

PLANNING NOTICE

An application has been received for a Permit under s.57 of the Land Use Planning Approvals Act 1993:

APPLICANT:	MZSR Developments - PA\26\0160
PROPERTY ADDRESS:	8 Gleadow Street DELORAINE (CT: 185710/37)
DEVELOPMENT:	Single dwelling - setback.

The application can be inspected until **Wednesday, 14 January 2026**, at <u>www.meander.tas.gov.au</u> or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to planning@mvc.tas.gov.au. Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Dated at Westbury on 20 December 2025.

Jonathan Harmey

GENERAL MANAGER

APPLICATION FORM



PLANNING PERMIT

Land Use Planning and Approvals Act 1993

- Application form & details MUST be completed IN FULL.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

					OFFICE USE ONLY
Property N	o:	Assessment	No:] - 🔲	
DA\	P	A\		PC\	
Have you all		illegal building work? ning Review for this proper er required?	oosal?	Yes X Yes Yes	X No Indicate by ✓ boxNoX No
PROPERTY	DETAILS:				
Address:	8 Gleadow Street			Certificate of	f Title: 185710
Suburb:	Deloraine		7304	Lo	ot No: 37
Land area:		1501		m² / ha	
Present use of land/building:	vacant				acant, residential, rural, industrial, mmercial or forestry)
Does the apHeritage List	•	n Land or Private access Yes X No	s via a Crown	n Access Licer	nce: Yes X No
DETAILS OF	USE OR DEVELO	PMENT:			
Indicate by ✓ box	Building worForestry	k Change of u Other	se	Subdivision	n Demolition
Total cost of de (inclusive of GST)	· 1 1 4	55000.00 Inclu	des total cost of	building work, la	andscaping, road works and infrastructure
Description of work:	new dwelling				
Use of building:	dwelling			se of proposed b office, shop)	ouilding – dwelling, garage, farm building,
New floor area	: 210.80	m ² New building	height:	6070 m	
Materials:	External walls:	Brick		Colour: T	ВС
	Roof cladding:	Colourbond		Colour: T	TBC



RESULT OF SEARCH

RECORDER OF TITLES





SEARCH OF TORRENS TITLE

VOLUME 185710	FOLIO 37
EDITION	DATE OF ISSUE
2	07-Mar-2024

SEARCH DATE : 30-May-2024 SEARCH TIME : 03.13 PM

DESCRIPTION OF LAND

Parish of MALLING Land District of DEVON Lot 37 on Sealed Plan 185710 Derivation: Part of Lot 429, 213 Acres Gtd. to James Duff Mackay and William Kenney and Part of Lot 1000, 1462m2 on Sealed Plan 185710, The Crown Prior CTs 185043/103 and 185710/1000

SCHEDULE 1

N179862 TRANSFER to CHRIS REISSIG BUILDERS PTY LTD Registered 07-Mar-2024 at noon

SCHEDULE 2

N162579 & N162580 Land is limited in depth to 15 metres, excludes minerals and is subject to reservations relating to drains sewers and waterways in favour of the Crown

SP185710 FENCING COVENANT in Schedule of Easements

SP184483 & SP185043 FENCING COVENANT in Schedule of Easements

SP185043 SEWERAGE AND/OR DRAINAGE RESTRICTION

E376751 MORTGAGE to Bank of Queensland Limited Registered 07-Mar-2024 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



RECORDER OF TITLES

LOCATION



Issued Pursuant to the Land Titles Act 1980

OWNER PATON ENTERPRISES PTY LTD THE CROWN

FOLIO REFERENCE C.T. 185043/103 Sec 274 (N162579)

PLAN OF SURVEY

R.M.PECK BY SURVEYOR

Registered Number

SP185710

PART OF LOT 429 213^{AC}
GRANTED TO JAMES DUFF
MACKAY AND WILLIAM KENNEY GRANTEE APPROVED
EFFECTIVE FROM -2 JAN 2024 LAND DISTRICT OF DEVON PARISH OF MALLING WHOLE OF LOT 1000 (1462m²) & WHOLE OF LOT 1001 (873m²) THE CROWN (SP.185710) SCALE 1:1500 LENGTHS IN METRES Recorder of Titles MAPSHEET MUNICIPAL CODE No(121) LAST PLAN No. SP185043 ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN LOT 105 COMPILED FROM CT 185043/103 AND THIS SURVEY INDEX SHEET (P.26982) DRAINAGE EASEMENT "B" 3.00 WIDE (SP185043) BASS HIGHWAY (P.114367) (7) (D.35560) DRAINAGE EASEMENT 'A" 3.00 MDE (SP185043) (8) DRAINAGE EASEMENT "D" 3.00 WIDE (SP185043) DRAINAGE EASEMENT "A" 3.00 WIDE (SP185043) (24)DRAINAGE EASEMENT "C" 3.00 WIDE (SP185043) (15) (S.P.37095) (16) LIDDESDALE DRIVE (27)(25)(17) (28)(18)(S.P.185043) (19)(104)(20) (D.46420) (30)(D.46419) (26) (21) (S.P.7372) 22 (31) TEEGN (GR.185566) (S.P.20408) (35)STREET RICH (36) (S.P.185043) CHE BY 38 (32)(34)37 (D.38900) (33) 39 (SP.185588) GLEADOW 40 PIPELINE AND SERVICES AND DRAINAGE EASEMENT 41 "H" 3.00 WIDE (SP185043) (S.P.104698) SP.127970) ROND (P.147115) (SP.104698) (D.46419) PIPELINE AND SERVICES (S.P.104698) AND DRAINAGE EASEMENT "G" 3.00m WIDE (SP.170370) (S.P.126244) 15/11/2023 7/09/23

Search Date: 30 May 2024

Search Time: 03:14 PM

DATE

Volume Number: 185710

Revision Number: 01

COUNCIL DELEGATE

Page 1 of 4

REGISTERED LAND SURVEYOR

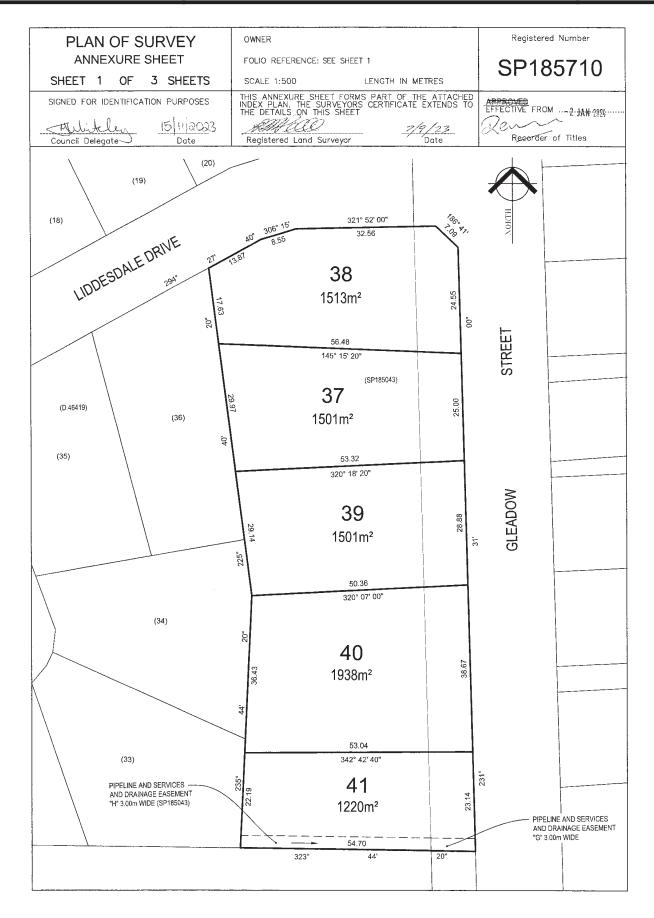
DATE



RECORDER OF TITLES

Tasmanian Government

Issued Pursuant to the Land Titles Act 1980

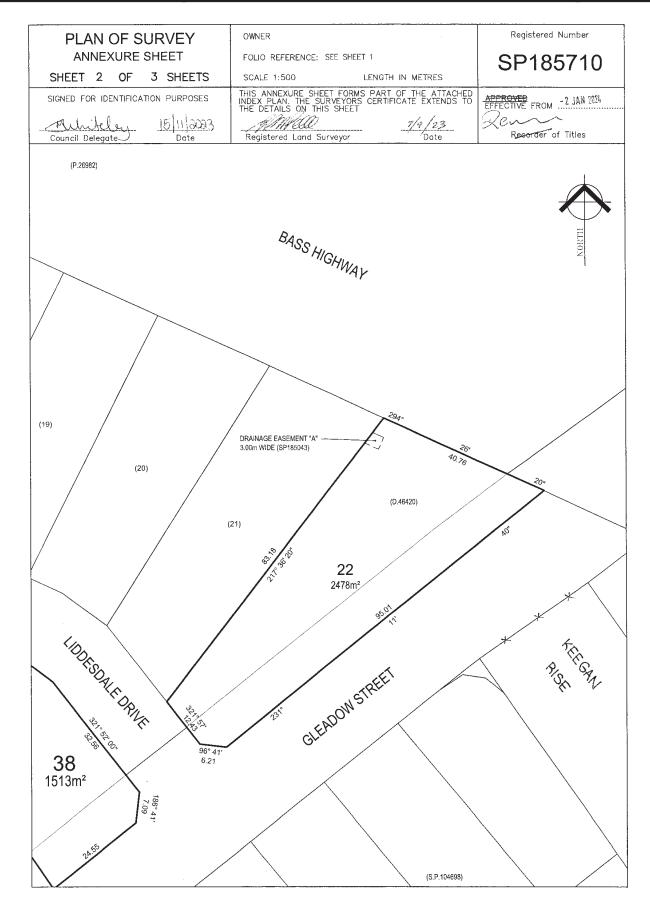




RECORDER OF TITLES



Issued Pursuant to the Land Titles Act 1980

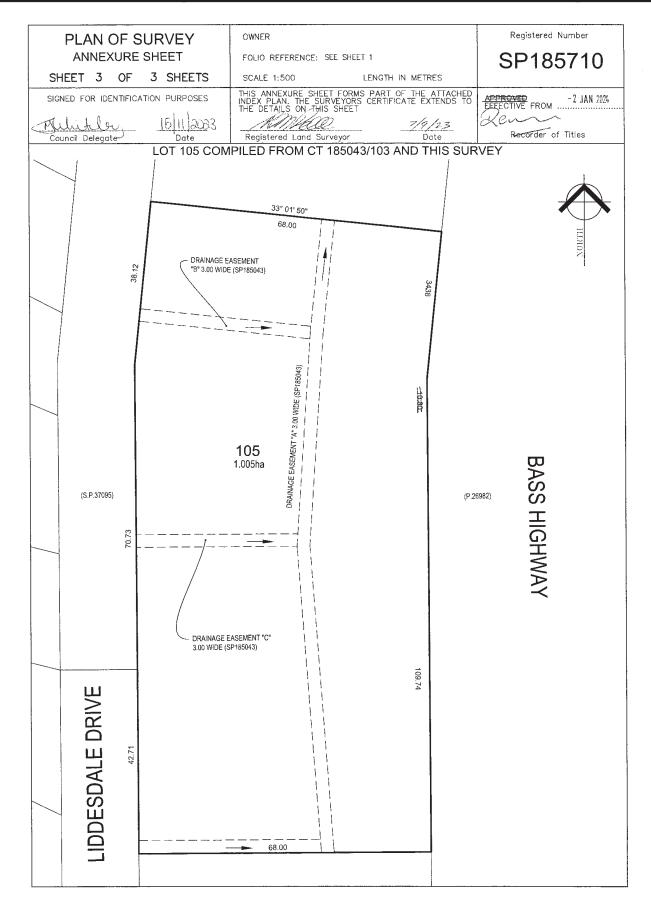




RECORDER OF TITLES



Issued Pursuant to the Land Titles Act 1980





RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SCHEDULE OF EASEMENTS

NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS

& MORTGAGEES OF THE LAND AFFECTED.
SIGNATURES MUST BE ATTESTED.

Registered Number

SP 185710

PAGE 1 OF 5 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lots 105 and 22 on the Plan are each <u>SUBJECT TO</u> a right of drainage for the Meander Valley Council over the land marked Drainage Easement "A" 3.00 Wide (SP185043) on the Plan.

Lot 105 on the Plan is <u>SUBJECT TO</u> a right of drainage for the Meander Valley Council over the land marked Drainage Easement "B" 4.00 Wide (SP185043) on the Plan.

Lot 105 on the Plan is <u>SUBJECT TO</u> a right of drainage for the Meander Valley Council over the land marked Drainage Easement "C" 3.00 Wide (SP185043) on the Plan.

Lot 105 on the Plan is <u>SUBJECT TO</u> a right of drainage for the Meander Valley Council over the land marked Drainage Easement "D" 3.00 Wide (SP185043) on the Plan.

Lot 41 on the Plan is <u>SUBJECT TO</u> a right of drainage for the Meander Valley Council over the land marked Pipeline and Services and Drainage Easement "G" 3.00 Wide on the Plan.

Lot 41 on the Plan is <u>SUBJECT TO</u> a right of drainage for the Meander Valley Council over the land marked Pipeline and Services and Drainage Easement "H" 3.00 Wide (SP185043) on the Plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: PATON ENTERPRISES PTY LTD

FOLIO REF: 185043/103

SOLICITOR

& REFERENCE: Shields Heritage DA Smith

I AN SEALED BY: Meander Valley Council

ATE: 10111003

EF NO. Council Delegate

NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

JA J. MA

Search Date: 30 May 2024

Search Time: 03:14 PM

Volume Number: 185710

Revision Number: 01

Page 1 of 5



RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



ANNEXURE TO SCHEDULE OF EASEMENTS

PAGE 2 OF 5 PAGES

Registered Number

SP185710

SUBDIVIDER: PATON ENTERPRISES PTY LTD

FOLIO REFERENCE: 185043/103

Lot 41 on the Plan is <u>SUBJECT TO</u> a Pipeline and Services Easement as described in Sealed Plan Number 185043 in gross in favour of Tasmanian Water and Sewerage Corporation Pty Ltd (A.C.N. 162 220 655) over the Pipeline and Services and Drainage Easement "H" 3.00 Wide (SP185043) passing through such Lot.

Lot 41 on the Plan is <u>SUBJECT TO</u> a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked Pipeline and Services and Drainage Easement "G" 3.00 Wide on the Plan ("the Easement Land").

"Pipeline and Services Easement" is defined as follows:-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:-

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (1) without doing unnecessary damage to the Easement Land; and
 - (2) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and



NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

1 st 1.20

Search Date: 30 May 2024

Search Time: 03:14 PM

Volume Number: 185710

Revision Number: 01

Page 2 of 5



RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



ANNEXURE TO SCHEDULE OF EASEMENTS

PAGE 3 OF 5 PAGES

Registered Number

SP185710

SUBDIVIDER: PATON ENTERPRISES PTY LTD

FOLIO REFERENCE: 185043/103

(7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof maybe annexed to the easement herein described.

Interpretation:

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other Infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

day day

Search Date: 30 May 2024

Search Time: 03:14 PM

Volume Number: 185710

Revision Number: 01

Page 3 of 5



RECORDER OF TITLES





ANNEXURE TO SCHEDULE OF EASEMENTS

PAGE 4 OF 5 PAGES

Registered Number

SP,185710

SUBDIVIDER: PATON ENTERPRISES PTY LTD

FOLIO REFERENCE: 185043/103

FENCING COVENANT

The owner of each Lot on the Plan covenants with the Vendor Paton Enterprises Pty Ltd (A.C.N. 639 417 217) that the said Paton Enterprises Pty Ltd (A.C.N. 639 417 217) shall not be required to fence.

EXECUTED by PATON ENTERPRISES)		
PTY LTD (A.C.N. 639 417 217)) the)		
registered proprietor of the land comprised)	1 / -4	1 1 16
in Folio of the Register Volume 185043 Folio)	() - T	. (1.1)
103 pursuant to Section 127(1)(c) of the)	Jason John Sherriff	V
Corporations Act 2001 by being signed by)		
the company's sole director who is also the)		
sole company secretary)		



NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

Search Date: 30 May 2024

Search Time: 03:14 PM

Volume Number: 185710

Revision Number: 01

Page 4 of 5



RECORDER OF TITLES





ANNEXURE TO SCHEDULE OF EASEMENTS

PAGE 5 OF 5 PAGES

Registered Number

SP185710

SUBDIVIDER: PATON ENTERPRISES PTY LTD

FOLIO REFERENCE: 185043/103

EXECUTED for The Crown in Right of Tasmania (acting through the Minister administering the Crown
Lands Act 1976 (Tas)) by the person named below in the presence of the witness named below
Signature
Print name Julian David Gill
Position and Position Number Manager Property Services (707856) perscort to Authorisation dated 13 December 2022 Witness signature
pursuant to Authorisation dated 12 December 2022
Witness signature
Witness print name and position Kylie Lemin, 1cam Leader-Sales (102143
Witness print address 134 Marguarie Street, Hobort, Tas, 7000

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

Search Date: 30 May 2024

Search Time: 03:14 PM

Volume Number: 185710

Revision Number: 01

Page 5 of 5



PROPOSED DWELLING LOT 37, GLEADOW STREET, DELORAINE, 7304.



AREAS		COUNCIL		ZONE		
	(m²)	MEANDER VALLEY	MEANDER VALLEY COUNCIL		LOW DENSITY RESIDENTIAL	
ALFRESCO	17.24	LAND TITLE REFERENCE	185710/37	ENERGY STAR RATING	TBC	
DWELLING	210.80	PROPERTY ID	9949451	CLIMATE ZONE	7	
PORCH	3.48	LOT SIZE (M ²)	1501	ALPINE AREA	N/A	
		BAL RATING	TBC	CORROSION ENV'	N/A	
		DESIGN WIND CLASS	TBC	SITE HAZARDS	BUSHFIRE PRONE AREA	
		SOIL CLASSIFICATION	TBC	PLANNING OVERLAY	BUSHFIRE PRONE AREA	
	·		·	·	·	

ATTACHMENTS

DRAWING #

GLDW37-1

GLDW37-2

GLDW37-3

GLDW37-4

GLDW37-5

GLDW37-6

GLDW37-7

DRAWING

COVER PAGE

FLOOR PLAN

EXTERNAL SERVICES

ELEVATIONS N/W-S/E

ELEVATIONS N/E-S/W

SHADOW DIAGRAMS

SITE PLAN

D	ESIGN

ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au CLIENT/S: MZSR DEVELOPMENTS

LOT 37, GLEADOW STREET,

SITE ADDRESS:

DELORAINE, 7304.

DRAWINGCOVER PAGE

I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.

SIGNATURE:

SIGNATURE:

DATE:

DATE:

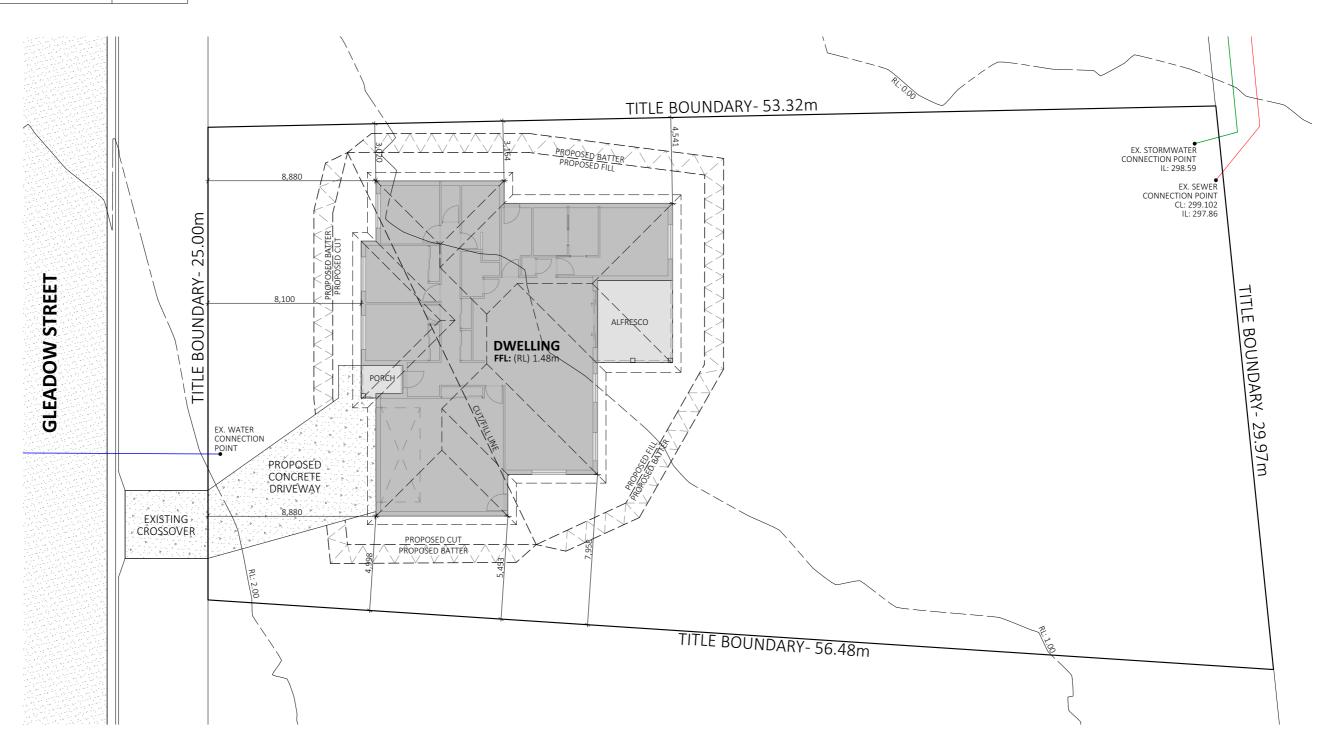
This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.

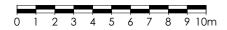
COPYRIGHT:

REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	GLDW
R1	24/08/2023	FOR REVIEW				
R2	12/08/2024	FOR REVIEW	DRAWN	J.L.	DRAWING	1/7
R3	09/09/2024	FOR D.A.	CHECKED	A A I		NTS
			CHECKED	M.L.	SCALE (@A3)	1113

4







DESIGN

ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au CLIENT/S: MZSR DEVELOPMENTS

DELORAINE, 7304.

SITE ADDRESS:
LOT 37, GLEADOW STREET,

DRAWINGSITE PLAN

I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.

SIGNATURE:

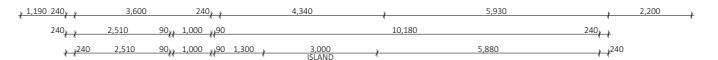
SIGNATURE:

DATE:

DATE:

COPYRIGHT:
This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.

REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	GLDW3
R1	24/08/2023	FOR REVIEW				
R2	12/08/2024	FOR REVIEW	DRAWN	J.L.	DRAWING	2/7
R3	09/09/2024	FOR D.A.	CHECKED	A 4 1		1:200
			CHECKED	M.L.	SCALE (@A3)	1.200









ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au DESIGN W. designtolive.com.au

CLIENT/S: MZSR DEVELOPMENTS

SITE ADDRESS: LOT 37, GLEADOW STREET,

DELORAINE, 7304.

DRAWING FLOOR PLAN I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.

DATE:

SIGNATURE: DATE:

SIGNATURE:

This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.

REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	GLDW3
R1	24/08/2023	FOR REVIEW				
R2	12/08/2024	FOR REVIEW	DRAWN	J.L.	DRAWING	3/7
R3	09/09/2024	FOR D.A.	CHECKED	A A 1		1:100
			CHECKED	<i>™</i> \.L.	SCALE (@A3)	1.100

В

- BASIN - BATH Ba

S - SINK (65Ø)

Т - LAUNDRY TUB (65Ø)

SH - SHOWER

WC - WATER CLOSET

FW - FLOOR WASTE

ΕV - VENT (THROUGH TO ROOF)

FWG - FLOOR WASTE GULLY 10 - INSPECTION OPENING

ORG - O/FLOW RELIEF GULLY

RE - RODDING EYE

- HOT WATER CYLINDER HW

- EXTERNAL TAP Χ

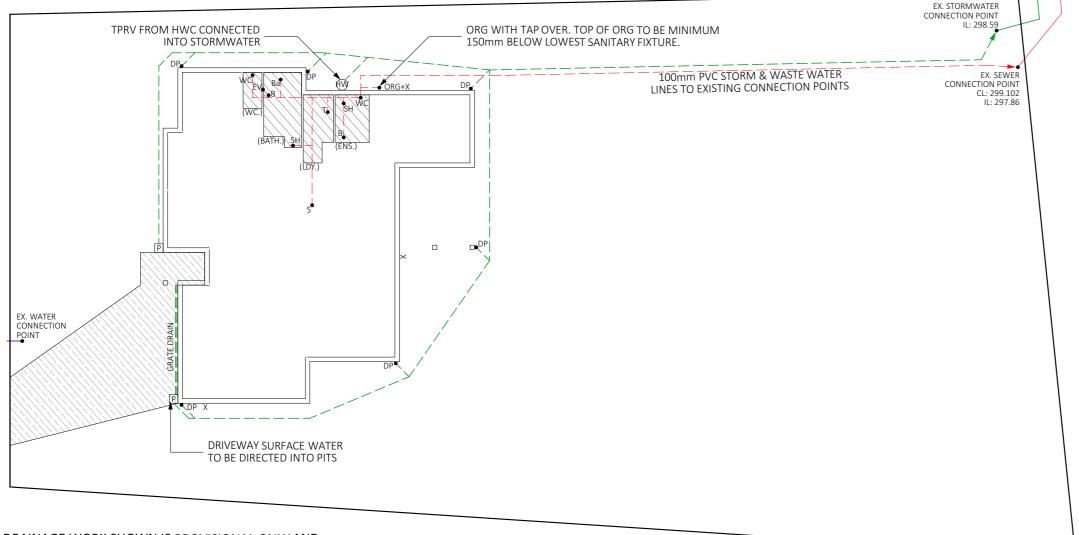
Р - DRAINAGE PIT (450 x 450mm)

DP

- DOWNPIPE (90 Ø) - WET AREAS

- STORMWATER LINE (100mm PVC)

- SEWER LINE (100mm PVC)



ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH AS-3500 AND LOCAL PLUMBING CODE AND SHOULD BE CARRIED OUT BY A LICENSED PLUMBER.

DESIGN

ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au

W. designtolive.com.au

CLIENT/S: MZSR DEVELOPMENTS

SITE ADDRESS: LOT 37, GLEADOW STREET,

DELORAINE, 7304.

DRAWING EXTERNAL SERVICES

I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.

SIGNATURE:

SIGNATURE:

DATE:

DATE:

This is the sole property of Design To Live, and may not be used in whole or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.

COPYRIGHT:

REV. DATE DESCRIPTION DESIGNER JOB NUMBER GLDW37 M.L. 24/08/2023 FOR REVIEW DRAWN J.L. DRAWING 12/08/2024 FOR REVIEW 09/09/2024 FOR D.A. CHECKED M.L. SCALE (@A3)

INSTALL INSPECTION OPENINGS AT MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES.

PROVIDE SURFACE DRAIN TO BACK OF BULK EXCAVATION TO DRAIN LEVELLED PAD PRIOR TO COMMENCING FOOTING EXCAVATION.

THE HEATED WATER SYSTEM MUST BE DESIGNED AND INSTALLED WITH PART B2 OF THE NCC VOLUME THREE-PLUMBING CODE OF AUSTRALIA.

THERMAL INSULATION FOR HEATED WATER PIPING MUST: A) BE PROTECTED AGAINST THE EFFECTS OF WEATHER AND SUNLIGHT; AND

B) BE ABLE TO WITHSTAND THE TEMPERATURES WITHIN THE PIPING; AND

C) USE THERMAL INSULATION IN ACCORDANCE WITH AS/NZS 4859.1

HEATED WATER PIPING THAT IS NOT WITHIN A CONDITIONED SPACE MUST BE THERMALLY INSULATED AS FOLLOWS:

1. INTERNAL PIPING

a) ALL FLOW AND RETURN INTERNAL PIPING THAT ISi)WITHIN AN UNVENTILATED WALL SPACE ii)WITHIN AN INTERNAL FLOOR BETWEEN STOREYS: OR iii) BETWEEN CEILING INSULATION AND A CEILING MUST HAVE A MINIMUM R-VALUE OF 0.2

2.PIPING LOCATED WITHIN A VENTILATED WALL SPACE, AN **ENCLOSED BUILDING SUBFLOOR OR A ROOF SPACE** a) ALL FLOW AND RETURN PIPING b)COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM,

MUST HAVE A MINIMUM R-VALUE OF 0.45

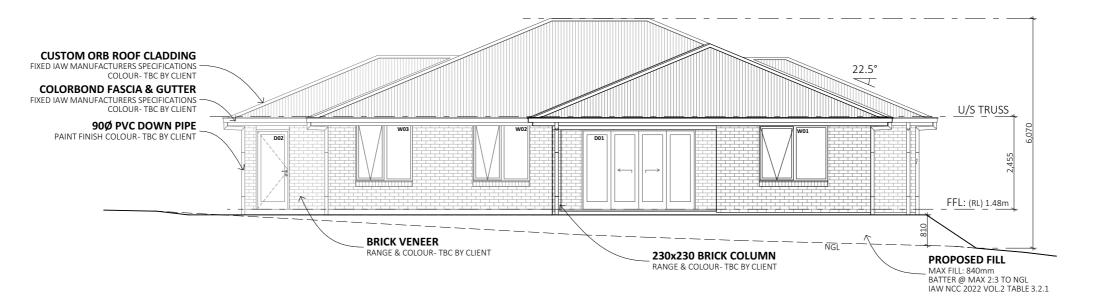
3. PIPING LOCATED OUTSIDE THE BUILDING OR IN AN UNENCLOSED BUILDING SUB FLOOR OR ROOF SPACE a)ALL FLOW AND RETURN PIPING b)COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER **HEATING SYSTEM** MUST HAVE A MINIMUM R-VALUE OF 0.6

PIPING WITHIN AN INSULATED TIMBER FRAMED WALL, SUCH AS THAT PASSING THROUGH A WALL STUD, IS CONSIDERED TO COMPLY WITH THE ABOVE INSULATION REQUIREMENTS.

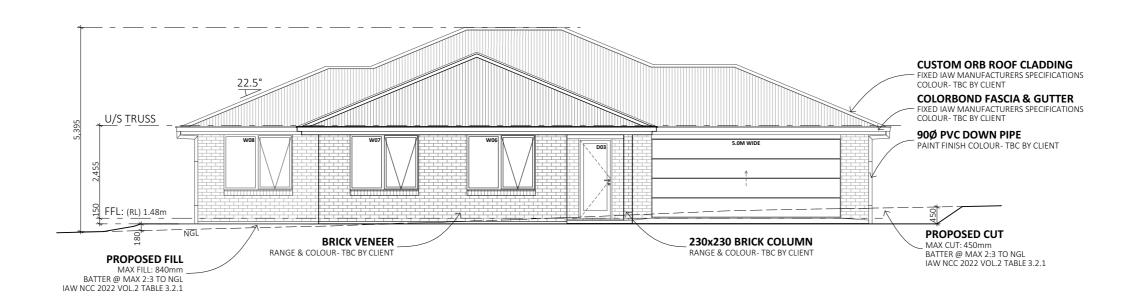
ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES INTERGRATED CODE (WSA 03-2011-3.1 VERSION 3.1 MRWA VERSION 2.0) AND THE SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES INTERGRATED CODE (WSA 02-2014-3.1 MRWA VERSION 2.0) AND TASWATER'S SUPPLEMENTS TO THESE CODES.

4/7

1:200



NORTH-WESTERN ELEVATION



SOUTH-EASTERN ELEVATION





ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au CLIENT/S: MZSR DEVELOPMENTS

SITE ADDRESS: LOT 37, GLEADOW STREET, DELORAINE, 7304. DRAWING ELEVATIONS N/ W-S/E I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.

SIGNATURE:

SIGNATURE:

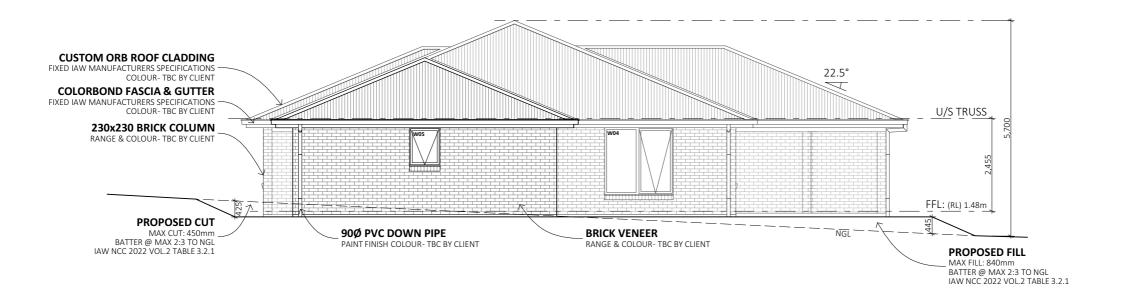
DATE: DATE: COPYRIGHT:
This is the sole property of Design To
Live, and may not be used in whole,
or in part without written or formal
consent from Design To Live. Legal
action will be taken against any
person/s infringing the copyright.

 REV.
 DATE
 DESCRIPTION
 DESIGNER
 M.L.
 JOB NUMBER
 GLDW37

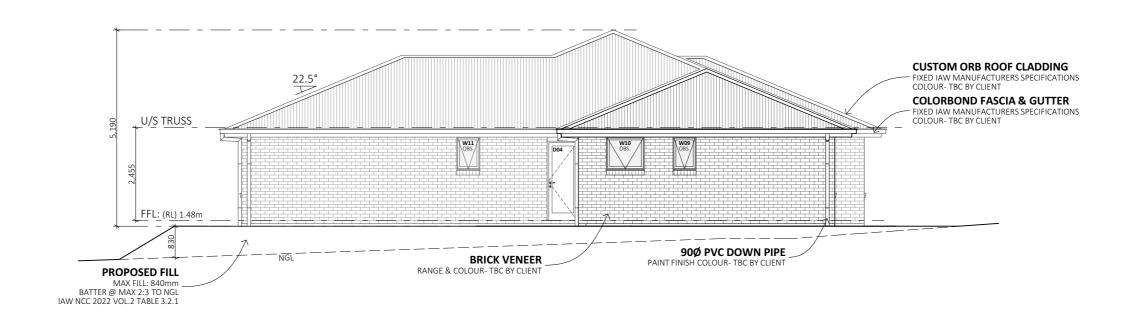
 R1
 24/08/2023 FOR REVIEW
 DRAWN
 J.L.
 DRAWING
 5/7

 R2
 12/08/2024 FOR REVIEW
 DRAWN
 J.L.
 DRAWING
 5/7

 R3
 09/09/2024 FOR D.A.
 CHECKED
 M.L.
 SCALE (@A3)
 1:100



NORTH-EASTERN ELEVATION



SOUTH-WESTERN ELEVATION



DESIGN

ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au CLIENT/S: MZSR DEVELOPMENTS

SITE ADDRESS: LOT 37, GLEADOW STREET, DELORAINE, 7304. DRAWING ELEVATIONS N/ E-S/W I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.

SIGNATURE:

SIGNATURE:

DATE:

COPYRIGHT:
This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any

person/s infringing the copyright.

 REV.
 DATE
 DESCRIPTION
 DESIGNER
 M.L.
 JOB NUMBER
 GLDW37

 R1
 24/08/2023 FOR REVIEW
 DRAWN
 J.L.
 DRAWING
 6/7

 R2
 12/08/2024 FOR D.A.
 CHECKED
 M.L.
 SCALE (@A3)
 1:100

