHT POINT (UNVENTED) (35W)
 - ✱ LED DOWNLIGHT POINT (10W) SUITABLE FOR & FITTED WITH INSULATION OVER. (IC RATED)
 - PENDANT LIGHT (30W)
 - WALL LIGHT POINT (30W)
 - 2 x 900mm FLUORESCENT LIGHT POINT (36W)
 - 2 x SLIM T5 900mm FLUORESCENT LIGHT POINT (28W)
 - X LIGHT SWITCH
 - ⌒ SINGLE POWER POINT
 - ⌒ DOUBLE POWER POINT
 - ⌒ DOUBLE POWER POINT WITH USB
 - ⌒ WATER PROOF POWER POINT
 - ⊙ SMOKE ALARM (INTERCONNECTED WHERE MORE THAN 1)
 - ⌒ HEATER / LIGHT (10W)
 - ⌒ TV CONNECTION POINT
 - ⌒ TELEPHONE CONNECTION POINT
 - ⌒ SENSOR LIGHT
 - ⊙ EXHAUST FAN (VENT IN ACCORDANCE WITH N.C.C. 3.8.7.3)
 - ⌒ FLOOD LIGHT
 - ⌒ CAT 6 CONNECTION POINT
 - ▶ TREAD LIGHTS (2W)
 - ⌒ DUCTED VACUUM POINT
 - ⌒ SECURITY SYSTEM KEYPAD
 - ⌒ SECURITY SYSTEM SENSOR

ALL EXHAUST FANS:
25 L/s for a bathroom or sanitary compartment, 40 L/s for a kitchen or laundry. Exhaust from a bathroom, sanitary compartment, or laundry must be discharged directly or via a shaft or duct to outdoor air or to a roof space that is ventilated in accordance with 3.8.7.4

F	04 Oct. 2023	KV
D	01 February 2023	KV
C	05 Oct. 22	RJ
No.	Date	Int.

Amendment changes as per cover sheet

- Notes
- Builder to verify all dimensions and levels on site prior to commencement of work
 - All work to be carried out in accordance with the current National Construction Code.
 - All materials to be installed according to manufacturers specifications.
 - Do not scale from these drawings.
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Designer:
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Ph: (03) 6231 4122
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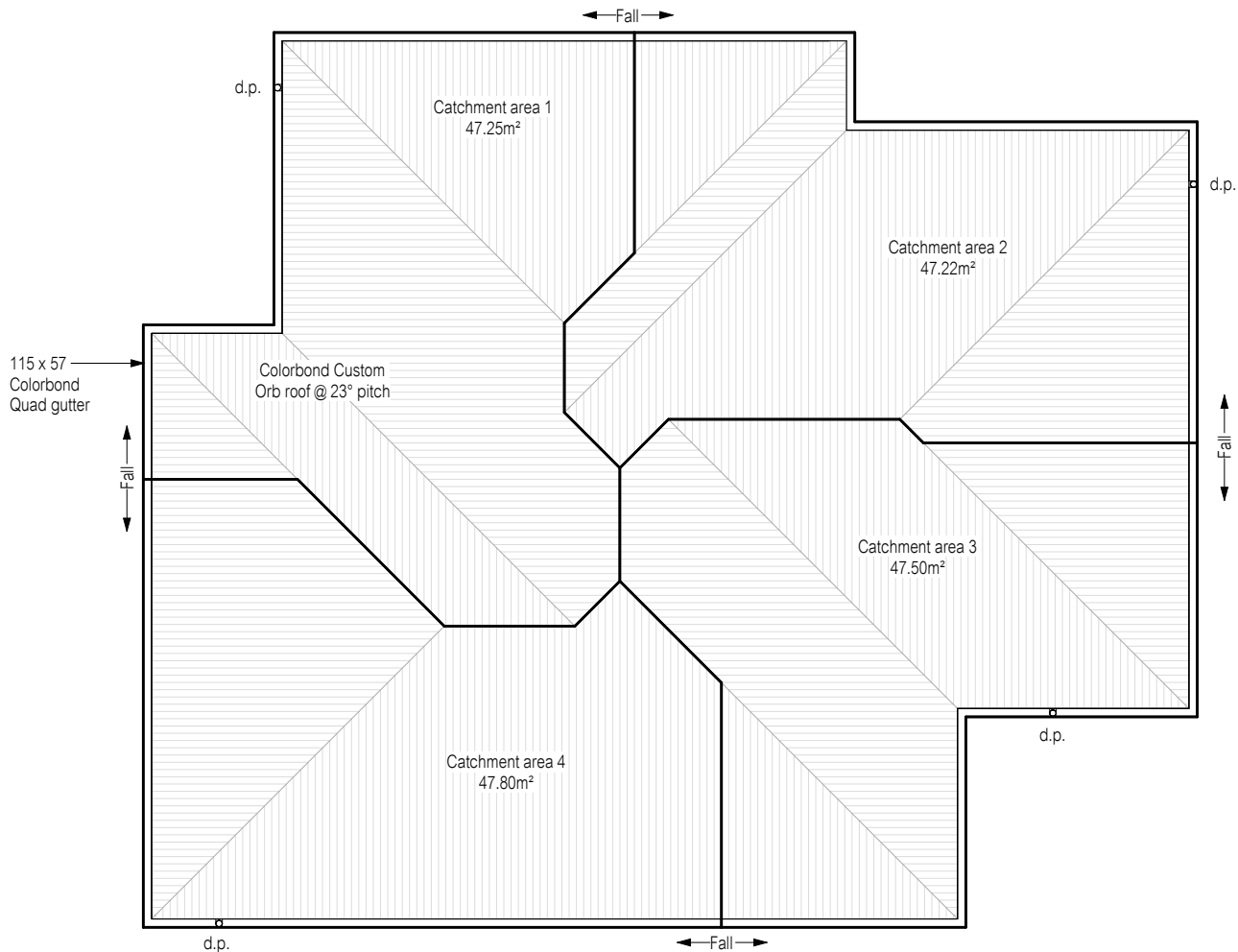
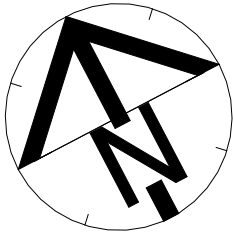
Client / Project info
PROPOSED TYRRELL UNIT DEVELOPMENT
34 Scott Street
HADSPEN



UNIT 3 ELECTRICAL PLAN

Drawn	KV	WH713525
Date	23 June 2022	Sheet
Scale	1 : 100	

23/34



Position and quantity of downpipes are not to be altered without consultation with designer

Area's shown are surface areas / catchment areas, not plan areas.

DOWNPIPE AND ROOF CATCHMENT AREA CALCULATIONS (as per AS/NZS 3500.3)		
Ah ¹	150.72	Area of Roof (excluding 115mm Quad gutter) (m ²)
Ah ²	156.84	Area of Roof (including 115mm Quad gutter) (m ²)
Ac	189.77	Ah ² x Slope factor (Table 3.2 from AS/NZS 3500.3) (m ²)
Ae	6555	Cross sectional area of assumed 57 x 115 Quad Gutter. (mm ²)
DRI	110	Design Rainfall Intensity (determined from Figure E8 from AS/NZS 3500.3)
ACDP	58	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3) (m ²)
Required Downpipes	3.27	Ac ÷ Acdp
Downpipes Provided	4	

- Notes
- Builder to verify all dimensions and levels on site prior to commencement of work
 - All work to be carried out in accordance with the current National Construction Code.
 - All materials to be installed according to manufacturers specifications.
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Designer:

ANOTHER PERSPECTIVE PTY LTD
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LIC. NO. CC2204H (A. Strugnelli)
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info@anotherperspective.com.au

Client / Project info

PROPOSED TYRRELL UNIT DEVELOPMENT
34 Scott Street
HADSPEN



UNIT 3 ROOF PLAN

Drawn	KV	WH713525
Date	23 June 2022	Sheet
Scale	1 : 100	25/34

GUTTER OVERFLOW REQUIREMENTS as per N.C.C. Table 3.5.2.4:
Controlled front bead height with the front bead of the gutter installed a minimum of 10mm below the top of the fascia.

Batten fixings:
100mm type 17, 14g bugle screws to comply with AS1684, or refer to AS1684 for alternatives.

Batten spacing:
75 x 38 F8
@ 900 Centre

Colorbond fixings:
50mm M6 11 x 50 EPDM seal to comply with AS3566 or refer to AS3566 for alternatives.

ROOF VENTILATION GUIDE:
Ventilation calculations must be read in conjunction with *CBOS - Condensation in Buildings - Tasmanian Designers' Guide - Version 2 (published April 2019)*.

Continuous gap:

Supply	Exhaust
Continuous gap at eaves is: 25mm for <16° pitch 10mm for >16° pitch	Continuous gap at ridge is at least 5mm for all roof pitches

OR

Roof vents:

The minimum vent area should be:
a) Ceiling area/150 for <16° pitch, or
b) Ceiling area/300 for >16° pitch

Supply	Exhaust
75% of ventilation should be supply	25% of ventilation should be exhaust

Vent at gable should be within 900mm of ridge.

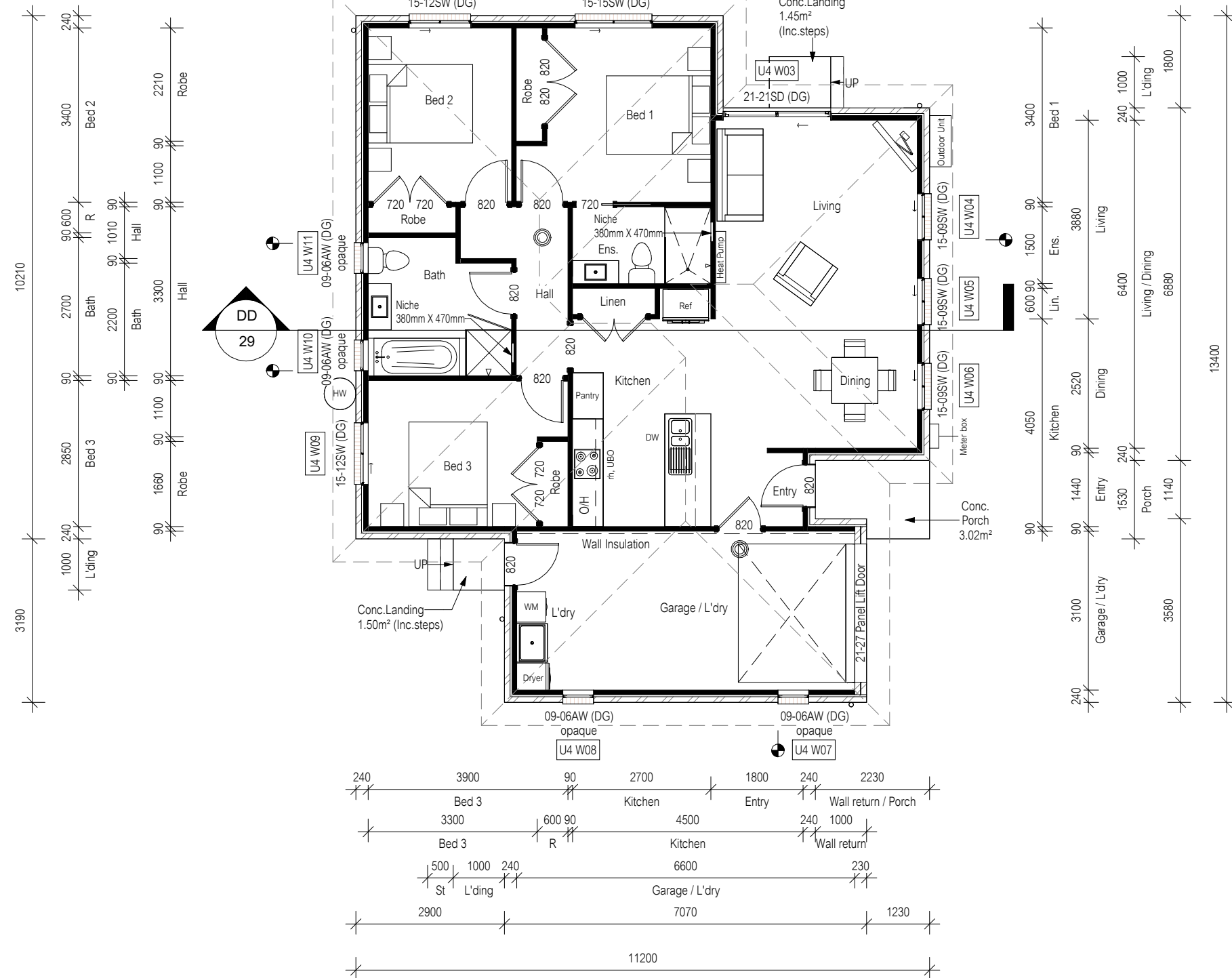
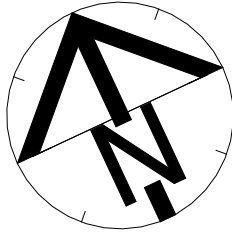
ROOF VENTILATION CALCULATION

Roof vents:	
Ceiling Area:	114.60m ²
Roof Pitch:	23°
Supply area required (75%):	0.28m ²
Exhaust area required (25%):	0.09m ²

Example	
Vent Width	200mm
Vent Length	400mm
Vent area	0.08m ²
Opening	50%
Supply number required	7 evenly spaced
Exhaust number required	Continuous 5mm gap to ridge

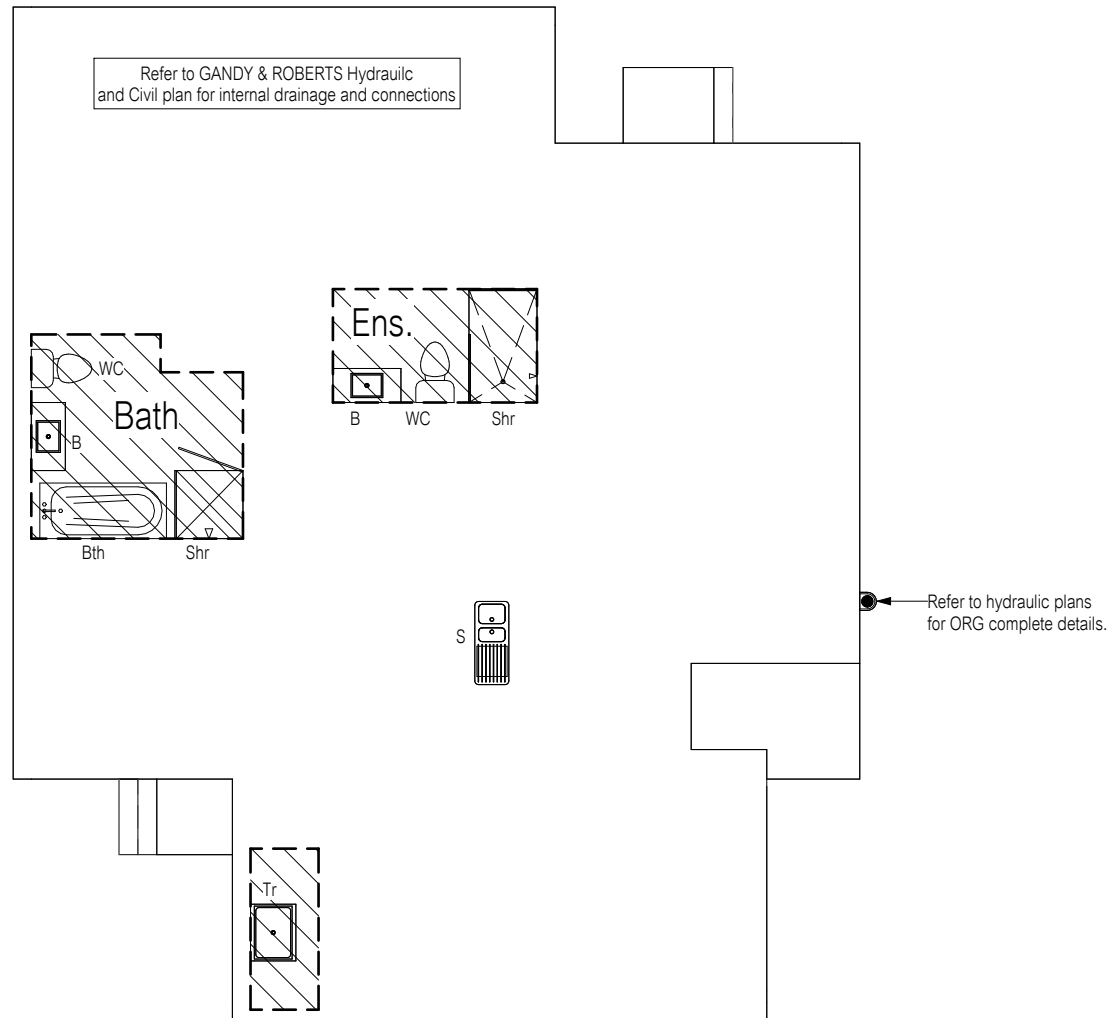
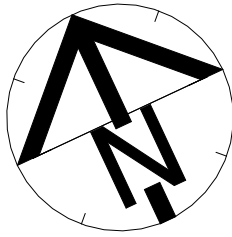
AS3959 compliant ember mesh and compressible blanket to ridge vents on jobs in BAL zones.

No.	Date	Int.	Amendment changes as per cover sheet
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F	04 Oct. 2023	KV
E	05 July 2023	RJ
D	01 February 2023	KV
No.	Date	Int.

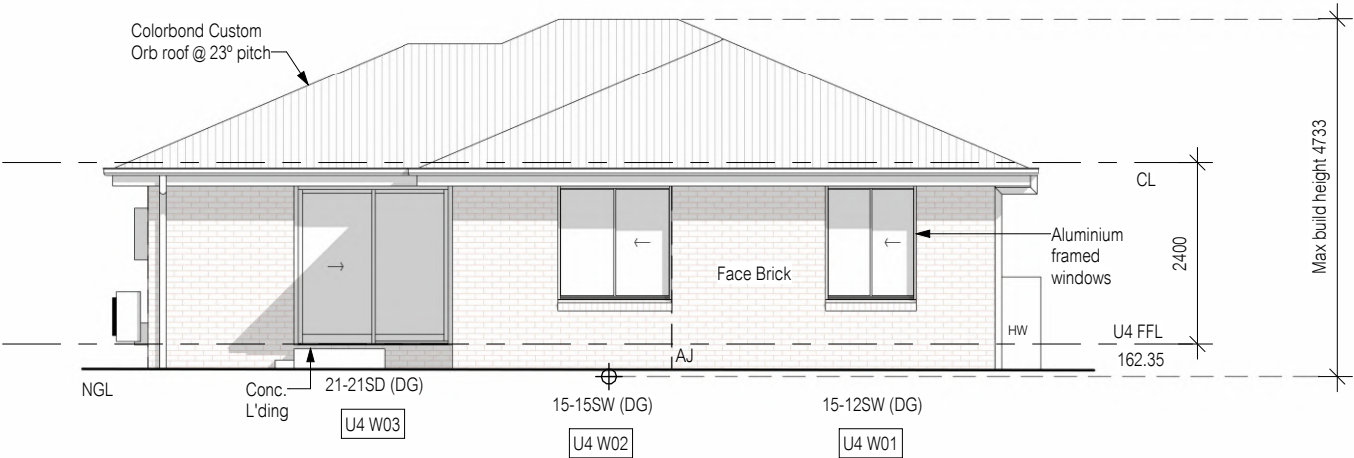
Floor Area = 126.63m²		All window sizes to be checked and/or confirmed on site prior to ordering glazing units	Notes	Designer:	Client / Project info	m WILSON MULTI	UNIT 4 FLOOR PLAN		
—●— Articulation joints			- Builder to verify all dimensions and levels on site prior to commencement of work - All work to be carried out in accordance with the current National Construction Code. - All materials to be installed according to manufacturers specifications. - Do not scale from these drawings. - No changes permitted without consultation with designer.	ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED TYRRELL UNIT DEVELOPMENT 34 Scott Street HADSPEN		Drawn	KV	WH713525
◎ Smoke Alarm (interconnected where more than 1)							Date	23 June 2022	Sheet
							Scale	1 : 100	26/34
								Copyright ©	
Amendment changes as per cover sheet									



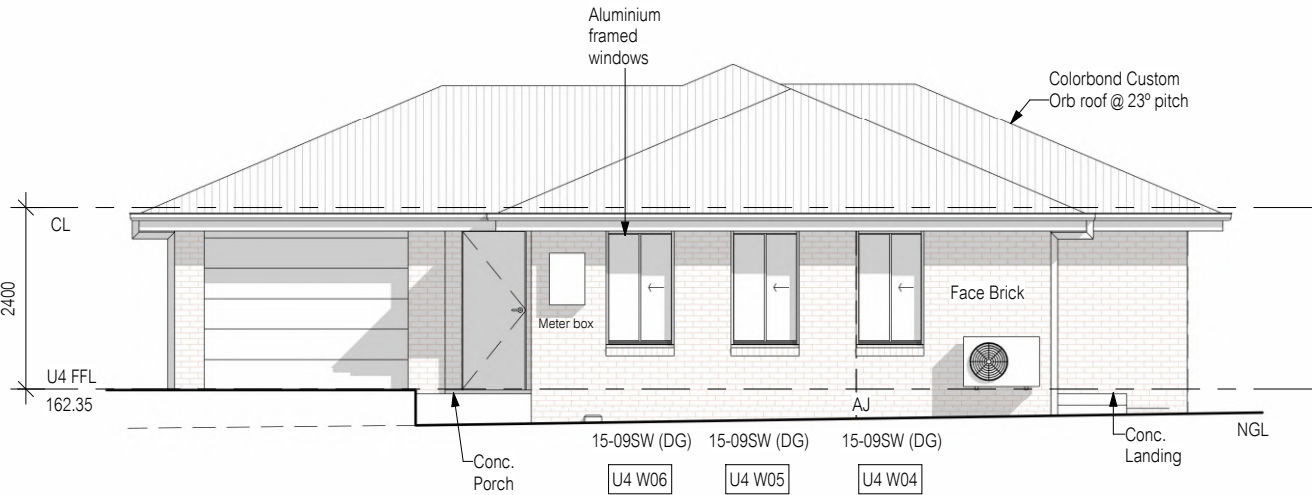
F	04 Oct. 2023	KV
D	01 February 2023	KV
No.	Date	Int.

Soil classification: P			- Wet areas to comply with NCC 3.8.1.2 and AS3740	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		UNIT 4 WET AREA PLAN	
Refer to Soil Report for nominated founding depth and description of founding material.					ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED TYRRELL UNIT DEVELOPMENT 34 Scott Street HADSPEN		Drawn KV	WH713525
All Materials and construction to comply with AS/NZ3500 Part 2 & Part 3:2003						Date 01 February 2023		Sheet	
						Scale 1 : 100		26a/34	
Amendment changes as per cover sheet									

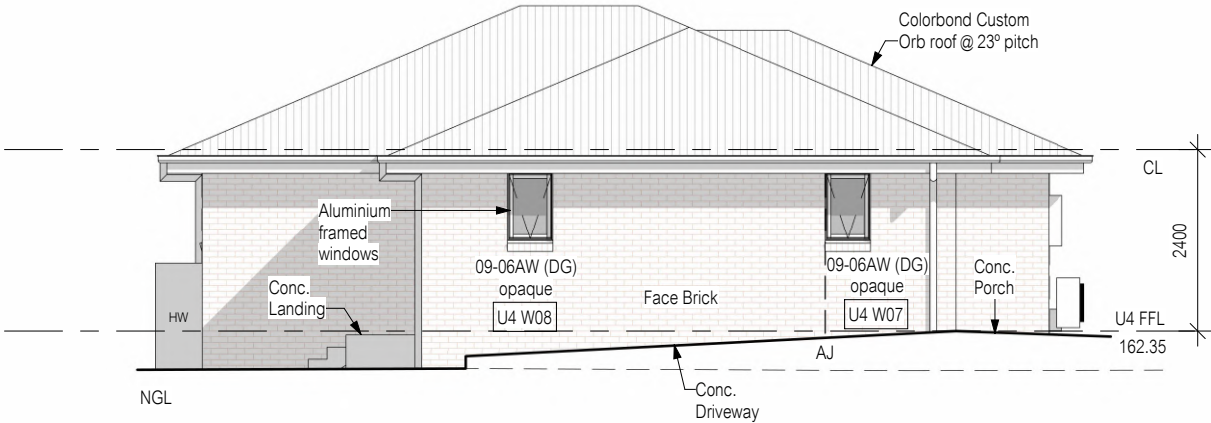
Material	Colour
Colorbond Roof	'Monument'
Face Brick	Austral Access 'Shale'



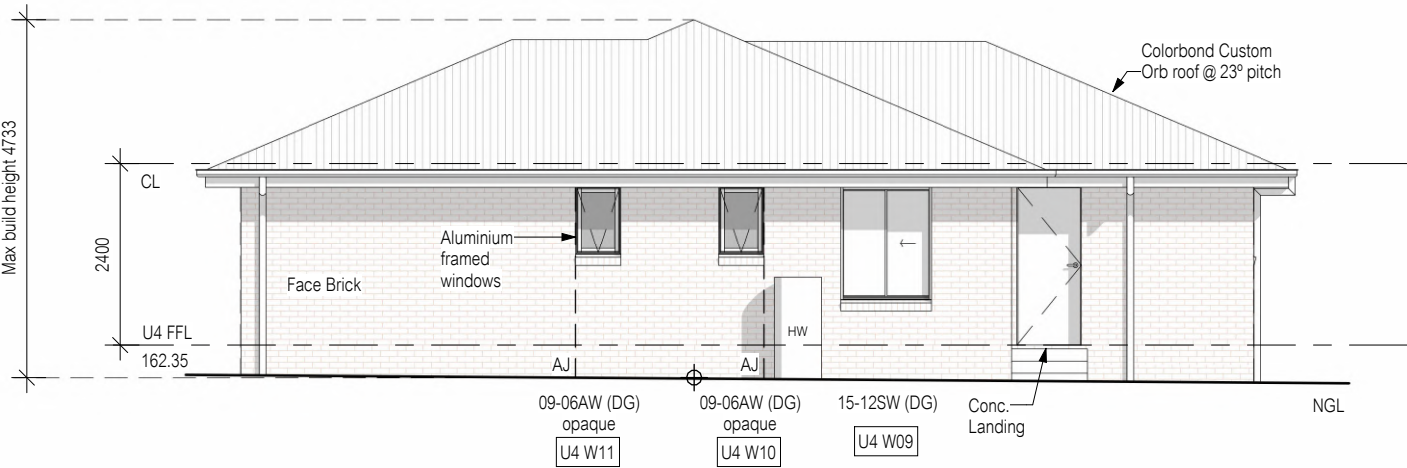
North East Elevation



South East Elevation



South West Elevation



North West Elevation

F	04 Oct. 2023	KV
E	05 July 2023	RJ
D	01 February 2023	KV
C	05 Oct. 22	RJ
No.	Date	Int.

Amendment changes as per cover sheet		
All window sizes to be checked and/or confirmed on site prior to ordering glazing units LEGEND: AJ - Articulation Joint BV - Brick Vent		
Shadows shown for stylisation purposes only		

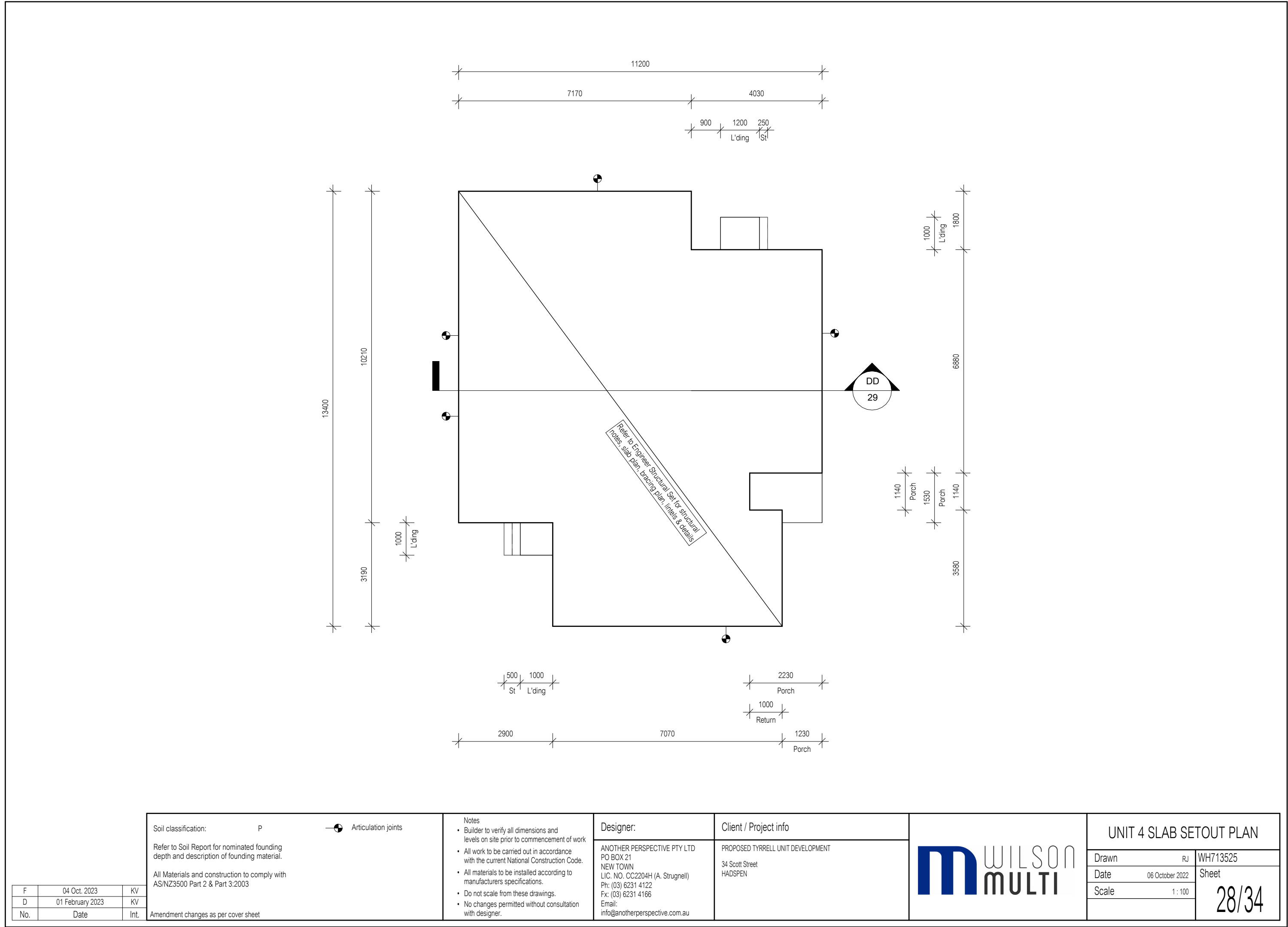
Notes
- Builder to verify all dimensions and levels on site prior to commencement of work - All work to be carried out in accordance with the current National Construction Code. - All materials to be installed according to manufacturers specifications. - Do not scale from these drawings. - No changes permitted without consultation with designer.

Designer:
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Client / Project info
PROPOSED TYRRELL UNIT DEVELOPMENT 34 Scott Street HADSPEN



UNIT 4 ELEVATIONS	
Drawn	KV
Date	23 June 2022
Scale	1 : 100
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WH713525 Sheet 27/34	



F	04 Oct. 2023	KV
D	01 February 2023	KV
No.	Date	Int.

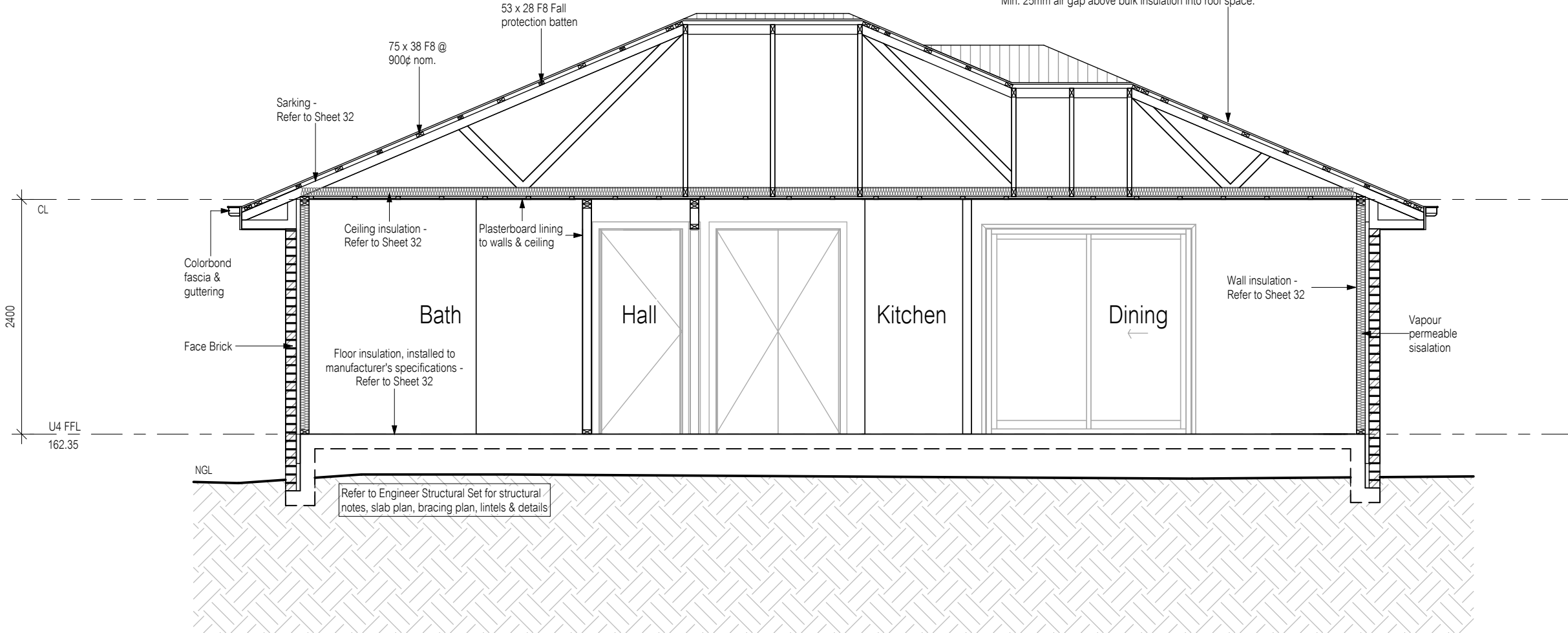
Soil classification: P		 Articulation joints	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		UNIT 4 SLAB SETOUT PLAN	
Refer to Soil Report for nominated founding depth and description of founding material.				ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnell) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED TYRRELL UNIT DEVELOPMENT 34 Scott Street HADSPEN		Drawn RJ	WH713525
				All Materials and construction to comply with AS/NZ3500 Part 2 & Part 3:2003			Date 06 October 2022	Sheet
								Scale 1 : 100
Amendment changes as per cover sheet								

Batten fixings:
100mm type 17, 14g bugle
screws to comply with
AS1684, or refer to AS1684
for alternatives

Colorbond fixings:
50mm M6 11 x 50 EPDM
seal to comply with AS3566
or refer to AS3566 for
alternatives.

Lightweight claddings fixings:
Refer to manufacturer's
specifications for fixings, flashings
and other installation details.

Colorbond Custom Orb roof @ 23° pitch over prefabricated timber trusses supplied and installed to manufacturers specifications, and designed in accordance with Part 3.4.0.2 of the N.C.C (ABCB protocol for structural design software: including geometric design limitations) where the design is in accordance with AS1720.1 and their manufacture and use complies with the relevant Australian / New Zealand Standards.
Clearance is required for uncompressed installation of bulk insulation and timbers should be sized accordingly.
Bulk insulation thicknesses vary depending on manufacturer and should be selected accordingly, and installed to manufacturer's specification.
Min. 20mm clearance required between roofing and vapour permeable sarking (i.e. batten over sarking OR sarking over batten + vented batten)
Min. 25mm air gap above bulk insulation into roof space.



Section DD

SHEET: 26
SCALE: 1 : 50

D	01 February 2023	KV
No.	Date	Int.

Amendment changes as per cover sheet

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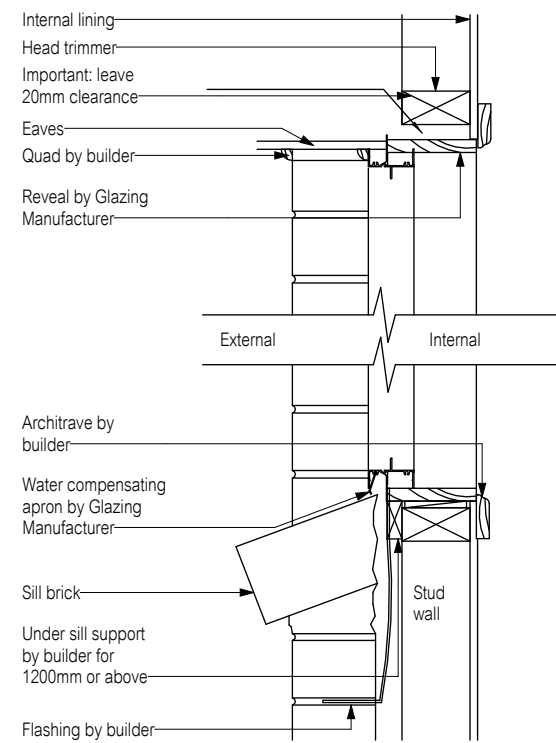
PROPOSED TYRRELL UNIT DEVELOPMENT
34 Scott Street
HADSPEN



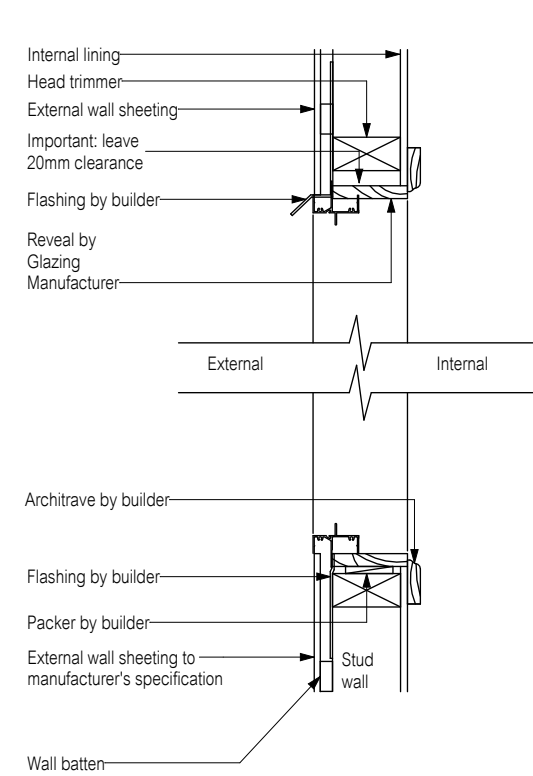
SECTION DD

Drawn	RJ	WH713525
Date	06 October 2022	Sheet
Scale	1 : 50	

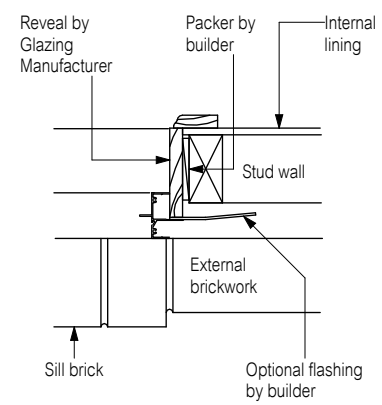
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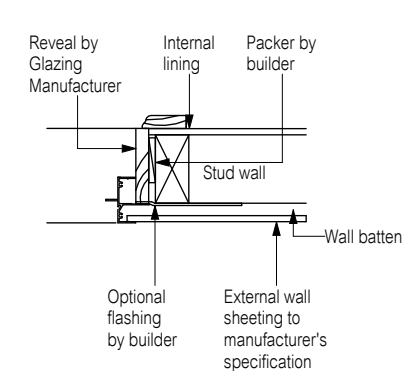
BRICK VENEER FLASHING
HEAD / SILL DETAIL



LIGHTWEIGHT CLADDING FLASHING
HEAD / SILL DETAIL



BRICK VENEER FLASHING
JAMB DETAIL



LIGHTWEIGHT CLADDING FLASHING
JAMB DETAIL

No.	Date	Int.	Amendment changes as per cover sheet
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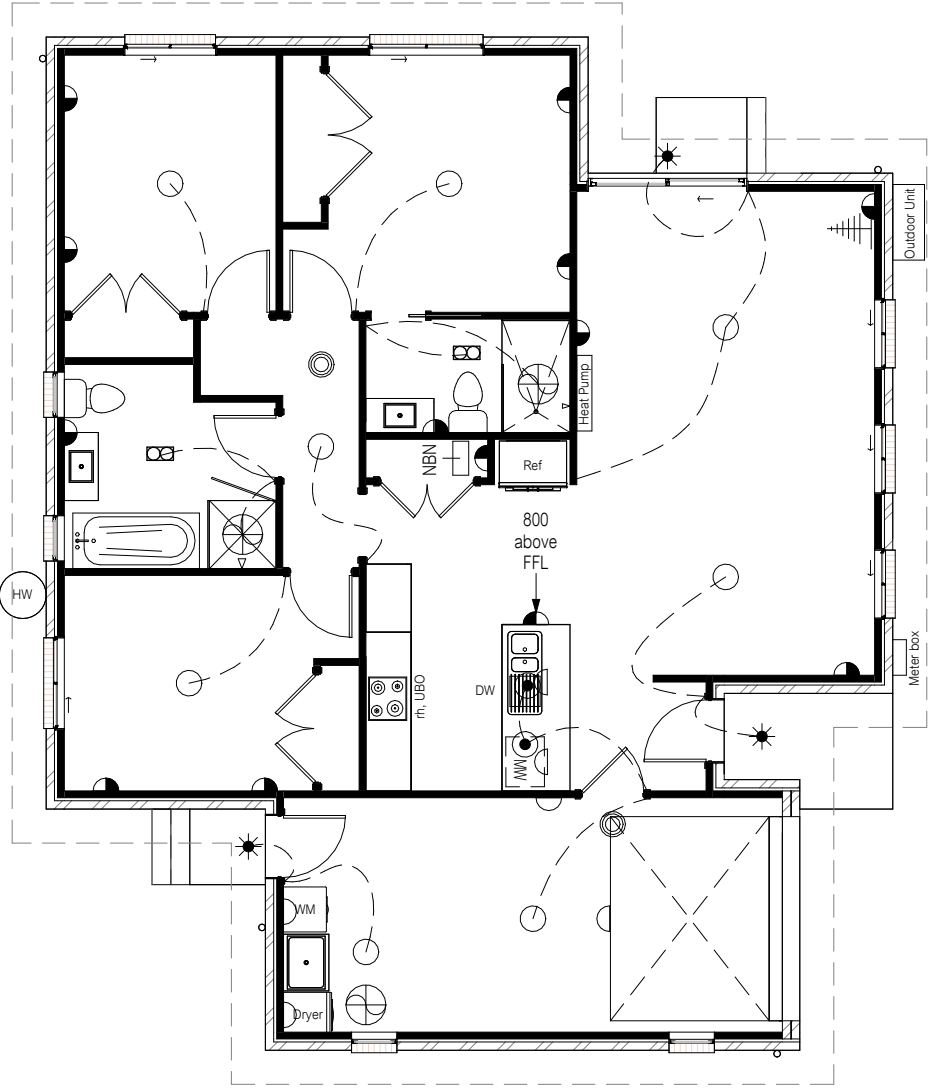
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PROPOSED TYRRELL UNIT DEVELOPMENT
34 Scott Street
HADSPEN



UNIT 4 WINDOW FLASHING DETAIL		
Drawn	RJ	WH713525
Date	06 October 2022	Sheet
Scale	1 : 10	30/34

NOTE
NBN CAT6 data point &
GPO located second shelf
from top in Linen



- LEGEND (W = Wattage e.g. 35W = 35 Watts.)
- STANDARD CEILING LIGHT POINT (30W)
 - DOWNLIGHT POINT (UNVENTED) (35W)
 - ✱ LED DOWNLIGHT POINT (10W) SUITABLE FOR & FITTED WITH INSULATION OVER. (IC RATED)
 - PENDANT LIGHT (30W)
 - WALL LIGHT POINT (30W)
 - 2 x 900mm FLUORESCENT LIGHT POINT (36W)
 - 2 x SLIM T5 900mm FLUORESCENT LIGHT POINT (28W)
 - X LIGHT SWITCH
 - ⌒ SINGLE POWER POINT
 - ⌒ DOUBLE POWER POINT
 - ⌒ DOUBLE POWER POINT WITH USB
 - ⌒ WATER PROOF POWER POINT
 - ⊙ SMOKE ALARM (INTERCONNECTED WHERE MORE THAN 1)
 - ⌒ HEATER / LIGHT (10W)
 - ⌒ TV CONNECTION POINT
 - ⌒ TELEPHONE CONNECTION POINT
 - ⌒ SENSOR LIGHT
 - ⊙ EXHAUST FAN (VENT IN ACCORDANCE WITH N.C.C. 3.8.7.3)
 - ⌒ FLOOD LIGHT
 - ⌒ CAT 6 CONNECTION POINT
 - ▶ TREAD LIGHTS (2W)
 - ⌒ DUCTED VACUUM POINT
 - ⌒ SECURITY SYSTEM KEYPAD
 - ⌒ SECURITY SYSTEM SENSOR

ALL EXHAUST FANS:
25 L/s for a bathroom or sanitary compartment, 40 L/s for a kitchen or laundry. Exhaust from a bathroom, sanitary compartment, or laundry must be discharged directly or via a shaft or duct to outdoor air or to a roof space that is ventilated in accordance with 3.8.7.4

F	04 Oct. 2023	KV
D	01 February 2023	KV
C	05 Oct. 22	RJ
No.	Date	Int.

Amendment changes as per cover sheet

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Client / Project info
PROPOSED TYRRELL UNIT DEVELOPMENT
34 Scott Street
HADSPEN



UNIT 4 ELECTRICAL PLAN

Drawn	KV	WH713525
Date	23 June 2022	Sheet
Scale	1 : 100	

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WINDOW MANUFACTURER: CLARK WINDOWS
LEGEND: SW = Sliding Window, AW = Awning Window, SD = Sliding door, FD = French Door, BRPG = Bushfire Rated Privacy Glass NOTE: Window tags including (DG) are to be Double Glazed, otherwise they are to be single glazed.
NOTE: Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Windows labelled YES in "Restricted/protected" column to comply with N.C.C. 3.9.2.6 & 3.9.2.7

Help

Calculator

PROPOSED TYRRELL UNIT DEVELOPMENT (UNIT 3 & 4) 34 Scott Street, HADSPEN

10

(as currently displayed)

Separate aggregate allowances are calculated for Class 1, 2 or 4 cases; for a verandah or balcony; or for a Class 10 building. The '% of Allowance Used' outcomes refer to these aggregate allowances.

ID	Description	Type of space	Floor area of the space	Design Lamp or Illumination Power Load	Location	Adjustment Factor				SATISFIES PART 3.12.5.5		
						Adjustment Factor	Dimming % Area	Dimming % of Full Power	Design Lumen Depreciation Factor	Lamp or Illumination Power Density		System Share of % of Aggregate Allowance Used
										System Allowance	System Design	
1	Living	Living room	15.3 m²	30 W	Class 1 building					5.0 W/m²	2.0 W/m²	7% of 56%
2	Dining / Entry	Living room	12.5 m²	30 W	Class 1 building					5.0 W/m²	2.4 W/m²	9% of 56%
3	Kitchen	Kitchen	12.9 m²	60 W	Class 1 building					5.0 W/m²	4.7 W/m²	18% of 56%
4	Bed 3	Bedroom	11.1 m²	30 W	Class 1 building					5.0 W/m²	2.7 W/m²	10% of 56%
5	Bath	Bathroom	7.0 m²	8 W	Class 1 building					5.0 W/m²	1.1 W/m²	4% of 56%
6	Bed 2	Bedroom	10.5 m²	30 W	Class 1 building					5.0 W/m²	2.8 W/m²	10% of 56%
7	Bed 1	Bedroom	12.9 m²	30 W	Class 1 building					5.0 W/m²	2.3 W/m²	9% of 56%
8	Ens.	Bathroom	4.1 m²	8 W	Class 1 building					5.0 W/m²	2.0 W/m²	7% of 56%
9	Hall	Other	4.4 m²	30 W	Class 1 building					5.0 W/m²	6.8 W/m²	25% of 56%
10	Garage / L'dry	Other	20.5 m²	60 W	Class 10a building					3.0 W/m²	2.9 W/m²	100% of 97%

		Allowance	Design Average
111.2 m²	316 W		
Class 1 building		5.0 W/m²	2.8 W/m²
Class 10a building (associated with a Class 1 building)		3.0 W/m²	2.9 W/m²



IMPORTANT NOTICE AND DISCLAIMER IN RESPECT OF THIS LIGHTING CALCULATOR

By accessing or using this calculator, you agree to the following: While care has been taken in the preparation of this calculator, it may not be complete or up-to-date. You can ensure that you are using a complete and up-to-date version by checking the Australian Building Codes Board website (www.abcb.gov.au). The Australian Building Codes Board, the Commonwealth of Australia and States and Territories of Australia do not accept any liability, including liability for negligence, for any loss (howsoever caused), damage, injury, expense or cost incurred by any person as a result of accessing, using or relying upon this publication, to the maximum extent permitted by law. No representation or warranty is made or given as to the currency, accuracy, reliability, merchantability, fitness for any purpose or completeness of this publication or any information which may appear on any linked websites, or in other linked information sources, and all such representations and warranties are excluded to the extent permitted by law. This calculator is not legal or professional advice. Persons rely upon this calculator entirely at their own risk and must take responsibility for assessing the relevance and accuracy of the information in relation to their particular circumstances.



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INSULATION SCHEDULE	
Area	Insulation Details
Roof	Sarking (vapour permeable)
Ceiling	R4.1 bulk insulation (or equivalent) excluding GARAGE
Walls (external)	R2.0 bulk insulation (or equivalent) with 1 layer sisalation (vapour permeable). Sisalation only to GARAGE
Walls (Internal)	R2.0 bulk insulation (or equivalent) to internal walls adjacent to GARAGE
Floors	R0.6 allowance for Biax pods (215mm) in concrete slab

NOTE:

Clearance is required for uncompressed installation of bulk insulation and timbers should be sized accordingly.

Bulk insulation thicknesses vary depending on manufacturer and should be selected accordingly, and installed to manufacturer's specification.

Min. 20mm clearance required between roofing and vapour permeable sarking (i.e. batten over sarking OR sarking over batten + vented batten)

Min. 25mm air gap above bulk insulation into roof space.

Where solar tubes are located, diffusers are to be installed.

Where skylights are located, ceiling insulation is to be installed to length of shaft.

C	05 Oct. 22	RJ	Amendment changes as per cover sheet
No.	Date	Int.	

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PROPOSED TYRRELL UNIT DEVELOPMENT
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HADSPEN



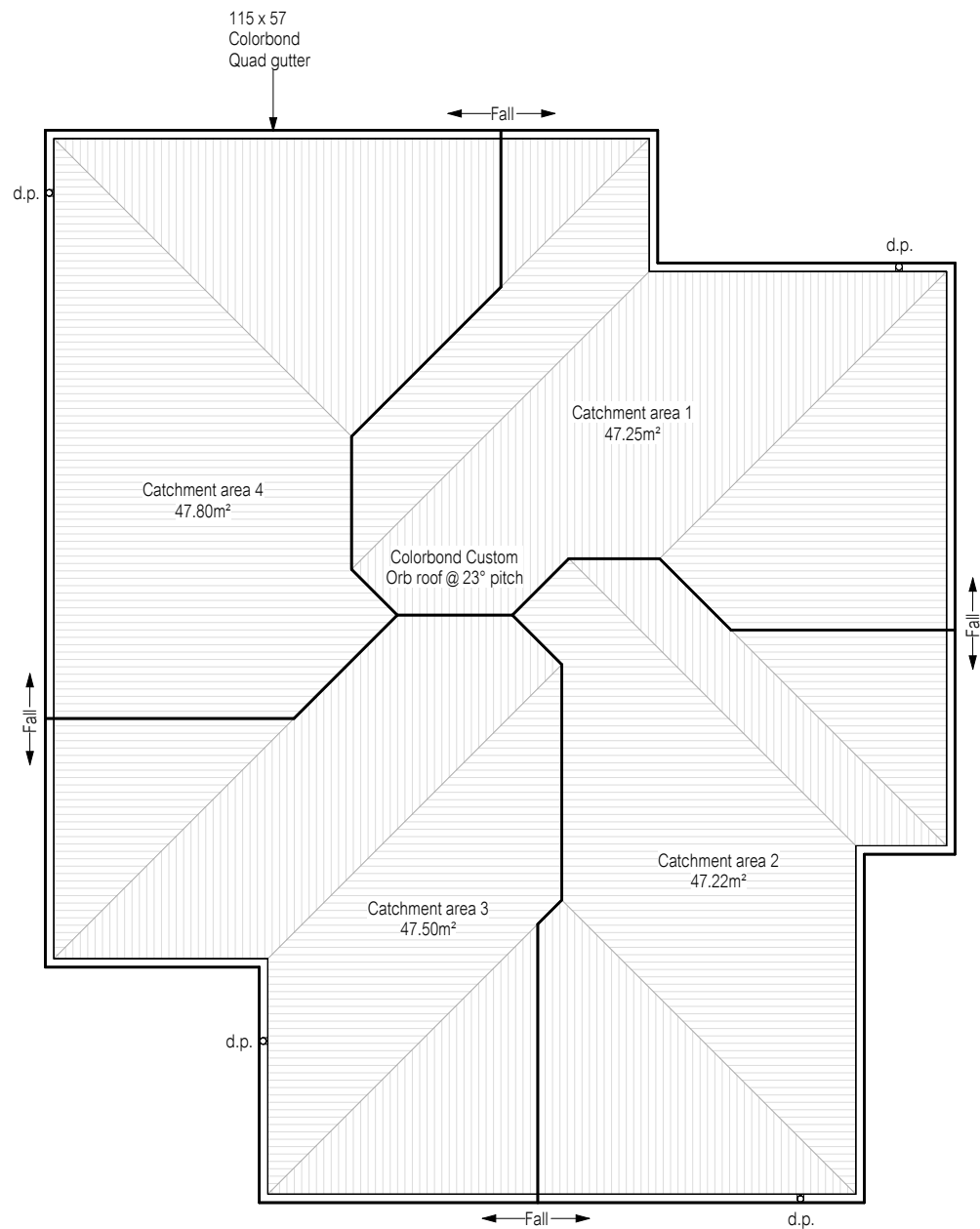
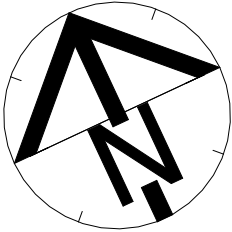
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Date	23 June 2022	Sheet
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Date	25/09/2022	Page	00
Scale			

Scale	32

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GUTTER OVERFLOW
REQUIREMENTS as per
N.C.C. Table 3.5.2.4:
Controlled front bead height
with the front bead of the
gutter installed a minimum of
10mm below the top of the
fascia.

Batten fixings:
100mm type 17, 14g bugle
screws to comply with
AS1684, or refer to AS1684
for alternatives.

Batten spacing:
75 x 38 F8
@ 900 Centre

Colorbond fixings:
50mm M6 11 x 50 EPDM
seal to comply with AS3566
or refer to AS3566 for
alternatives.

ROOF VENTILATION GUIDE:
Ventilation calculations must be read in conjunction with
CBOS - Condensation in Buildings - Tasmanian Designers' Guide - Version 2 (published April 2019).

Continuous gap:	
Supply	Exhaust
Continuous gap at eaves is: 25mm for <16° pitch 10mm for >16° pitch	Continuous gap at ridge is at least 5mm for all roof pitches

OR

Roof vents:
The minimum vent area should be:
a) Ceiling area/150 for <16° pitch, or
b) Ceiling area/300 for >16° pitch

Supply	Exhaust
75% of ventilation should be supply	25% of ventilation should be exhaust

Vent at gable should be within 900mm of ridge.

ROOF VENTILATION CALCULATION	
Roof vents:	
Ceiling Area:	114.60m²
Roof Pitch:	23°
Supply area required (75%):	0.28m²
Exhaust area required (25%):	0.09m²

Example	
Vent Width	200mm
Vent Length	400mm
Vent area	0.08m²
Opening	50%
Supply number required	7 evenly spaced
Exhaust number required	Continuous 5mm gap to ridge

AS3959 compliant ember mesh and compressible blanket to
ridge vents on jobs in BAL zones.

Position and quantity of downpipes
are not to be altered without
consultation with designer

Area's shown are surface areas /
catchment areas, not plan areas.

DOWNPIPE AND ROOF CATCHMENT AREA CALCULATIONS (as per AS/NZS 3500.3)		
Ah¹	150.72	Area of Roof (excluding 115mm Quad gutter) (m²)
Ah²	156.84	Area of Roof (including 115mm Quad gutter) (m²)
Ac	189.77	Ah² x Slope factor (Table 3.2 from AS/NZS 3500.3) (m²)
Ae	6555	Cross sectional area of assumed 57 x 115 Quad Gutter. (mm²)
DRI	110	Design Rainfall Intensity (determined from Figure E8 from AS/NZS 3500.3)
ACDP	58	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3) (m²)
Required Downpipes	3.27	Ac ÷ Acdp
Downpipes Provided	4	

No.	Date	Int.	Amendment changes as per cover sheet
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PROPOSED TYRRELL UNIT DEVELOPMENT
34 Scott Street
HADSPEN



UNIT 4 ROOF PLAN

Drawn	KV	WH713525
Date	23 June 2022	Sheet
Scale	1 : 100	

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GENERAL

- Builder to verify all dimensions and levels on site prior to commencement of work.
- All work to be carried out in accordance with the current National Construction Code.
- Internal dimensions are to wall framing only and does not include wall lining.
- Dimensions to take precedence over scale. Do not scale from these drawings.
- All materials to be installed according to manufacturers specifications.

SITEWORKS

- Cut and batter are indicative. Batter to comply with the current National Construction Code Table 3.1.1.1
- All cuts and FFL's shown (DA drawings) are subject to engineering advice once a satisfactory soil test has been received and reviewed.
- All earthworks to comply to the current N.C.C. Part 3.1.1.
- All embankments that are left exposed must be stabilised with vegetation or similar to prevent erosion.
- Embankments cannot exceed 2.0m in height without the aid of retaining walls or other approved types of soil retaining methods.
- All unprotected embankments must comply with the slope ratios for soil type in Table 3.1.1.1 of the current N.C.C.

SOIL TYPE / CLASSIFICATION	EMBANKMENT SLOPE	
	COMPACTED FILL	CUT
Stable Rock (A)	2:3	8:1
Sand (A)	1:2	1:2
Firm Clay (M-E)	1:2	1:1
Soft Clay (M-E)	Not Suitable	2:3

MASONRY

- All masonry is to be constructed in accordance with AS3700.
- External walls to be 110mm brickwork unless noted otherwise.
- Mortar to be mixed 1:1:6 cement: lime: sand unless stated otherwise by engineer.
- Damp-proof course in all perimeter walls cut into external walls below floor level with weep holes at 1200 crs. in accordance with AS2904
- Vertical articulation joints to be provided 6m max centres for unreinforced masonry walls except where built on site classification A or S and spaced as per AS3700 Section 12.6.4.
- Where necessary, steel lintels are to be provided in accordance with AS4100 and AS3700.

ELECTRICAL

- Exhaust fans to comply with current N.C.C. Part 3.8.5.2 Section C
- Exhaust fans to be sealed and ducted to outside of dwelling, or discharged into a roof space that complies with the current N.C.C. Part 3.8.7.4.
- Electrician is to ensure that all GPO's in wet areas meet all Standard and Code requirements.

TIMBER FRAMING

- All work to be carried out in accordance with the current National Construction Code.
- All timber framing to be carried out in accordance with AS1684 - *Residential Timber Framing Code*.
- Stud frames to be 90 x 35 F17 at 450 crs, unless noted otherwise.
- Galvanised wall ties to masonry at 450 crs horizontally and 600 crs vertically, with spacing reduced by 50% around openings.

BRACING / LINTELS

- Wall bracing to be as per AS1684-2 2010 *Residential Timber Framing Code* and AS1170 *Wind Loads*.
- Wall bracing as shown on plan is a minimum only. Builder to provide additional bracing to suit the construction of wall frames in accordance with good building practise.
- Plywood bracing in accordance with AS1684-2 2010 Table 8-18 (h) method B 900mm wide sheet ply bracing panels (6.0mm thick F11 or 4mm thick F14) to be fixed to stud frame with 2.8mm dia. X 30mm long min. flat head nails.

TIMBER LINTELS for single (or Upper Storey) to be F17 Hardwood as follows

- 0 - 1500 120 x 35
- 1500 - 2400 140 x 35
- 2400 - 2700 190 x 35
- Tie down and fixing connections to comply with AS1684

STEEL LINTELS for single (or Upper Storey) to be as follows

- 0 - 2700 90 x 90 x 6 EA
- 2700 - 3200 100 x 100 x 8 EA
- 3200 - 4000 150 x 90 x 8 UA
- Lintels require 150mm bearing either side of opening

ROOFING

- Roof to be Colorbond 'Custom Orb' metaldeck provided and installed in accordance with AS1562.1. (If roof is to be tiled, refer to AS2050. 2018)
- Prefabricated roof trusses to be supplied and installed to manufacturer's specification. Truss manufacturer to confirm lintel sizes.

SUSPENDED CEILINGS

- All suspended ceilings to be installed in accordance with AS2785:2020.

BUILDING FABRIC & INSULATION

- To be in accordance with the current N.C.C. part 3.12.
- Where an alternative energy efficiency design is proposed as an *Alternative Solution*, that *proposal must comply with Performance Requirement P2.6*
- Reflective building membrane installed to form 20mm airspace between reflective faces and external lining / cladding, fitted closely up to penetrations / openings, adequately supported and joints to be lapped minimum 150.
- Stated R values are for additional insulation required and are NOT Rt values (Total System Value)
- Insulation to be installed to manufacturers specifications and any relevant standards.
- Bulk insulation is not to be compressed as this reduces the effective R rating.
- Recessed downlights are to be shrouded to allow for insulation over (no insulation is possible over shrouding in raked ceilings).

WINDOWS

- Windows to be aluminium framed unless noted otherwise.
- All windows to be fabricated and installed in accordance with AS1288 and AS2047 to specific wind speed as per engineers report.
- All opening windows to comply to current N.C.C. 3.6 requirements.
- 3.9.2.6 Protection of openable windows - bedrooms
 - (a) A window opening in a bedroom must be provided with protection, where the floor below the window is 2 m or more above the surface beneath.
 - (b) Where the lowest level of the window opening covered by (a) is less than 1.7m above the floor, the window opening must comply with the following:
 - (i) The openable portion of the window must be protected with -
 - (A) a device capable of restricting the window opening; or
 - (B) a screen with secure fittings.
 - (ii) A device or screen required by (i) must -
 - (A) not permit a 125 mm sphere to pass through the window opening or screen; and
 - (B) resist an outward horizontal action of 250 N against the -
 - (aa) window restrained by a device; or
 - (bb) screen protecting the opening; and
 - (C) have a child resistant release mechanism if the screen or device is able to be removed, unlocked or overridden.
 - (c) Where a device or screen provided in accordance with (b)(i) is able to be removed, unlocked or overridden, a barrier with a height not less than 865 mm above the floor is required to the openable window in addition to window protection.
 - (d) A barrier covered by (c) must not -
 - (i) permit a 125 mm sphere to pass through it; and
 - (ii) have any horizontal or near horizontal elements between 150 mm and 760 mm above the floor that facilitate climbing (see Figure 3.9.2.5).

- 3.9.2.7 Protection of openable windows - rooms other than bedrooms
 - (a) A window opening in a room other than a bedroom must be provided with protection where the floor below the window is 4 m or more above the surface beneath.
 - (b) The openable part of the window covered by (a) must be protected with a barrier with a height of not less than 865 mm above the floor.
 - (c) A barrier required by (b) must not -
 - (i) permit a 125 mm sphere to pass through it; and
 - (ii) have any horizontal or near horizontal elements between 150 mm and 760 mm above the floor that facilitate climbing. (See Figure 3.9.2.6)

- Glazing installed in areas with high potential for human impact to comply N.C.C. Part 3.6.4.

WET AREA

- Walls to wet areas to be finished with wet area plasterboard.
- Comply with N.C.C. Table 3.8.1.1, and AS3740.
- All unenclosed showers above baths to have min 900 shower screen or floor waste within 1500 of shower connection, as per AS3740.

STAIRCASES, HANDRAILS AND BALUSTRADES

- Stair treads - 240mm min. - 355mm max.
Stair risers - 115mm min. - 190mm max.
- Handrail required where change of level between floors / landings ≥ 1m as per current N.C.C. 3.9.2.4.
- Handrail height min 865mm above nosing of stair treads or floor of ramp as per N.C.C. 3.9.2.
- No gaps in staircase or balustrades to be greater than 125mm.
- A balustrade is required where the level of a trafficable surface is 1000mm or greater above the adjacent surface beneath.
- Balustrade to be minimum 1000mm above finished floor level (including any floor coverings).
- Doors opening outwards externally must open to a landing (min. 750mm wide) where the difference in levels is greater than 570mm.
- Non Slip Treads: All stairs are to comply with N.C.C. 3.9.1.4

DRAINAGE

- Drainage to be designed and constructed in accordance with AS3500 and Local Authority.
- Stormwater pipes to be UPVC Class HD
- Sewer pipes to be UPVC Class SH
- Provide 20Ø K2 polyethylene water reticulation
- Type B stop valve to be located adjacent to entry.
- Backfill all trenches beneath vehicle pavement and slabs on grade to full depth with 20 FCR.
- Provide overflow relief gully with tap over. Invert level to be a minimum of 150mm below finished floor level.
- Cut and batter are indicative. Batter to comply with current National Construction Code Table 3.1.1.1
- Provide surface drainage in accordance with AS2870 section 5.6.3.
- Provide flexible joints in all drainage emerging from underneath or attached to building in accordance with AS2870 2011 section 5.6.4 for all class H & E sites. Refer Geotech for ya

WOOD HEATERS

- All wood heaters are to comply to manufacturers specifications and N.C.C. Part 3.10.7.

FIRE SAFETY

- Smoke alarms to be mains powered and installed as per AS3786. Locations as per current N.C.C. 3.7.5.
- Smoke alarms to be interconnected where there is more than one alarm.
- Installation of wood heaters to comply with AS2918. Provide local authorities with installation and compliance certificates.

CONCRETE

- Concrete footings and slabs to be in accordance with AS2870.
- Concrete to be manufactured to comply with AS3600 and:
 - Have a strength at 28 days of not less than 25Mpa (N25 grade);
 - Have a 20mm nominal aggregate size;
 - Have a nominal 80mm slump
- Concrete slab to be laid over 0.2mm polythene membrane, 50mm well bedded sand and minimum 100mm compacted FCR (20mm)
- Slab thickness and reinforcement to be as per engineer's design.

IMPORTANT NOTICE FOR THE ATTENTION OF THE OWNER AND THE BUILDER

- The owner who is responsible for the maintenance of the building foundation and the site should be familiar with the performance and maintenance requirements set out in *CSIRO Building Technology File 18. A copy of this document is provided in association with engineering certification of these drawings and forms an integral part of the construction documents.*

SITE INFORMATION EXPLANATION

Land Title Reference:	Certificate volume and folio
Wind Classification:	Site classification to AS4055-2012
Soil Classification:	Site classification to AS2870-2011
Climate Zone:	Refer to www.abcb.gov.au map
Alpine Area:	Refer to N.C.C. Schedule 3, figure 1.
Corrosion Environment:	For steel subject to the influence of salt water, breaking surf or heavy industrial areas, refer to N.C.C. section 3.4.4.4 & Table 3.4.4.7. Cladding and fixings to manufacturer's recommendations.
BAL Level:	As determined by registered Bushfire Assessor, or Council Overlay.

			Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info	m WILSONMULTI	STANDARD NOTES		
				ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED TYRRELL UNIT DEVELOPMENT 34 Scott Street HADSPEN		Drawn	RJ	WH713525
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GENERAL

- Stated R values are for additional insulation required and are NOT Rt values (Total System Value)
- Insulation to be installed to manufacturers specifications and any relevant standards.
- Bulk insulation is not to be compressed as this reduces the effective R rating.
- Waffle Pod allowances -
R0.6 - 175mm deep.
R0.7 - 225mm deep.
R0.8 - 300mm deep.
R0.9 - 375mm deep.

N.C.C. 3.12.0 (A)

- Performance Requirement P2.6.1 for the thermal performance of the building is satisfied by complying with:
3.12.0.1 - FOR REDUCING THE HEATING OR COOLING LOADS
- To reduce heating or cooling loads must achieve an energy rating using house energy rating software, of not less than 6 stars.

3.12.1.1 - FOR BUILDING FABRIC THERMAL INSULATION

- Builder to ensure that all insulation complies with AS/NZ 4859.1 and be installed to N.C.C. 3.12.1.1.

3.12.1.2(C) AND 3.12.1.4(B) - FOR THERMAL BREAKS

- For sheet roofing and lightweight external cladding fixed to metal purlins, metal rafters, metal battens, and metal framing.

3.12.1.2(E) - FOR COMPENSATING FOR A LOSS OF CEILING INSULATION

- Refer to attached Thermal Performance Certification.
(i) If allowance has been made for ceiling penetrations in NATHERS (FirstRate 5) certification process **NO** further action is required.
(ii) If **NO** allowance has been made for ceiling penetrations in NATHERS (FirstRate 5) certification process then ceiling penetration area must be calculated and the necessary adjustment made to the specified ceiling insulation as per Table 3.12.1.1h of N.C.C.

3.12.1.5(C) AND 3.12.1.5(D) - FOR FLOOR EDGE INSULATION

- For concrete slab-on-ground with in-slab heating or cooling.

3.12.3 - FOR BUILDING SEALING

- 3.12.3.1 - Chimneys and Flues.
The Chimney or flue of an open solid-fuel burning appliance must be provided with a damper or flap that can be closed to seal the chimney or flue.
- 3.12.3.2 - Roof lights.
(a) *A roof light must be sealed, or capable of being sealed, when serving -*
(i) *a conditioned space; or*
(ii) *a habitable room in climate zones 4, 5, 6, 7 and 8.*
(b) *A roof light required by (a) to be sealed, or capable of being sealed, must be constructed with -*
(i) an imperforate ceiling diffuser or the like installed at the ceiling or internal lining level; or
(ii) a weatherproof seal; or
(iii) a shutter system readily operated either manually, mechanically or electronically by the occupant.

- 3.12.3.3 - External windows and doors.
(a) An external door, internal door between a Class 1 building and an unconditioned Class 10a building, openable window and other such opening must be sealed when serving -
(i) a conditioned space; or
(ii) a habitable room in climate zones 4, 5, 6, 7 and 8.
(b) A seal to restrict air infiltration -
(i) for the bottom edge of a door, must be a draft protection device; and
(ii) for the other edges of a door or the edges of an openable window or other such opening, may be a foam or rubber compressible strip, fibrous seal or the like.
(c) A window complying with the maximum air infiltration rates specified in AS 2047 need not comply with (b)(ii).
- 3.12.3.4 - Exhaust fans.
An exhaust fan must be fitted with a sealing device such as a self-closing damper, filter or the like when serving -
(a) *A conditioned space; or*
(b) *A habitable in the climate zones 4, 5, 6, 7 and 8.*
- 3.12.3.5 - Construction of roofs, walls and floors.
(a) Ceilings, walls, floors and any opening such as a *window frame, door frame, roof light* frame or the like must be constructed to minimise air leakage in accordance with (b) when forming part of the external *fabric* of -
(i) *a conditioned space* ; or
(ii) *a habitable room in climate zone 4, 5, 6, 7 and 8.*
(b) Construction *required by (a)* must be -
(i) enclosed by internal lining systems that are close fitting at ceiling, wall and floor junctions; or
(ii) sealed at junctions and penetrations with -
(A) close-fitting architrave, skirting or cornices; or
(B) expanding foam, rubber compressive strip, caulking or the like.
- 3.12.3.6 - Evaporative coolers.
An Evaporative cooler must be fitted with a self-closing damper or the like when serving -
(a) *A heated space; or*
(b) *a habitable room in climate zones 4, 5, 6, 7 and 8.*

3.12.5.5 - ARTIFICIAL LIGHTING

- Lamp power density or illumination power density of artificial lighting, excluding heaters that emit light, must not exceed the allowance of:
(i) 5W/m² in Class 1 building;
(ii) 4W/m² on a verandah, balcony or the like attached to a Class 1 building (not including eave perimeter lights);
(iii) 3W/m² in a Class 10a building associated with a Class 1 building.
- The *illumination power density* allowance may be increased by dividing it by the *illumination power density* adjustment factor for a control device as per N.C.C. Table 3.12.5.3.

CONDENSATION

- Where raked ceilings exist, suitable spacing between sarking and bulk insulation exists (no contact between products). The builder to ensure adequately sized timber is used to ensure this separation is provided.
- In standard roof spaces, provide separation between roof sarking and ceiling insulation, around the building perimeter, to ensure airflow from eave vents is maintained.
- All light-weight cladding to be battened out from studs (Metal / FC sheet / Timber).
- Exhaust systems to be installed in accordance with N.C.C. 3.8.7.3:
An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of —
(i) 25 L/s for a bathroom or sanitary compartment; and
(ii) 40 L/s for a kitchen or laundry.
- Exhaust systems to be discharged directly or via a shaft or duct to outdoor air.

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VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTIONS AND JOINTS	WALL / FLOOR JUNCTIONS	PENETRATIONS
<i>Shower area (enclosed and unenclosed) with hob</i>	Waterproof floor in <i>shower</i> area, (including any hob or step-down)	(a) Waterproof all walls in shower area to a height the greater of - (i) not less than 150mm above floor substrate; or (ii) not less than 25mm above maximum retained water level; and (b) Water resistant walls in shower area to not less than 1800mm above finished floor level of the shower.	Waterproof wall junctions within shower area.	Waterproof wall / floor junctions within shower area.	Waterproof penetrations in shower area.
<i>Shower area (enclosed and unenclosed) with step down</i>					
<i>Shower area (enclosed and unenclosed) without hob or step-down</i>					
<i>Shower area (enclosed and unenclosed) with preformed shower base</i>	N/A	Water resistant to a height of not less than 1800mm above finished floor level of the shower.			
Areas outside the shower area for concrete and compressed fibre cement sheet flooring	<i>Water resistant</i> floor of the room.	N/A	N/A	Waterproof all wall/floor junctions.	N/A
Areas outside the shower area for timber floors including particleboard, plywood and other timber based flooring materials	Waterproof floor of the room.				
Areas adjacent to baths and spas for concrete and compressed fibre cement sheet flooring.	<i>Water resistant</i> floor of the room.	(a) Water resistant to a height of not less than 150mm above the vessel, for the extent of the vessel, where the vessel is within 75mm of a wall. (b) Water resistant all exposed surfaces below vessel lip.	Water resistant junctions within 150mm above vessel for the extent of the vessel.	Water resistant wall / floor junctions for the extent of the vessel.	Waterproof tap and spout penetrations where they occur in horizontal surfaces.
Areas adjacent to baths and spas for timber floors including particleboard, plywood and other timber based flooring materials.	Waterproof floor of the room.				
Inserted baths and spas.	(a) Waterproof shelf area, incorporation waterstop under the bath lip. (b) No requirement under bath.	(a) Water resistant to not less than 150mm above the bath or spa; and (b) No requirement under bath.	(a) Waterproof junctions within 150mm above bath or spa; and (b) No requirement under bath.	N/A	Waterproof all tap and spout penetrations where they occur in horizontal surfaces.
Walls adjoining other vessels (eg. sinks, laundry tubs and basins)	N/A	Water resistant to a height of not less than 150mm above the vessel if the vessel is within 75mm of the wall.	Waterproof wall junctions where vessel is fixed to a wall.	N/A	Waterproof all tap and spout penetrations where they occur in horizontal surfaces required to be waterproof or water resistant.
Laundries and WCs	Water resistant floor of the room.	N/A	N/A	Water Resistant wall / floor junctions.	N/A

NOTES:

1. If a shower is included above a bath, refer to the requirements for shower area walls and penetrations.

2. N/A means not applicable.

Wet Areas Waterproofing by licenced and accredited installer (eg Wet Seal).
Certification to be provided to Building Surveyor.
Contractor or Builder to determine the appropriate waterproofing in accordance with AS 3740, Part 3.8.1 and Table 3.8.1.1 of N.C.C. and to notify the Building Surveyor for inspection arrangements during installation.

Note: this information is for general guidance and is indicative only.
waterproofing installers to comply with all current codes of legislation which takes precedence over this specification.

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								Scale	Not to scale

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GENERAL

- Building to comply with N.C.C. 3.7.4.

SUB-FLOOR SUPPORTS

- This Standard does not provide construction requirements for subfloor support posts, columns, stumps, piers and poles.

CONCRETE SLABS ON GROUND

- This Standard does not provide construction requirements for concrete slabs on the ground.

ELEVATED FLOORS

- This Standard does not provide construction requirements for elevated floors, including bearers, joists and flooring.

WALLS

- This Standard does not provide construction requirements for the exposed components of an external wall.

JOINTS

- This Standard does not provide construction requirements for joints.

VENTS AND WEEPHOLES

- This Standard does not provide construction requirements for vents and weepholes.

BUSHFIRE SHUTTERS

- This Standard does not provide construction requirements for bushfire shutters.

SCREENS FOR WINDOWS AND DOORS

- This Standard does not provide construction requirements for window and door screens.

WINDOWS

- This Standard does not provide construction requirements for windows.

SIDE-HUNG EXTERNAL DOORS (INCLUDING FRENCH DOORS, PANEL FOLD AND BIFOLD)

- This Standard does not provide construction requirements for side-hung external doors (including french doors, panel fold and bifold).

SLIDING DOORS

- This Standard does not provide construction requirements for sliding doors.

VEHICLE ACCESS DOORS (GARAGE DOORS)

- This Standard does not provide construction requirements for vehicle access doors.

ROOFS - GENERAL

- This Standard does not provide construction requirements for roofs.

VERANDA, CARPORT AND AWNING ROOFS

- This Standard does not provide construction requirements for veranda, carport and awning roofs.

ROOF PENETRATIONS

- This Standard does not provide construction requirements for roof penetrations.

EAVES LININGS, FASCIAS AND GABLES

- This Standard does not provide construction requirements for eave linings, fascias and gables.

GUTTERS AND DOWNPIPES

- This Standard does not provide material requirements for gutters and downpipes.

VERANDAS, DECKS, STEPS AND LANDINGS - GENERAL

- Decking may be spaced.
There is no requirement to enclose the subfloor spaces of verandas, decks, steps, ramps or landings.

ENCLOSED SUBFLOOR SPACES OF VERANDAS, DECKS, STEPS, RAMPS AND LANDINGS

- This Standard does not provide material requirements for enclosed subfloor spaces of verandas, decks, steps, ramps and landings.

UNENCLOSED SUBFLOOR SPACES OF VERANDAS, DECKS, STEPS, RAMPS AND LANDINGS

- BALUSTRADES, HANDRAILS OR OTHER BARRIERS

BALUSTRADES, HANDRAILS OR OTHER BARRIERS

- This Standard does not provide material requirements for unenclosed subfloor spaces of verandas, decks, steps, ramps and landings.

WATER AND GAS SUPPLY PIPES

- This Standard does not provide construction requirements for water and gas supply pipes.

AS3500.1 (2003)
(Amend 2 2010)

5.23 BUSHFIRE ZONES

- Pipes of other materials shall be buried with a minimum depth of cover 300mm, measured from the proposed finished surface level and should be identified generally in accordance with AS1345-1995.

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				ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnell) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED TYRRELL UNIT DEVELOPMENT 34 Scott Street HADSPEN		DrawnRJ	WH713525	
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