

## PLANNING NOTICE

An application has been received for a Permit under s.57 of the *Land Use Planning Approvals Act 1993*:

<b>APP NO.:</b>	PA\26\0261
<b>APPLICANT:</b>	BVZ Designs
<b>SITE:</b>	44 Panorama Road, Blackstone Heights (CT: 187615/7)
<b>PROPOSAL:</b>	Single dwelling & Residential outbuilding (garage) - driveway.

The application can be inspected until **Monday, 25 May 2026**, at [www.meander.tas.gov.au](http://www.meander.tas.gov.au) or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to [planning@mvc.tas.gov.au](mailto:planning@mvc.tas.gov.au). Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Notified on 9 May 2026.

Jonathan Harmey  
**GENERAL MANAGER**

# APPLICATION FORM

## PLANNING PERMIT

Land Use Planning and Approvals Act 1993



Meander Valley Council  
Working Together

- Application form & details MUST be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

### OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work?  Yes  No Indicate by ✓ box
- Have you already received a Planning Review for this proposal?  Yes  No
- Is a new vehicle access or crossover required?  Yes  No

### PROPERTY DETAILS:

Address:	<input type="text" value="44 PANORAMA ROAD"/>	Certificate of Title:	<input type="text" value="187615"/>
Suburb:	<input type="text" value="BLACKSTONE HEIGHTS"/> <input type="text" value="7250"/>	Lot No:	<input type="text" value="7"/>
Land area:	<input type="text" value="14560"/> m <sup>2</sup> / <del>1987</del>		
Present use of land/building:	<input type="text" value="VACANT LAND"/>	(vacant, residential, rural, industrial, commercial or forestry)	

- Does the application involve Crown Land or Private access via a Crown Access Licence:  Yes  No
- Heritage Listed Property:  Yes  No

### DETAILS OF USE OR DEVELOPMENT:

- Indicate by ✓ box
- |   |  |                                      |                                     |
|---|--|--------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> Building work | <input type="checkbox"/> Change of use | <input type="checkbox"/> Subdivision | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> Forestry                 | <input type="checkbox"/> Other         |                                      |                                     |

Total cost of development (inclusive of GST):  Includes total cost of building work, landscaping, road works and infrastructure

Description of work:

Use of building:  (main use of proposed building – dwelling, garage, farm building, factory, office, shop)

New floor area:  m<sup>2</sup> New building height:  m

Materials: External walls:  Colour:

Roof cladding:  Colour:

SEARCH OF TORRENS TITLE

VOLUME 187615	FOLIO 7
EDITION 1	DATE OF ISSUE 18-Aug-2025

SEARCH DATE : 27-Feb-2026

SEARCH TIME : 03.54 pm

DESCRIPTION OF LAND

Parish of LAUNCESTON Land District of CORNWALL  
 Lot 7 on Sealed Plan 187615  
 Derivation : Part of 500 Acres Located to Patrick Dalrymple  
 Prior CT 183030/13

SCHEDULE 1

M644973 TRANSFER to ALLAN JOHN PENNINGTON Registered  
 16-Aug-2017 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
 SP187615 EASEMENTS in Schedule of Easements  
 SP187615 FENCING PROVISION in Schedule of Easements  
 SP187615 SEWERAGE AND/OR DRAINAGE RESTRICTION  
 SP180267 & SP183030 FENCING PROVISION in Schedule of Easements  
 SP173549 FENCING COVENANT in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

N152028 PRIORITY NOTICE reserving priority for 90 days  
 TRANSFER Allan John Pennington to Stephen Gregory  
 Smart and Dimittie Anne Smart Lodged by RAE &  
 PARTNERS(L) on 25-Feb-2026 BP: N152028

<p>OWNER: ALLAN JOHN PENNINGTON</p> <p>FOLIO REFERENCE: F/R 183030/13</p> <p>GRANTEE: PART OF 500 ACRES LOCATED TO PATRICK DALRYMPLE</p>	<p><b>PLAN OF SURVEY</b> BY SURVEYOR DALLAS McCULLOCH D.J.McCULLOCH SURVEYING RIVERSIDE, TASMANIA 7250</p> <p>LOCATION <b>LAND DISTRICT OF CORNWALL PARISH OF LAUNCESTON</b></p> <p>SCALE 1 : 1250                      LENGTHS IN METRES</p>	<p>Registered Number <b>SP187615</b></p> <p>APPROVED EFFECTIVE FROM 18 AUG 2025 <i>Dallas</i> Recorder of Titles</p>
<p>LOT 6 IS COMPILED FROM THIS SURVEY &amp; F/R 183030/13</p> <p>ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN</p>		
<p><i>Dallas</i> REGISTERED LAND SURVEYOR                      DATE 06/02/2025</p>	<p><i>MBL</i> COUNCIL DELEGATE                      DATE 09/07/2025</p>	

<b>SCHEDULE OF EASEMENTS</b>	Registered Number
<b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	<b>SP 187615</b>

PAGE 1 OF 2 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

BURDENING EASEMENTS

Lots 6, 7 and 8 on the Plan are SUBJECT TO a Right of Drainage in gross in favour of Meander Valley Council over the land marked 'DRAINAGE EASEMENT (MVC) 3.00 WIDE (SP 180267)' on the Plan.

Lot 7 on the Plan is SUBJECT TO a Right of Drainage in gross in favour of Meander Valley Council over the land marked 'DRAINAGE EASEMENT (MVC) 5.00 WIDE (SP 180267)' on the Plan.

~~Lot 7 on the Plan is SUBJECT TO a Right of Drainage in gross in favour of Meander Valley Council over the land marked 'DRAINAGE EASEMENT (MVC) 5.00 WIDE' on the Plan.~~

Lot 7 on the Plan is SUBJECT TO a Right of Drainage in gross in favour of Meander Valley Council over the land marked 'DRAINAGE EASEMENT 'A' 5.00 WIDE' on the Plan.

Lot 7 on the Plan is SUBJECT TO a Right of Drainage in gross in favour of Meander Valley Council over the land marked 'DRAINAGE EASEMENT (MVC) 5.00 WIDE (SP ~~180330~~ 183030)' on the Plan.


Lot 12 on the Plan is SUBJECT TO a Right of Drainage in gross in favour of Meander Valley Council over the land marked 'DRAINAGE EASEMENT' on the Plan.  
6.00 WIDE

FENCING PROVISION

In relation to the lots on the Plan the Vendor (Allan John Pennington) shall not be required to fence.



(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: ALLAN JOHN PENNINGTON	PLAN SEALED BY: MEANDER VALLEY COUNCIL
FOLIO REF: 183030/13	DATE: 09/07/2025
SOLICITOR & REFERENCE: SIMMONS WOLFHAGEN ZED 215375	REF NO: PA/16/0003
	 Council Delegate
<b>NOTE:</b> The Council Delegate must sign the Certificate for the purposes of identification.	

<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 2 OF 2 PAGES	Registered Number <b>SP 187615</b>
SUBDIVIDER: ALLAN JOHN PENNINGTON FOLIO REFERENCE: 183030/13	

**Executed** by **Allan John Pennington** being the registered proprietor of the Land described by Folio of the Register Volume 183030 Folio 13

*Allan John Pennington*  
 Signature of Allan John Pennington

*Sharyn Moree Summers*  
 Signature of Witness

Sharyn Moree Summers  
 Witness full name

45 Cameron Street

Louceston Tas 7250  
 Witness address

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

LEGEND  
 PAGE 1# COVER PAGE  
 PAGE 2# LOCALITY PLAN  
 PAGE 3# EXISTING SITE SURVEY PLAN  
 PAGE 4# SITE PLAN  
 PAGE 5# BUSHFIRE MANAGEMENT PLAN  
 PAGE 6# SOIL AND WATER MANAGEMENT PLAN  
 PAGE 7# SHED PLAN  
 PAGE 8# FLOOR PLAN  
 PAGE 9# FLOOR PLAN WITH DIMENSIONS  
 PAGE 10# ELEVATIONS  
 PAGE 11# ELEVATIONS  
 PAGE 12# ROOF PLAN  
 PAGE 13# VENTILATION INSTALLATION DETAILS

COUNCIL – MEANDER VALLEY COUNCIL  
 ZONE – LOW DENSITY RESIDENTIAL  
 CODE – BUSHFIRE PRONE AREA  
 – PRIORITY VEGETATION AREA  
 LANDSLIDE BAND – NIL

TITLE REFERENCE – 187615/7  
 PROPERTY ID – 9037269

CORROSION ENVIRONMENT – LOW

CLIMATE ZONE FOR THERMAL DESIGN = 7  
 REFER TO ENERGY REPORT BY 2DR

# PROPOSED DWELLING AND SHED FOR S AND S SMART AT 44 PANORAMA ROAD BLACKSTONE HEIGHTS 7250

ALPINE AREA – N/A LESS THAN 900m AHD  
 OTHER HAZARDS – N/A  
 ALL DIMENSIONS SHOWN ARE TO OUTSIDE OF  
 BRICKWORK CLADDING OR TIMBER FRAMING ON CLAD  
 HOUSES UNLESS NOTED OTHERWISE  
 CONFIRM ALL DIMENSIONS AND SERVICES ON SITE  
 PRIOR TO COMMENCEMENT OF WORKS  
 IF IN ANY DOUBT ABOUT BEARING AND BOUNDARIES  
 THEN THESE MUST BE CONFIRMED ONSITE BY A  
 SURVEYOR PRIOR TO SETOUT  
 ENSURE DRAWINGS USED ONSITE ARE STAMPED  
 'APPROVED' PLANS BY BUILDING SURVEYOR AND  
 PERMIT AUTHORITY  
 H4D9 CONDENSATION MANAGEMENT TO BE  
 COMPLIANT WITH NCC PART 10.8 CONDENSATION  
 MANAGEMENT.  
 (1)REFER TO THE GUIDANCE IN THE "CONDENSATION IN  
 BUILDINGS TASMANIAN DESIGNERS' GUIDE" – CURRENT VERSION  
 AVAILABLE AT WWW.CBOS.TAS.GOV.AU. THIS GUIDE MUST BE  
 READ IN CONJUNCTION WITH THE NCC.  
 IF ANY DISCREPANCIES, APPARENT ERROR,  
 ANOMALY OR AMBIGUITY WITHIN THE  
 DOCUMENTATION IS FOUND, THE DESIGNER IS TO BE  
 CONTACTED PRIOR TO ANY MORE CONSTRUCTION  
 CONTINUING.  
 ENSURE THAT DRAWINGS ARE NOT SCALED AND  
 THAT THE NOTED DIMENSIONS ARE USED FOR  
 ACCURACY. IF IN ANY DOUBT CONTACT DESIGNER

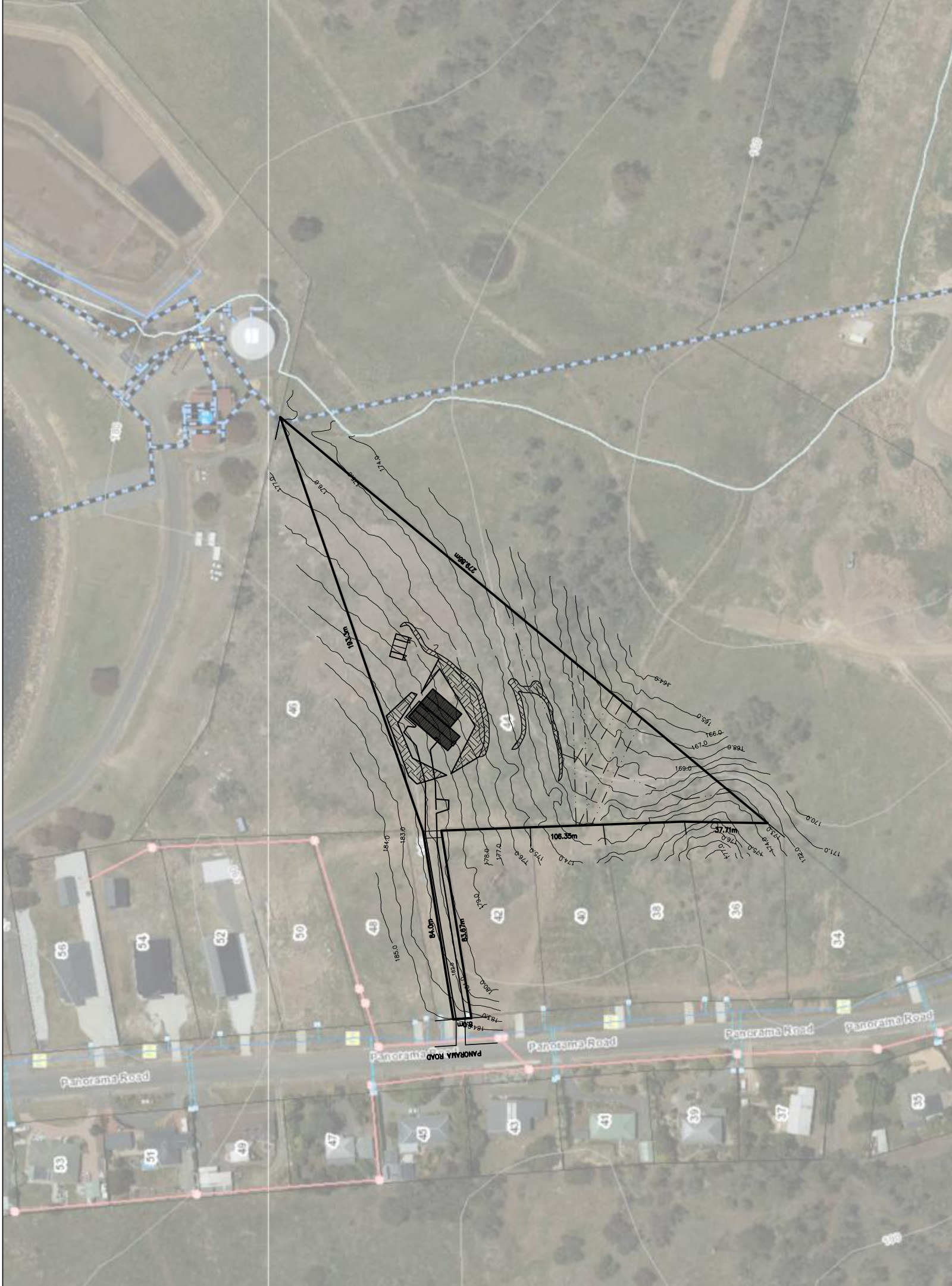
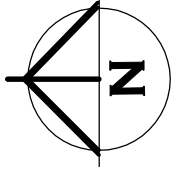


**DESIGNS**

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 P. 0407 272 381  
 E. BVZDESIGNS@GMAIL.COM  
 LICENCE NUMBER 957699796

REVISION NUMBER	DATE
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PROJECT: PROPOSED DWELLING AND SHED  
 FOR S AND S SMART  
 AT 44 PANORAMA ROAD  
 BLACKSTONE HEIGHTS 7250

DRAWING: LOCALITY PLAN

DESIGNED: B. v. Z.  
 DRAWN: B. v. Z.

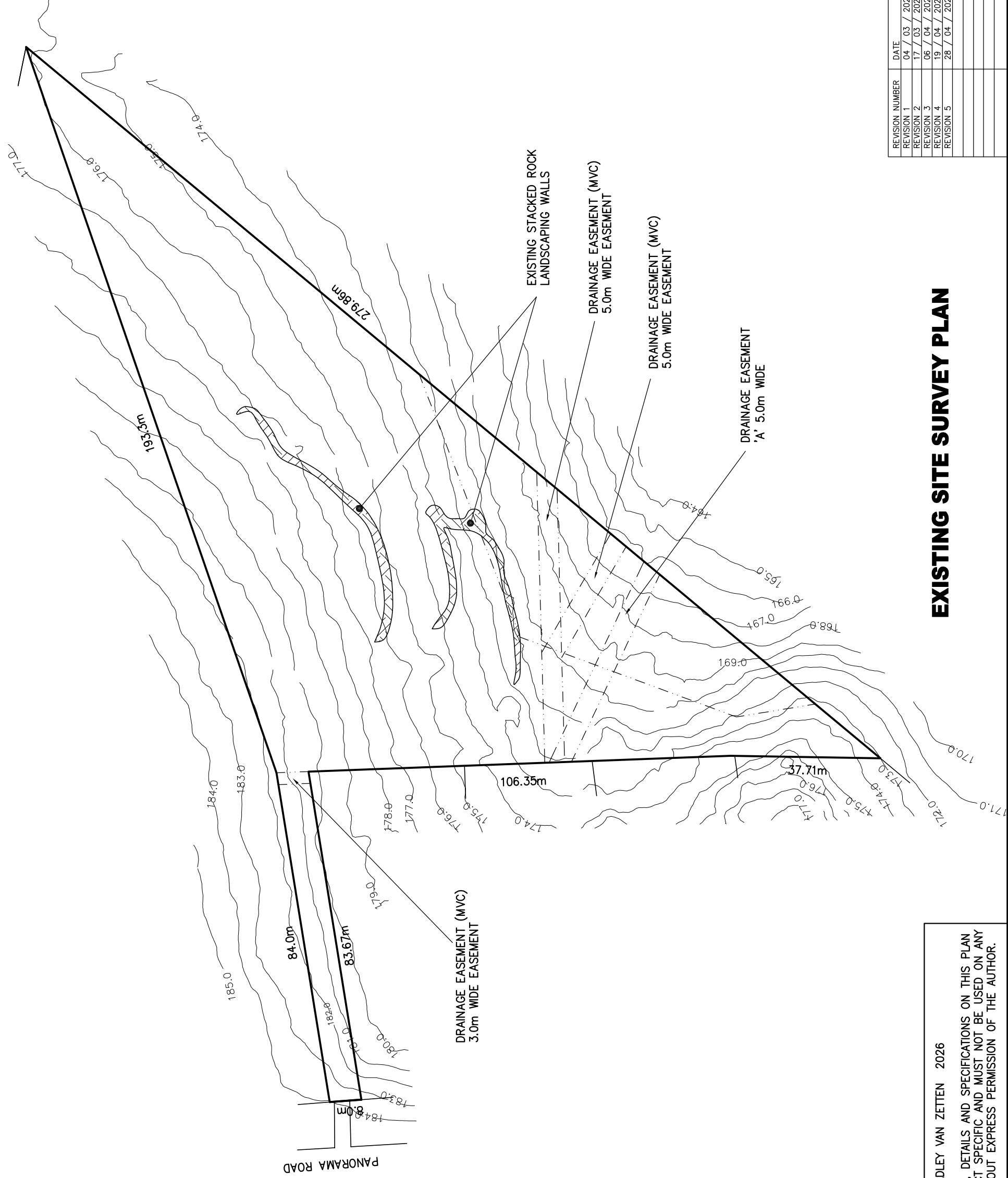
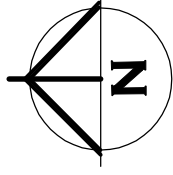
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 DRAWING No.: SMA0326 -- 2/13

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## LOCALITY PLAN

THIS PAGE FEATURES COLORED LINES AND SHOULD ONLY BE PRINTED IN COLOR. GREEN TEXT IN THE NOTE SECTION SERVES AS A REFERENCE



**EXISTING SITE SURVEY PLAN**

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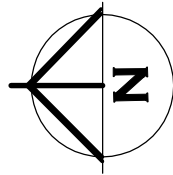
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DESIGNED: B. v. Z.  
 DRAWN: B. v. Z.

APPROVED.  
 DATE: 28 / 04 / 26

SCALE -- A3 -- 1:1000.  
 DRAWING No.: SMA0326 -- 3/13

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**UN-RETAINED BULK EARTHWORKS – SITE CUT AND FILL PART 3.2.1**

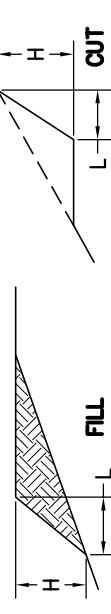


TABLE 3.2.1: SOIL TYPE	EMBANKMENT SLOPES H:L	
	COMPACTED FILL	CUT
STABLE ROCK	3:3	8:1
SAND	1:2	1:2
CLAY	1:2	1:1
FIRM CLAY	1:2	1:1
SOFT CLAY	NOT SUITABLE	2:3
SOFT SOILS	NOT SUITABLE	NOT SUITABLE

EMBANKMENTS THAT ARE TO BE LEFT EXPOSED AT THE END OF THE CONSTRUCTION WORKS MUST BE STABILISED BY VEGETATION OR SIMILAR TO PREVENT SOIL EROSION

(1) A SITE CUT USING AN UN-RETAINED EMBANKMENT MUST BE--

- (A) WITHIN THE ALLOTMENT; AND
- (B) NOT WITHIN THE ZONE OF INFLUENCE OF ANY EXISTING STRUCTURE ON THE PROPERTY, OR THE ALLOTMENT BOUNDARY AS DEFINED IN TABLE 3.2.1 AND FIGURE 3.2.1A; AND
- (C) NOT DEEPER THAN 2 M FROM THE NATURAL GROUND LEVEL AT ANY POINT.

(2) FILL, USING AN UN-RETAINED EMBANKMENT MUST--

- (A) BE PLACED WITHIN THE ALLOTMENT; AND
- (B) BE PLACED AT A GRADIENT WHICH COMPLES WITH TABLE 3.2.1 AND FIGURE 3.2.1B; AND
- (C) BE PLACED AND MECHANICALLY COMPACTED IN LAYERS NOT MORE THAN 150 MM; AND
- (D) BE NOT MORE THAN 2 M IN HEIGHT FROM THE NATURAL GROUND LEVEL AT ANY POINT; AND
- (E) WHERE USED TO SUPPORT FOOTINGS OR SLABS, BE PLACED AND COMPACTED IN ACCORDANCE WITH PART 4.2; AND
- (F) HAVE SURFACE WATER DIVERTED AWAY FROM ANY EXISTING STRUCTURE ON THE PROPERTY OR ADJOINING ALLOTMENT IN ACCORDANCE WITH 3.3.3.

**SITE AREA TABLE**

	SQUARE METER	PERCENTAGE OF LOT
<b>SITE AREA</b>	14560	
<b>BUILDING AREA</b> EXCLUDING EAVES UP TO 0.6m WIDE (AS PER PLANNING SCHEME)	376	2.6
<b>SEALED GROUND AREA</b> (INCLUDING UNDER EAVES, EXCLUDING AREA INCLUDED IN CELL ABOVE)	600	4.1
<b>AREA FREE FROM BUILDING AND DRIVEWAY AREA</b>	13584	93.3

**DESIGNS**

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PROJECT: PROPOSED DWELLING AND SHED FOR S AND S SMART AT 44 PANORAMA ROAD BLACKSTONE HEIGHTS 7250

DRAWING: SITE PLAN

DESIGNED: B. v. Z. APPROVED.  
DRAWN: B. v. Z. DATE: 28 / 04 / 26

SCALE -- A3 -- 1:1000. DRAWING No.: SMA0326 -- 4/13

**PROPOSED PORTA-ROOF**

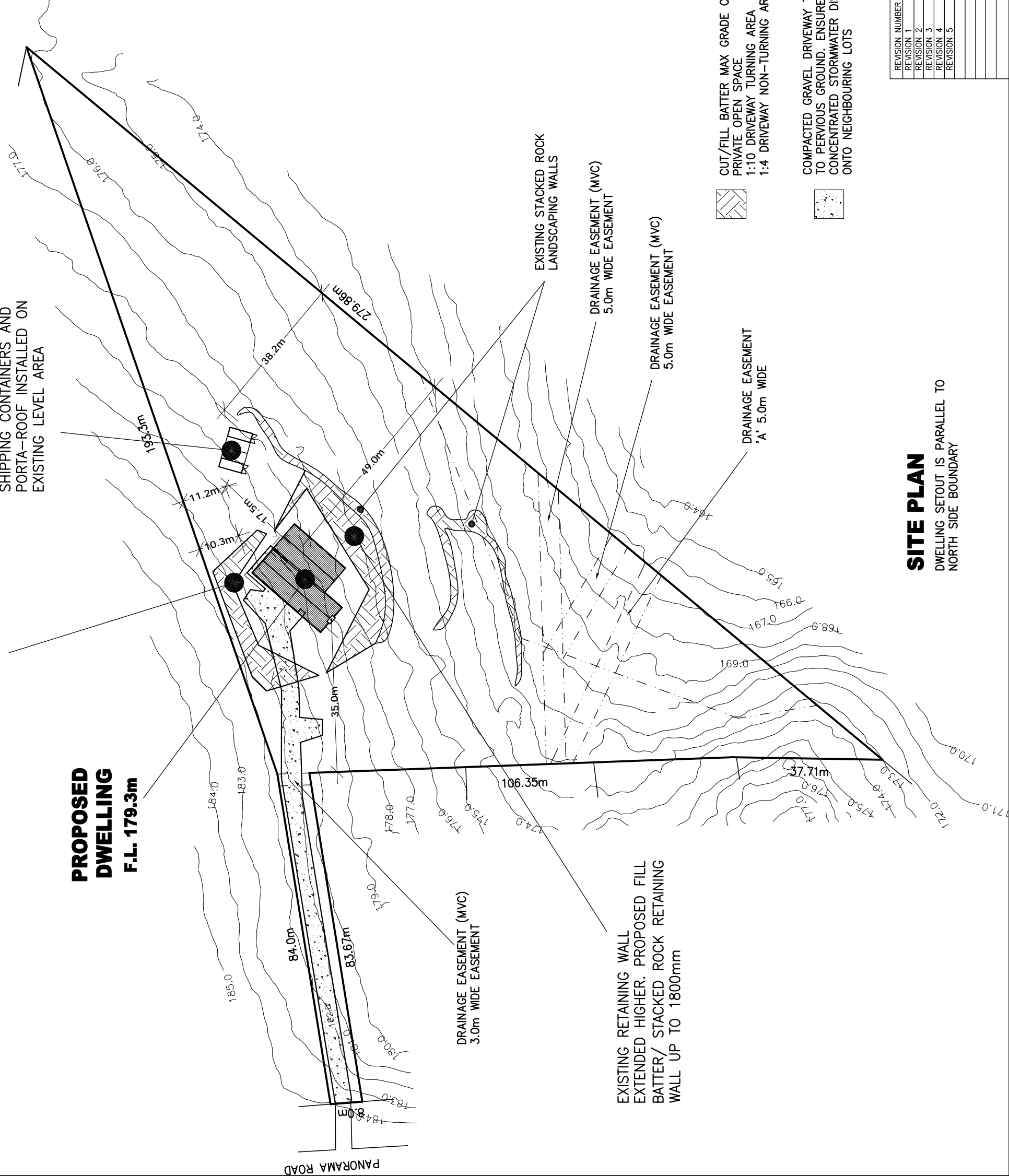
**F.L. 179.0m**

SHIPPING CONTAINERS AND PORTA-ROOF INSTALLED ON EXISTING LEVEL AREA

PROPOSED CUT BATTER UP TO 1500mm

**PROPOSED DWELLING**

**F.L. 179.3m**



CUT/FILL BATTER MAX GRADE OF 1:10 IN PRIVATE OPEN SPACE  
1:10 DRIVEWAY TURNING AREA  
1:4 DRIVEWAY NON-TURNING AREA



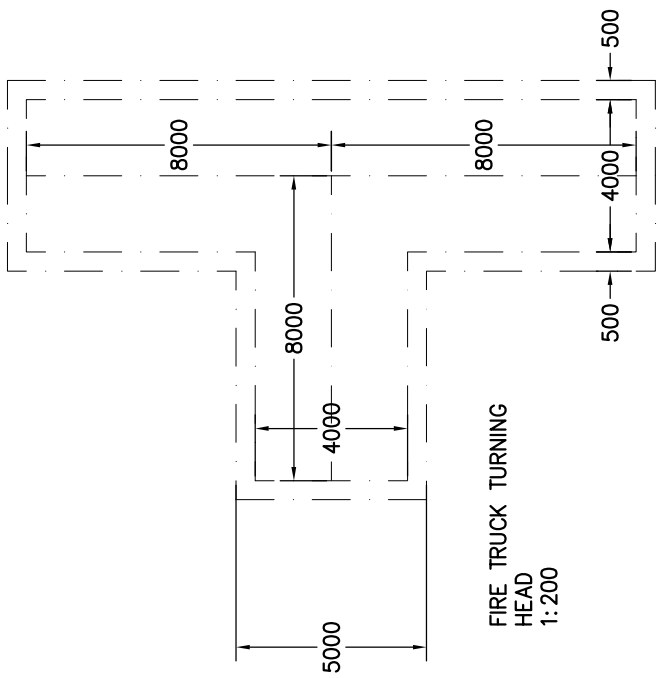
COMPACTED GRAVEL DRIVEWAY TO FALL TO PERVIOUS GROUND. ENSURE NO CONCENTRATED STORMWATER DISCHARGE ONTO NEIGHBOURING LOTS



**SITE PLAN**

DWELLING SETOUT IS PARALLEL TO NORTH SIDE BOUNDARY

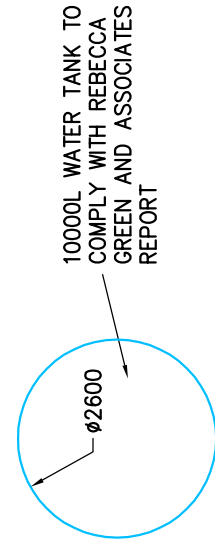
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PROPERTY ACCESS TO COMPLY WITH REBECCA GREEN AND ASSOCIATES REPORT.

THE FOLLOWING DESIGN AND CONSTRUCTION REQUIREMENTS APPLY TO PROPERTY ACCESS LENGTH IS 30 METRES OR GREATER OR ACCESS FOR A FIRE APPLIANCE TO A FIRE FIGHTING WATER POINT:

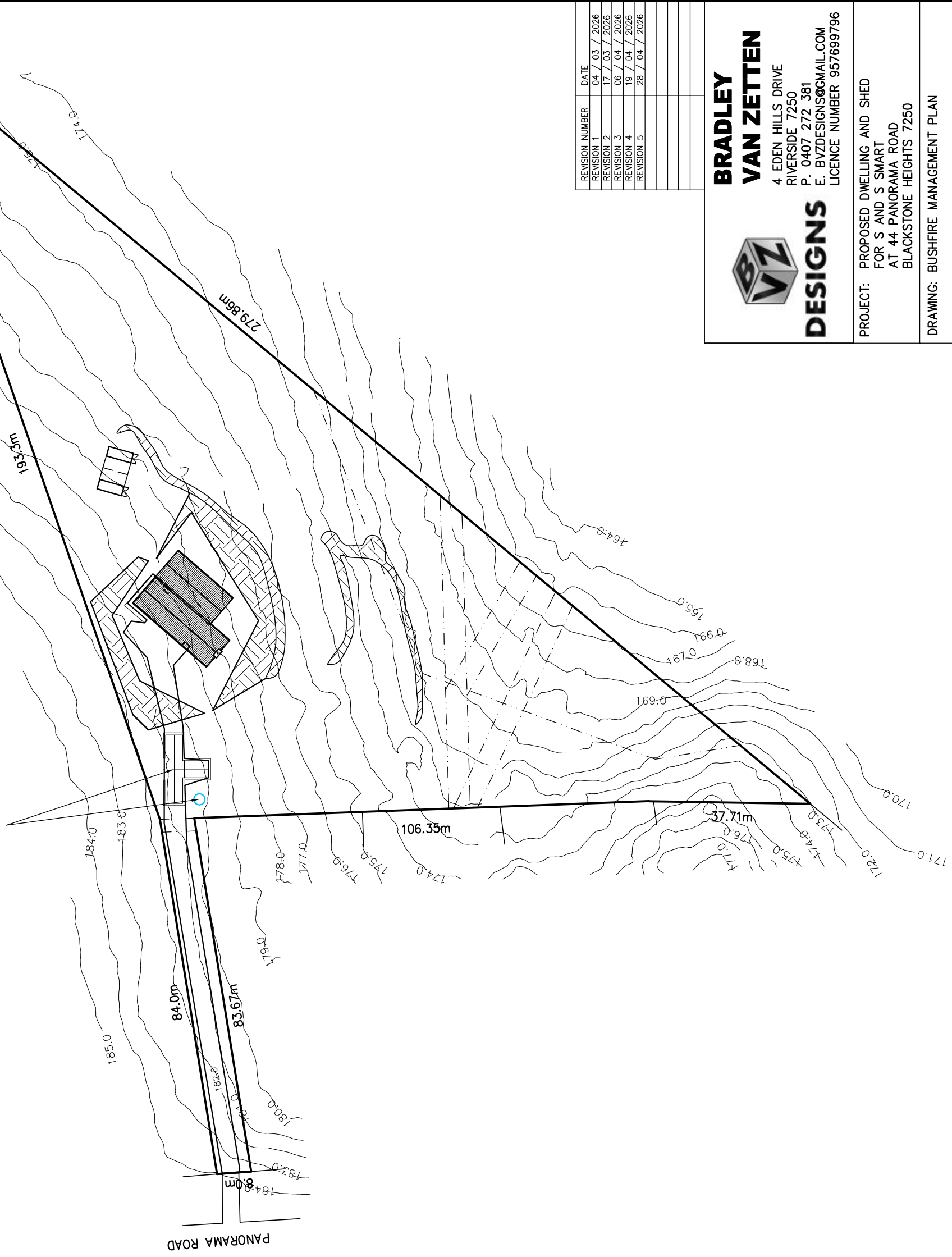
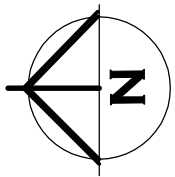
- (i) All weather construction;
  - (ii) Load capacity of at least 20 tonnes, including for bridges and culverts;
  - (iii) Minimum carriageway width of 4 metres;
  - (iv) Minimum vertical clearance of 4 metres;
  - (v) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway;
  - (vi) Cross falls of less than 3 degrees (1:20 or 5%);
  - (vii) Dips less than 7 degrees (1:8 or 12.5%) entry and exit angle;
  - (viii) Curves with a minimum inner radius of 10 metres;
  - (ix) Maximum gradient of 15 degrees (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5.5 or 18%) for unsealed roads; and
  - (x) Terminate with a turning area for fire appliances provided by one of the following:
    - a) A turning circle with a minimum inner radius of 10 metres;
    - b) A property access encircling the building; or
    - c) A hammerhead "T" or "Y" turning head 4 metres wide and 8 metres long.
- WHERE PROPERTY ACCESS IS GREATER THAN 200m
- (xi) Passing bays of 2 metres additional carriageway width and 20 metres length provided every 200 metres (minimum 1 required).




10000L WATER TANK TO COMPLY WITH REBECCA GREEN AND ASSOCIATES BHPM REPORT TO COMPLY WITH SECTION TABLE 3B OF REPORT. ALTERNATIVELY TANK MAY BE RELOCATED TO ANY LOCATION COMPLIANT WITH TABLE 3B OF REPORT

- MINIMUM 6m FROM BUILDING
  - MAXIMUM 3m FROM HARDSTANDING AREA
  - MAXIMUM 90m HOSE LAY TO FURTHEST PART OF BUILDING
- SEE REPORT FOR FURTHER TANK REQUIREMENTS DETAILS

10000L FIRE FIGHTING WATER TANK REQUIRED AS DWELLING OVER 120m FROM HYDRANTS IN STREET. EXACT LOCATION OF TANK AND FIRE TRUCK TURNING TO BE CONFIRMED ONSITE BY OWNER. LOCATION TO COMPLY WITH NOTES ON THIS PAGE AND BAL REPORT



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DRAWING: BUSHFIRE MANAGEMENT PLAN

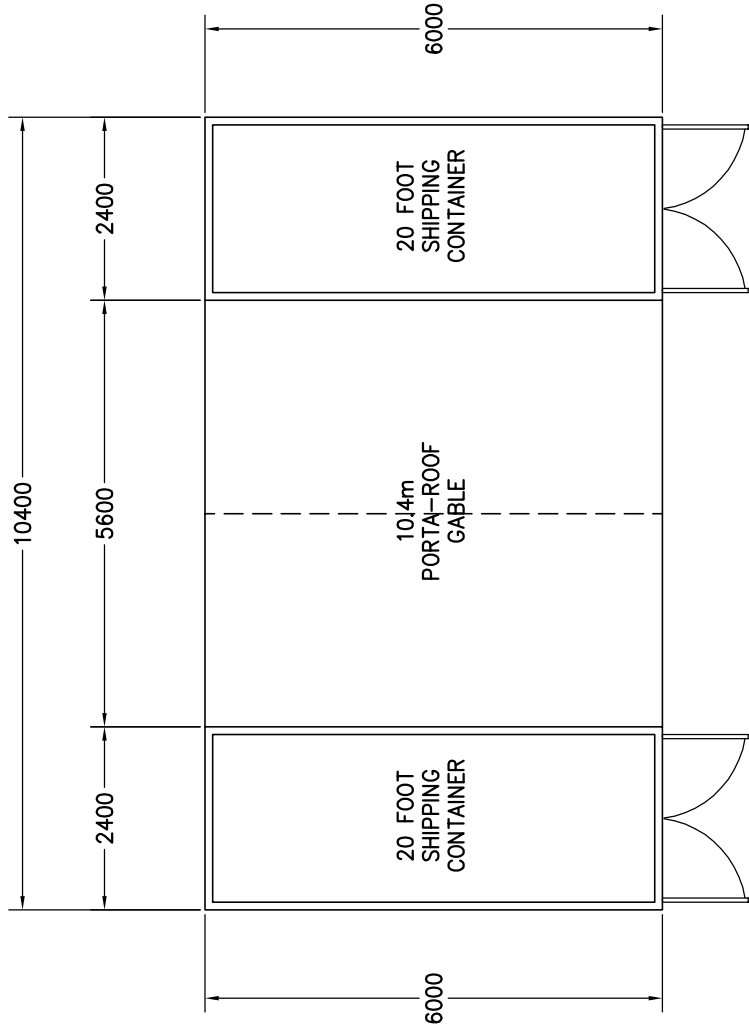
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DRAWN: B. v. Z.

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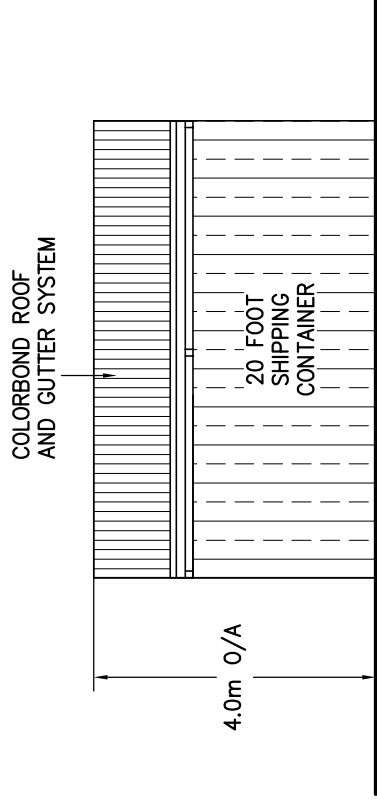
**BUSHFIRE MANAGEMENT PLAN**



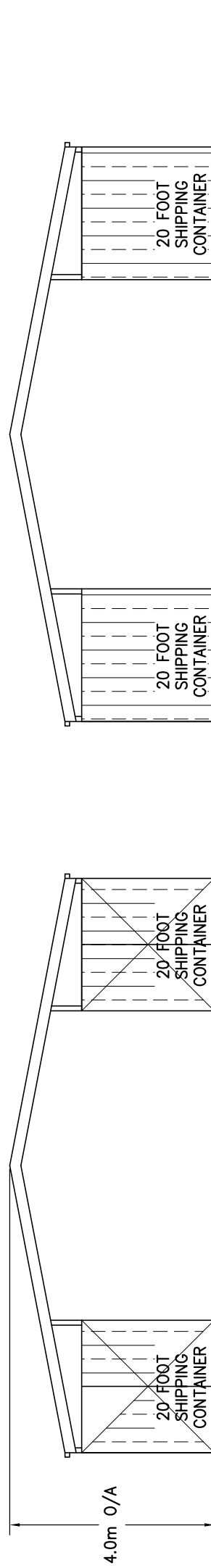


### FLOOR PLAN

PORTA-ROOF CONSTRUCTION DETAILS TO BE PROVIDED BY OTHERS AT BUILDING APPLICATION



### SIDE ELEVATIONS



### FRONT ELEVATION

### REAR ELEVATION

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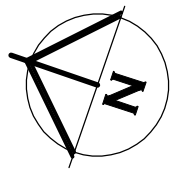
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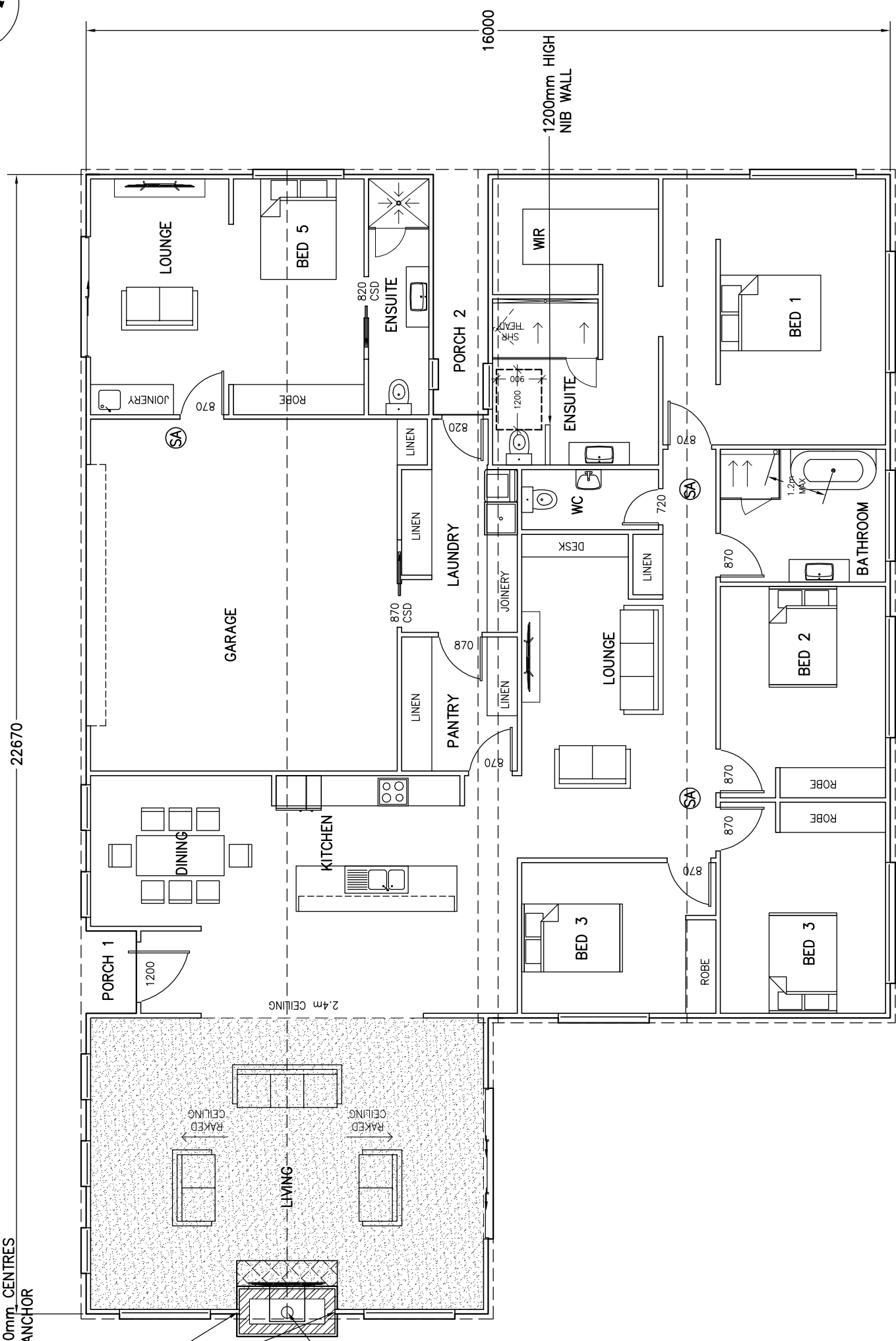
DRAWING No.: SMA0326 - 7/13

TIMBER FRAME TO EXTEND TO BLOCKWORK WITH STONE FACING TO STOP AND START EACH SIDE OF WALL AND TO BUTT UP TO INTERNAL AND EXTERNAL CLADDING TO ENSURE WATER PROOFING. TIMBER FRAME BOLTED TO BLOCKWORK AT 900mm CENTRES WITH 1/10-100mm MASONRY ANCHOR

GAS HEATED INSTALLED WITHIN BLOCKWORK. BUILDER TO CONFIRM EXACT MODEL OF HEATER AND CLEARANCE REQUIRED PRIOR TO BLOCK LAYING



BRICK VENEER WALL  
 EXTERNAL 90mm TIMBER FRAMED WALL WITH LIGHTWEIGHT SHEET CLADDING INSTALLED WITH CAVITY FIXING  
 INTERNAL 90mm STUD WALL WITH 10mm PLASTER BOARD LINING THROUGHOUT. (WET AREA PLASTERBOARD TO WET AREA WALLS)  
 EXTENT OF RAKED CEILING



SA - 240V HARD WIRED SMOKE ALARMS INSTALLED IN ACCORDANCE WITH NCC9.5 TO COMPLY WITH AS3786, BE CONNECTED TO MAINS POWER AND INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM



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PROJECT: PROPOSED DWELLING AND SHED FOR S AND S SMART AT 44 PANORAMA ROAD BLACKSTONE HEIGHTS 7250

DRAWING: FLOOR PLAN	
DESIGNED: B. v. Z.	APPROVED.
DRAWN: B. v. Z.	DATE: 28 / 04 / 26
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## FLOOR PLAN

BRICK VENEER - DIMENSIONS AND AREA TO OUTSIDE CLADDING.  
 CLAD FRAME - DIMENSIONS AND AREA TO OUTSIDE OF TIMBER FRAMING CLADDING IN ADDITION TO DIMENSIONS.

BUILDER TO ENSURE ALL DOOR AND DOOR HARDWARE SELECTED TO HAVE 820mm CLEAR OPENING TO COMPLY WITH LIVABLE HOUSING DESIGN.  
 WITH THE EXCEPTION OF NON HABITABLE ROOMS, ONLY IF SHOWN ON PLAN THAT SMALLER SIZED DOOR TO BE USED

BUILDER TO ENSURE THRESHOLDS THROUGH DOORS TO COMPLY WITH LIVABLE HOUSING DESIGN SECTION 3. WITH MAXIMUM 5mm STEP FROM FFL TO FFL OR THRESHOLD RAMP INSTALLED




AREA TABLE		
SQUARE METER	BUILDING SQUARES	
FLOOR AREA	309.6	33.3
PORCH 1 AREA	1.6	0.2
PORCH 2 AREA	5.4	0.6
TOTAL AREA	316.6	34.1



COLORBOND GUTTER AND FASCIA SYSTEM  
ALUMINIUM FRAMED WINDOWS AND DOORS

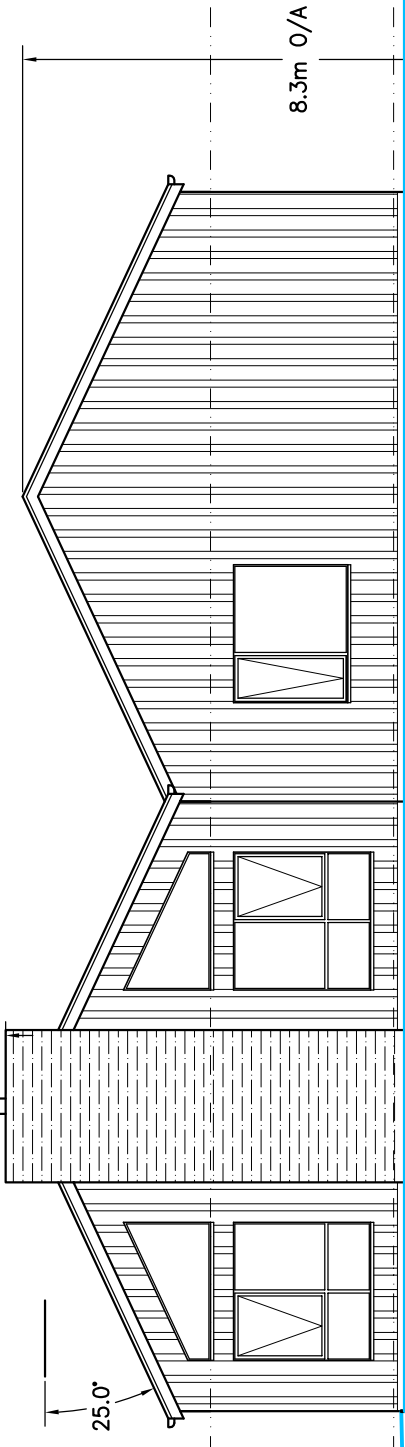
F.L. 179.3m

### NORTH ELEVATION






-  STACKED STONE TILES OVER BLOCKWORK
-  TONGUE AND GROOVE HARDWOOD CLADDING. SPOTTED GUM OR SIMILAR TO BAL REQUIREMENT
-  COLORBOND NAIL STRIP SHEET WALL AND ROOF CLADDING FIXED TO MANUFACTURES SPECIFICATIONS

NATURAL GROUND LEVEL

12.4.4 (d) THE FLUE MUST TERMINATE IN ACCORDANCE WITH FIGURE 12.4.3. TERMINATION HEIGHT 300mm MINIMUM ABOVE THE HIGHEST PAR OF THE BUILDING WITHIN 3.6m



### WEST ELEVATION

-  NATURAL GROUND LEVEL, PRE SUBDIVISION  
- WHERE PROPOSAL IS TO CHANGE FINISHED LEVEL
-  NATURAL GROUND LEVEL, PRE SUBDIVISION  
- WHERE PROPOSAL IS NOT TO CHANGE FINISHED LEVEL
-  CURRENT GROUND LEVEL, POST SUBDIVISION  
- WHERE PROPOSAL IS TO CHANGE FINISHED LEVEL
-  CURRENT GROUND LEVEL, POST SUBDIVISION  
- WHERE PROPOSAL IS NOT TO CHANGE FINISHED LEVEL
-  FINISHED GROUND LEVEL, POST DEVELOPMENT  
- WHERE PROPOSAL IS TO CHANGE FINISHED LEVEL

DRIVEWAY AT FRONT FACADE OF DWELLING

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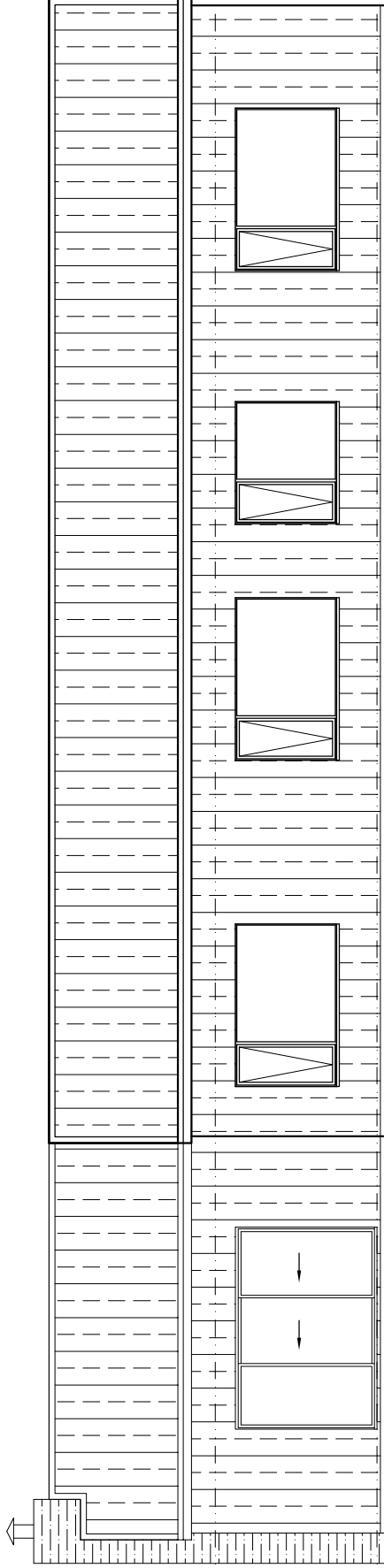
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## SOUTH ELEVATION



## EAST ELEVATION

- (dashed purple line) NATURAL GROUND LEVEL, PRE SUBDIVISION  
— WHERE PROPOSAL IS TO CHANGE FINISHED LEVEL
- (solid purple line) NATURAL GROUND LEVEL, PRE SUBDIVISION  
— WHERE PROPOSAL IS NOT TO CHANGE FINISHED LEVEL
- (dashed yellow line) CURRENT GROUND LEVEL, POST SUBDIVISION  
— WHERE PROPOSAL IS TO CHANGE FINISHED LEVEL
- (solid yellow line) CURRENT GROUND LEVEL, POST SUBDIVISION  
— WHERE PROPOSAL IS NOT TO CHANGE FINISHED LEVEL
- (solid blue line) FINISHED GROUND LEVEL POST DEVELOPMENT  
— WHERE PROPOSAL IS TO CHANGE FINISHED LEVEL



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**DESIGNS**

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DRAWING: ELEVATIONS

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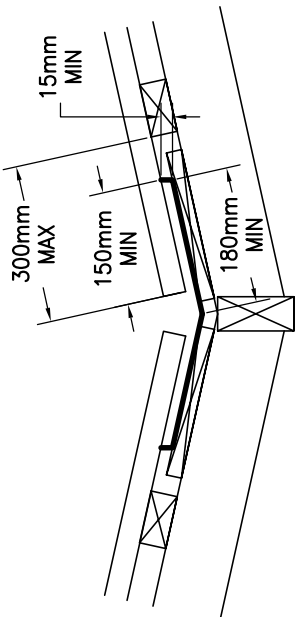
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SMA0326 -- 11/13

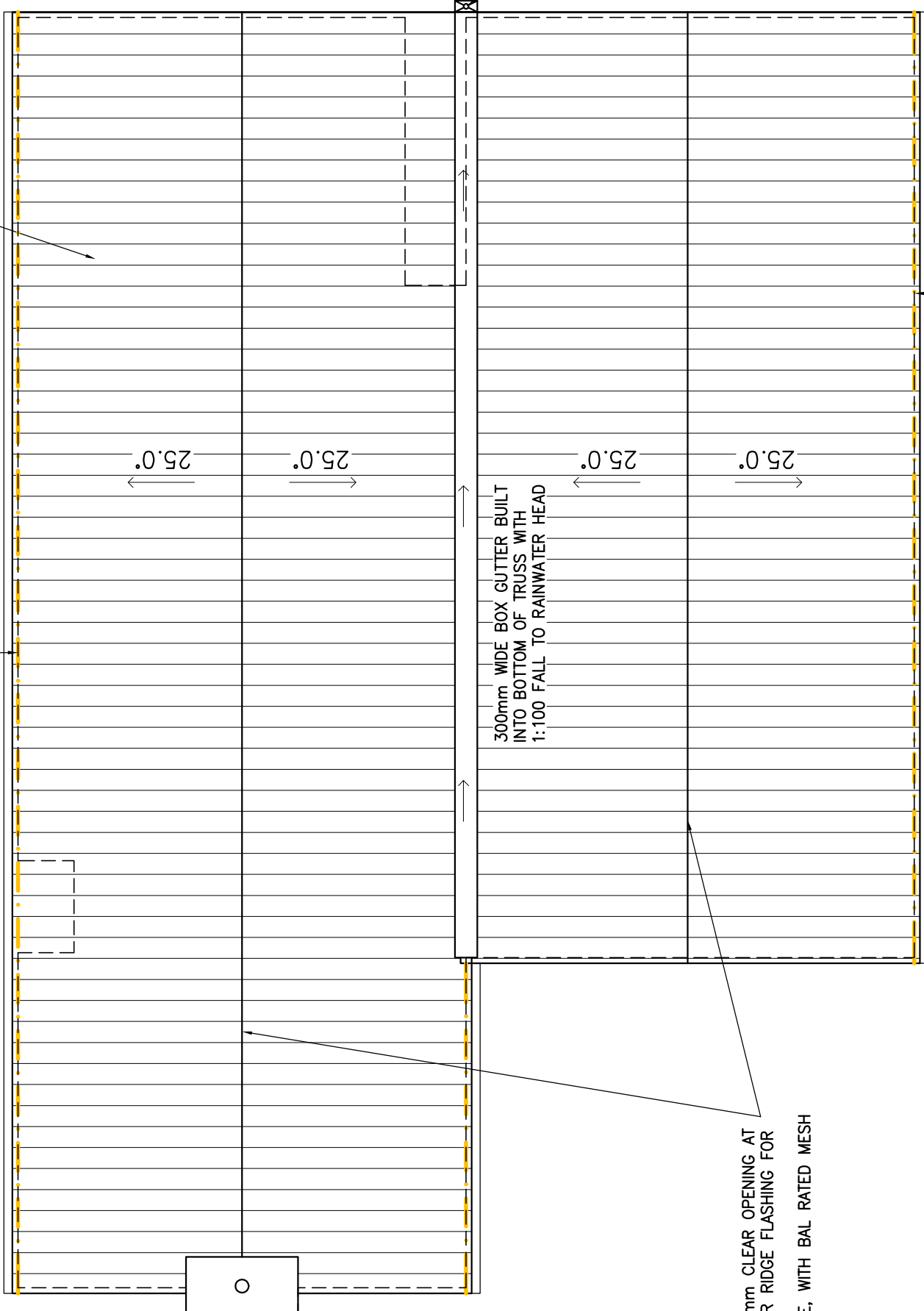
NO EAVE ROOF SYSTEM  
VENT SYSTEMS PASSIVE VENTILATION G1200N VENT.  
INSTALLED AS PER MANUFACTURES SPECIFICATION  
NON BAL ZONE – NO MESH REQUIRED  
MINIMUM 25mm GAP FOR AIRFLOW

OVER FASCIA VENT- G1200N.  
INSTALLED OVER GUTTER PROVIDING  
11,000mm<sup>2</sup> AIRFLOW. INSTALLED AS  
PER MANUFACTURES SPECIFICATION

VALLEY GUTTER IS OVER 12.5 DEGREES  
AS PER 7.4.4



COLORBOND NAIL STRIP SHEET  
WALL AND ROOF CLADDING  
FIXED TO MANUFACTURES  
SPECIFICATIONS



MINIMUM 25mm CLEAR OPENING AT  
RIDGE UNDER RIDGE FLASHING FOR  
VENTILATION  
IN BAL ZONE, WITH BAL RATED MESH

## ROOF PLAN

SHEET ROOF  
75x38mm HARD WOOD OR 70x35mm MGP12  
BATTENS AT 900mm MAX 900mm CRS AND SPAN.  
RANGEHOOD AND BATHROOM EXTRACTION FANS  
DUCTED TO EAVE/WALL VENT

D.P. AND  
RAINWATER HEAD  
AS PER DETAIL  
ON NEXT PAGE

ROOF CLADDING TO COMPLY WITH NCC PART 7.1-7.5

GUTTERS AND DOWNPIPES INSTALLED AS PER NCC PART 7.4  
GUTTER MUST BE INSTALLED WITH A FALL NOT LESS THAN  
• 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL  
FASCIAS

WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISION  
MUST BE MADE TO AVOID ANY OVERFLOW BACK INTO THE ROOF  
OR BUILDING STRUCTURE BY INCORPORATING OVERFLOW  
MEASURERS OR THE LIKE

DOWNPIPES MUST--

(A) NOT SERVE MORE THAN 12 M OF GUTTER LENGTH FOR EACH  
DOWNPIPE; AND

(B) BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS;  
AND

(C) BE SELECTED IN ACCORDANCE WITH THE APPROPRIATE EAVES  
GUTTER SECTION AS SHOWN IN TABLE 7.4.3A, TABLE 7.4.3B  
AND TABLE 7.4.3C.

FOR ROOF CATCHMENTS UP TO 50SQ/M PER DOWNPIPE MEDIUM  
RECTANGULAR GUTTERS OR 115MM 'D' GUTTERS MAY BE USED  
WITH 90MM DOWNPIPES

EAVE AND GUTTER OVERFLOW MEASURE TO BE INSTALLED FOR  
1% ANNUAL EXCEEDANCE PROBABILITY

BOX GUTTERS AS PER AS3500.3

7.4.6 ACCEPTABLE CONTINUOUS OVERFLOW MEASURE

(1) FOR A FRONT FACE SLOTTED GUTTER WITH—  
A MINIMUM SLOT OPENING AREA OF 1200 MM<sup>2</sup> (A) PER METRE OF  
GUTTER; AND

(a) THE LOWER EDGE OF THE SLOTS INSTALLED A MINIMUM OF 25  
MM BELOW THE TOP OF THE FASCIA,  
THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 0.5 L/S/M,  
CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6A.

(2) FOR A CONTROLLED BACK GAP WITH—

(a) A PERMANENT MINIMUM 10 MM SPACER INSTALLED BETWEEN THE  
GUTTER BACK AND THE FASCIA; AND

(b) ONE SPACER PER BRACKET, WITH THE SPACER NOT MORE THAN  
50 MM WIDE; AND

(c) THE BACK OF THE GUTTER INSTALLED A MINIMUM OF 10 MM  
BELOW THE TOP OF THE FASCIA,

THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 1.5 L/S/M,  
CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6B.

(3) FOR THE CONTROLLED BACK GAP OPTION, THE SPACER CAN BE  
A PROPRIETARY CLIP OR BRACKET THAT PROVIDES THE REQUIRED  
OFFSET OF  
THE GUTTER FROM THE FASCIA.

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