



Meander Valley Council  
Working Together

## PLANNING NOTICE

An application has been received for a Permit under s.57 of the Land Use Planning Approvals Act 1993:

APPLICANT:	<b>S Group Pty Ltd - PA\26\0153</b>
PROPERTY ADDRESS:	<b>1167 Railton Road KIMBERLEY (CT: 89636/107)</b>
DEVELOPMENT:	<b>Extension to Single dwelling - site coverage.</b>

The application can be inspected until **Wednesday, 14 January 2026**, at [www.meander.tas.gov.au](http://www.meander.tas.gov.au) or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to [planning@mvc.tas.gov.au](mailto:planning@mvc.tas.gov.au). Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Dated at Westbury on 20 December 2025.

Jonathan Harmey  
**GENERAL MANAGER**

# APPLICATION FORM

## PLANNING PERMIT

### Land Use Planning and Approvals Act 1993



- Application form & details **MUST** be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

#### OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work?  Yes  No Indicate by ✓ box
- Have you already received a Planning Review for this proposal?  Yes  No
- Is a new vehicle access or crossover required?  Yes  No

#### PROPERTY DETAILS:

Address:	<input type="text" value="1167 Railton Rd"/>	Certificate of Title:	<input type="text" value="89636/107"/>
Suburb:	<input type="text" value="Kimberley TAS"/>	<input type="text" value="7304"/>	Lot No: <input type="text" value="107"/>
Land area:	<input type="text" value="38,976m2"/>	<i>m<sup>2</sup> / ha</i>	
Present use of land/building:	<input type="text" value="Residential Dwelling (Caretaker's Residence)"/>	<i>(vacant, residential, rural, industrial, commercial or forestry)</i>	

- Does the application involve Crown Land or Private access via a Crown Access Licence:  Yes  No
- Heritage Listed Property:  Yes  No

#### DETAILS OF USE OR DEVELOPMENT:

Indicate by ✓ box	<input checked="" type="checkbox"/> Building work	<input type="checkbox"/> Change of use	<input type="checkbox"/> Subdivision	<input type="checkbox"/> Demolition
	<input type="checkbox"/> Forestry	<input type="checkbox"/> Other		
Total cost of development (inclusive of GST):	<input type="text" value="\$ 200,000"/>	<i>Includes total cost of building work, landscaping, road works and infrastructure</i>		
Description of work:	<input type="text" value="Extension of building (living area), addition of carport &amp; entry portico, interior renovations"/>			
Use of building:	<input type="text" value="Residential Dwelling (Caretaker's Residence)"/>	<i>(main use of proposed building – dwelling, garage, farm building, factory, office, shop)</i>		
New floor area:	<input type="text" value="110 (226 tot.) m&lt;sup&gt;2&lt;/sup&gt;"/>	New building height:	<input type="text" value="5 m"/>	
Materials:	External walls:	<input type="text" value="Brick / FC Sheet"/>	Colour:	<input type="text" value="Surfmist / Monument"/>
	Roof cladding:	<input type="text" value="Metal"/>	Colour:	<input type="text" value="Monument"/>





1<sup>st</sup> December 2025

Meander Valley Council

**Re: Development Application - 1167 Railton Rd, Kimberley**

**Overview:**

This proposal is for a proposed extension to an existing residential dwelling, including a carport addition and associated site works on a lot zoned for Rural Living use. Refer to the associated documentation provided for further detail on the proposal.

**11.0 Rural Living Zone**

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Refer to associated architectural drawings.

**11.1 Zone Purpose**

No response required.

**11.2 Use Table**

Residential; is permitted use (no permit required) - if for a single dwelling.

**11.3 Use Standards**

**11.3.1 Discretionary Uses**

Not applicable.

**11.3.2 Visitor Accommodation**

Not applicable.

**11.4 Development Standards For Buildings And Works**

**11.4.1 Site Coverage**

P1 Site coverage for the total proposed development is more than 400m<sup>2</sup>, at a total of 404m<sup>2</sup>, including the existing dwelling, proposed additions and the adjacent sheds, where:

- a) The proposed development is of a size and configuration that does not require major ground works or reshaping of the site. The scale of the existing dwelling and the composition with associated sheds is consistent with development on adjacent properties (as seen on aerial imagery).



- b) The proposed development does not diminish the site's natural ability to deal with runoff and provides ample space for on-site wastewater management.
- c) The total proposed site coverage is 1% of the site and is consistent with development on adjacent properties (as seen on aerial imagery).
- d) The proposed development considers existing buildings and there are no constraints imposed by existing developments.
- e) The proposed development does not require the removal of major vegetation.
- f) The proposed development is consistent with the character of development on adjacent properties (as seen on aerial imagery).

#### **11.4.2 Building Height, Setback And Siting**

- A1 The existing dwelling height is not more than 8.5m, at 5m high (above ground level). The proposed extended section of roof will continue the same ridgeline / roof height.
- A2 The existing dwelling has a setback from the frontage of not less than 20m (see attached site plan).
- A3 The existing dwelling has a setback from the side and rear boundaries of not less than 10m (see attached site plan).
- A4 The proposed dwelling (a sensitive use) is separated from the adjacent Rural Zone not less than 200m, at over 350m.

#### **11.5 Development Standards For Subdivision**

##### **11.5.1 Lot Design**

Not applicable.

##### **11.5.2 Roads**

Not applicable.

##### **11.5.3 Services**

Not applicable.

#### **C13.0 Bushfire-Prone Areas Code**

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Refer to associated Bushfire Assessment report.

#### **C15.0 Landslip Hazard Code**

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The mapped Landslip Hazard area is not in the vicinity of the existing dwelling or proposed development and is not applicable.



**S. Group**

Level 1, 10-14 Paterson St, Launceston

Level 1, 90-92 Murray St, Hobart

PO Box 1271, Launceston, TAS 7250

**p** 03 6311 1403 **e** info@sgroup.com.au

**abn** 33 625 566 618 **sgroup.com.au**

We trust that the contents of this letter and the attached documents satisfactorily address the planning requirements for this proposal. If there are any further queries, please don't hesitate to contact us.

Kind Regards,

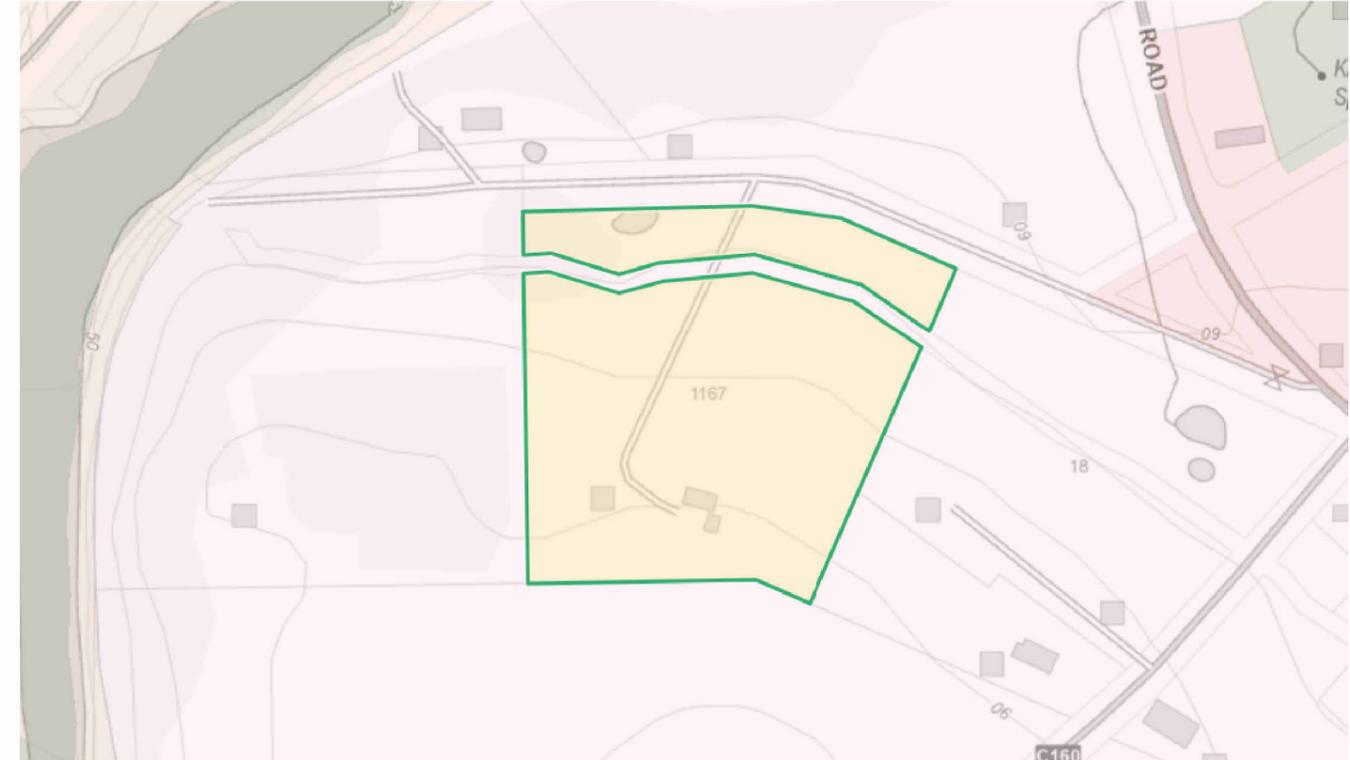
Damon Marshall (S. Group)

# Alterations + Additions

## 1167 Railton Rd, Kimberley

### GENERAL INFORMATION:

Accredited Architect:	Sam Haberle
Accreditation Number:	CC5618U
Certificate of Title:	89636/107
PID:	7465855
Soil Classification:	TBC
Wind Classification:	TBC
Alpine Area:	N/A
Bushfire-prone Area BAL rating:	TBC
Corrosive Environment:	N/A
Site Area:	38976m <sup>2</sup>
Existing Upper level Building Area:	116 m <sup>2</sup> (excl. Sheds)
Proposed Building Area:	61 m <sup>2</sup>
Planning Zone:	Rural Living



### Property Information

#### 1167 RAILTON RD KIMBERLEY TAS 7304

##### Property Type

Primary

##### Property Identification Number (PID)

7465855

##### Certificate of Title Reference (Volume/Folio)

89636/107

##### Total Area

38976 sqm

##### Locality

Kimberley

##### Municipality

Meander Valley

##### Planning Scheme

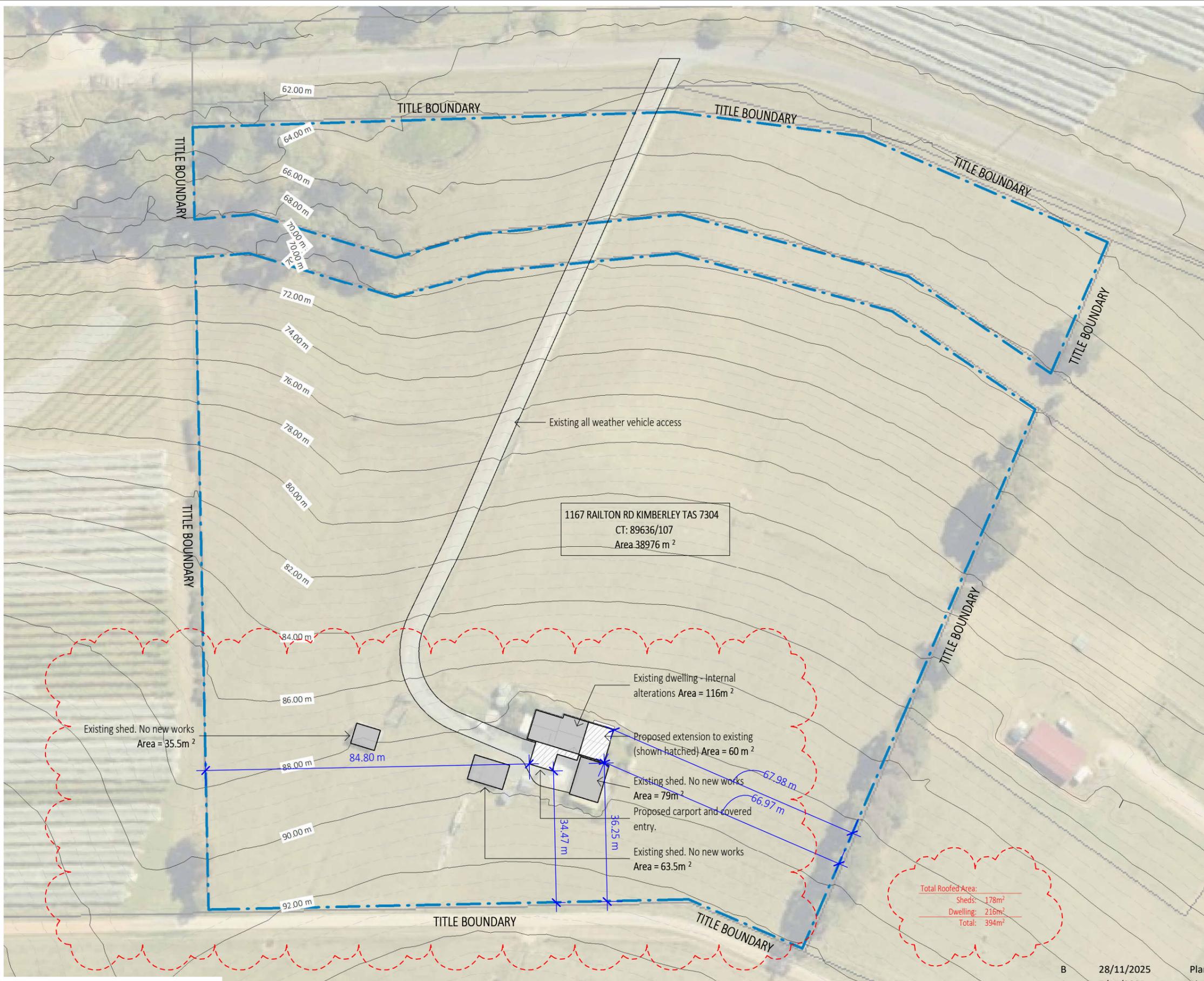
Tasmanian Planning Scheme

##### Planning Zones

Rural Living

##### Planning Code Overlay

Low landslip hazard band, Bushfire-prone areas



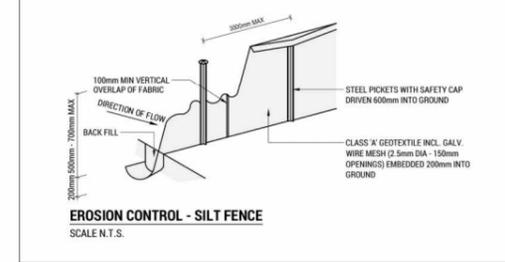
**SITE PLAN NOTES:**

CONTOURS & HEIGHTS SHOWN ON PLANS ARE DERIVED FROM A DETAILED FEATURES SURVEY COMPLETED BY OTHERS.  
SITE LEVELS ARE TO BE CONFIRMED ONSITE PRIOR TO THE COMMENCEMENT OF WORKS.  
SITE SERVICES ARE APPROXIMATES & SHALL BE CONFIRMED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.  
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<b>AREA SCHEDULE:</b>	
SITE AREA	38976 m <sup>2</sup>
EXISTING DWELLING (Excl. SHEDS)	116m <sup>2</sup>
PROPOSED DWELLING (Excl. SHEDS)	61m <sup>2</sup>

- SOIL & WATER MANAGEMENT NOTES**
- ALL RUNOFF & SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED EACH WORKING DAY & MAINTAINED IN A FUNCTIONAL CONDITION.
  - ALL VEGETATION OUTSIDE THE BUILDING ENVELOPE WILL BE RETAINED.
- SEDIMENT CONTROL FENCE NOTES**
- CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
  - DRIVE 1.5M LONG STAR PICKETS INTO GROUND @ MAX. 3.0M SPACINGS.
  - DIG A 150MM DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
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  - FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
  - JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH 150MM OVERLAP.

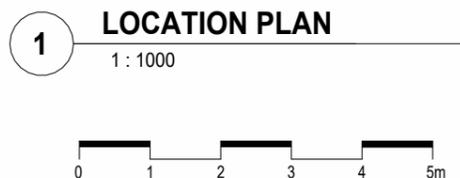
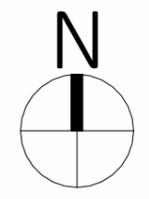
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    - ALL CONTROL MEASURES TO BE INSPECTED AT LEAST WEEKLY AND AFTER SIGNIFICANT RUNOFF PRODUCING STORMS.
    - CONTROL MEASURES MAY BE REMOVED WHEN ON-SITE EROSION IS CONTROLLED AND 70% PERMANENT SOIL COVERAGE IS OBTAINED OVER ALL UPSTREAM DISTURBED LAND.
    - IN AREAS WHERE RUNOFF TURBIDITY IS TO BE CONTROLLED, EXPOSED SURFACES TO BE EITHER MULCHED, COVERED WITH EROSION CONTROL BLANKETS OR TURFED IF EARTHWORKS ARE EXPECTED TO BE DELAYED FOR MORE THAN 14 DAYS.
    - STRAW BALE SEDIMENT TRAPS ARE A SECONDARY OPTION WHICH GENERALLY SHOULD NOT BE USED IF OTHER OPTIONS ARE AVAILABLE.
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A	7/11/2025	Planning Application. - Client Review
REV	DATE	DESCRIPTION
PROJECT	Alterations + Additions	
ADDRESS	1167 Railton Rd, Kimberley	
CLIENT	A+B Murray	SCALE @ A3As indicated
DWG	Location Plan	DRAWN Author CHKD Checker
PROJECT #		DWG #
		<b>A101</b>
		ACCREDITED DESIGNER CC 5618 U

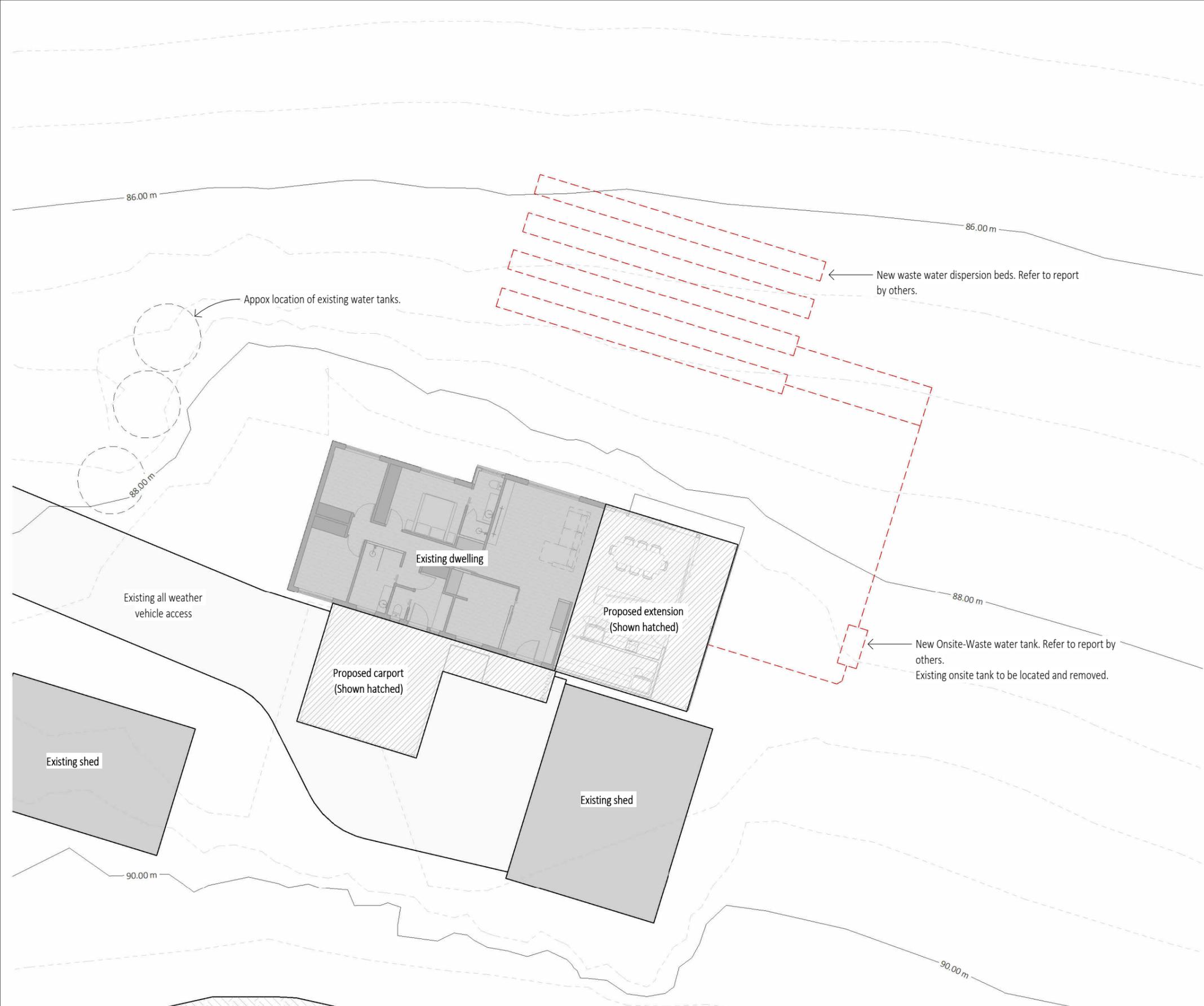
**create.wonder.**

S. Group  
73 - 75 St John Street, Launceston  
100 Elizabeth Street, Hobart  
552 Victoria St, North Melbourne, VIC  
p 03 6311 1403 e info@sgroup.com.au  
abn 33 625 566 618 sgroup.com.au



**PLANNING APPLICATION**





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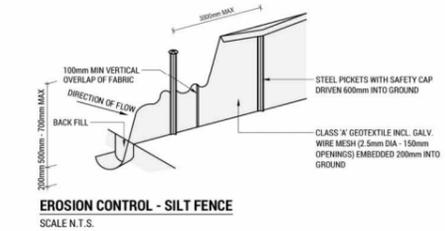
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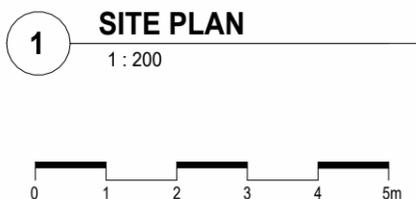
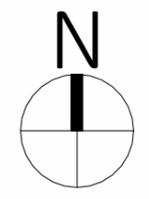
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DWG	Site Plan	DRAWN Author CHKD Checker	
			ACCREDITED DESIGNER CC 5618 U

Drawing Key	
	NEW WALLS REFER TO SCHEDULE FOR CONSTRUCTION
	EXISTING WALLS
	DEMOLITION WORKS
	EXISTING DOORS
	NEW DOORS
ABBREVIATIONS	
D.xx	DOOR NUMBER - REFER TO SCHEDULE
W.xx	WINDOW NUMBER - REFER TO SCHEDULE
Px	WALL PARTITION TYPE
J.xx	JOINERY TYPE
CF-x	CEILING TYPE
SP	SERVICE PANEL
CT-x	CARPET TILE TYPE
VP-x	VINYL PLANK
NSV-x	NON-SLIP VINYL
GENERAL NOTES	
<b>FIXTURES, FITTINGS &amp; EQUIPMENT</b> ALL FIXTURE, FITTINGS & EQUIPMENT SHOWN DASHED ARE SUPPLIED BY OWNER AND EXCLUDED FROM CONTRACT PRICE.	
ALL DIMENSIONS SHOWN TO BE CONFIRMED ON SITE. ALL ALUMINIUM FRAMES TO BE POWDER-COATED FINISH - COLOUR: MONUMENT. ALL THRESHOLD PLATES TO BE COUNTERSUNK.	
<b>INSULATION REQUIREMENTS:</b> INSTALLATION TO BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.	
<b>HARDWARE:</b> CROSS REFERENCE DOOR & WINDOW SCHEDULE WITH DOOR FURNITURE SCHEDULE BY OTHERS. ALL DOOR HANDLE HARDWARE TO BE MOUNTED TO 1000H UP TO CENTERLINE.	
<b>CEILING LININGS:</b> REFER TO REFLECTED CEILING PLAN FOR ALL CEILING TYPES & SPECIFICATIONS.	
<b>FLOOR FINISHES:</b> REFER TO FLOOR FINISHES PLAN FOR ALL FLOOR FINISH TYPES & SPECIFICATIONS.	
ARCHITECTURAL PLANS & DRAWINGS & SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH DRAWINGS BY OTHERS FOR CIVIL & STRUCTURAL WORKS SPECIFICATIONS.	

## DEMOLITION NOTES

GENERALLY DEMOLITION WORKS MUST BE CARRIED OUT IN ACCORDANCE WITH AS 2601-2001: DEMOLITION OF STRUCTURES & REGULATIONS 45, 46 & 47 OF THE BUILDING REGULATIONS (Tas.) 2016.

PROCEDURES & METHODS OF DEMOLITION MUST BE ADEQUATE TO PREVENT INJURY TO PERSONS & AVOID DAMAGE TO NEIGHBORING PROPERTIES.

ALL DEMOLISHED MATERIALS, RUBBISH & DEBRIS SHALL BE REMOVED FROM THE SITE ON COMPLETION OF DEMOLITION.

BEFORE REMOVING EXISTING WALLS SHOWN TO BE DEMOLISHED, BUILDER SHALL CONFIRM ON-SITE WHETHER THEY ARE LOADBEARING / BRACING OR NOT.

IF IT IS FOUND THAT THEY ARE LOADBEARING / BRACING, A STRUCTURAL ENGINEER MUST BE ENGAGED TO DETERMINE ANY BEAMS REQUIRED TO SUPPORT THESE EXISTING LOADS.

ALL REDUNDANT STORMWATER, SEWER AND WATER CONNECTIONS ASSOCIATED WITH THE DEMOLITION SHALL BE CUT & SEALED TO THE SATISFACTION OF COUNCIL'S SENIOR PLUMBING INSPECTOR.

THE REMOVAL OF EXISTING PLUMBING FIXTURES SHALL INCLUDE ALL ASSOCIATED WASTE & VENT PIPES, FLOOR DRAINS, WATER SERVICE PIPEWORK BRACKETS, SUPPORTS etc. & SEAL OFF EXISTING SERVICES. SEAL OFF & MAKE GOOD ALL FLOOR, WALL & ROOF PENETRATIONS.

GENERALLY, MAKE GOOD TO EXISTING FLOORS, WALLS & CEILINGS WHERE ALL DEMOLITION WORK OCCURS TO MATCH EXISTING AS & WHERE REQUIRED.

## ASBESTOS NOTES

### IMPORTANT:

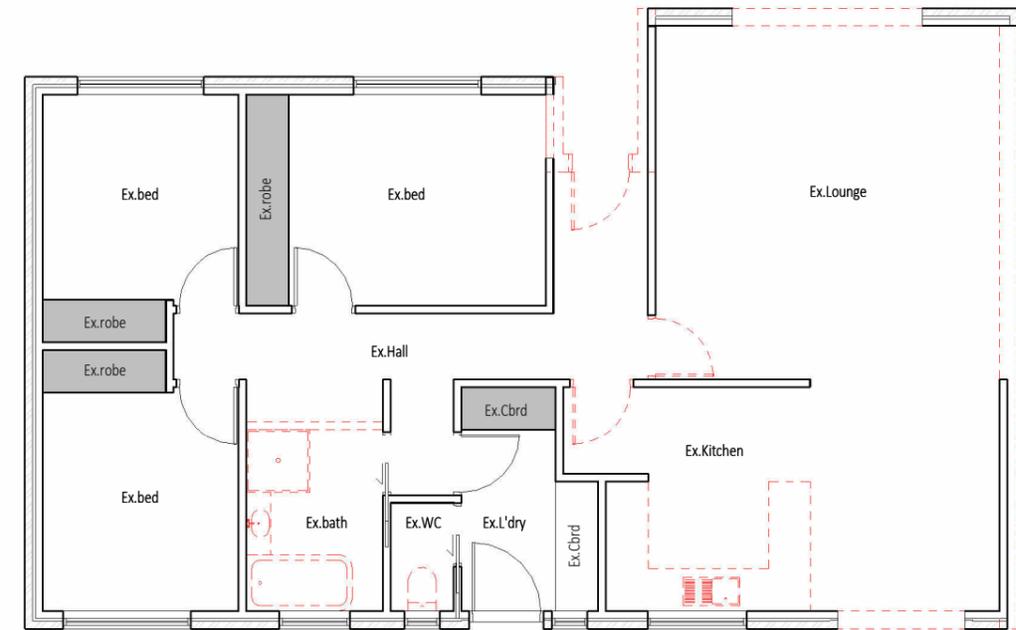
IDENTIFY ASBESTOS OR ASBESTOS CONTAINING MATERIALS (ACM'S) AT THE SITE.

IF IN PLACE, REFER TO THE ASBESTOS REGISTER FOR DETAILS.

IF NOT IN PLACE, A THOROUGH INSPECTION IS TO BE UNDERTAKEN BY A SUITABLY 'COMPETENT' PERSON & RECORDED IN DETAIL IN AN ASBESTOS REGISTER.

ASBESTOS REMOVAL SHALL BE CARRIED OUT BY QUALIFIED PERSONNEL ONLY IN ACCORDANCE WITH RELEVANT STANDARDS / CODES OF PRACTICE (PREFERABLY 'CLASS A' ASBESTOS REMOVAL LICENCE HOLDERS ONLY), WITH A THOROUGH 'ASBESTOS MANAGEMENT PLAN' IN PLACE.

FURTHERMORE, IF MORE THAN 10 sqm. OF ASBESTOS IS TO BE REMOVED A VISUAL CLEARANCE CERTIFICATE FORM No: AR4 IS TO BE COMPLETED & SUBMITTED TO THE BUILDING SURVEYOR. RECORDS OF CORRECT DISPOSAL ARE TO BE SUBMITTED TO THE BUILDING SURVEYOR FOR ANY ASBESTOS REMOVED.



**1** GROUND FLOOR - EXISTING  
1 : 100



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ACCREDITED DESIGNER		CC 5618 U

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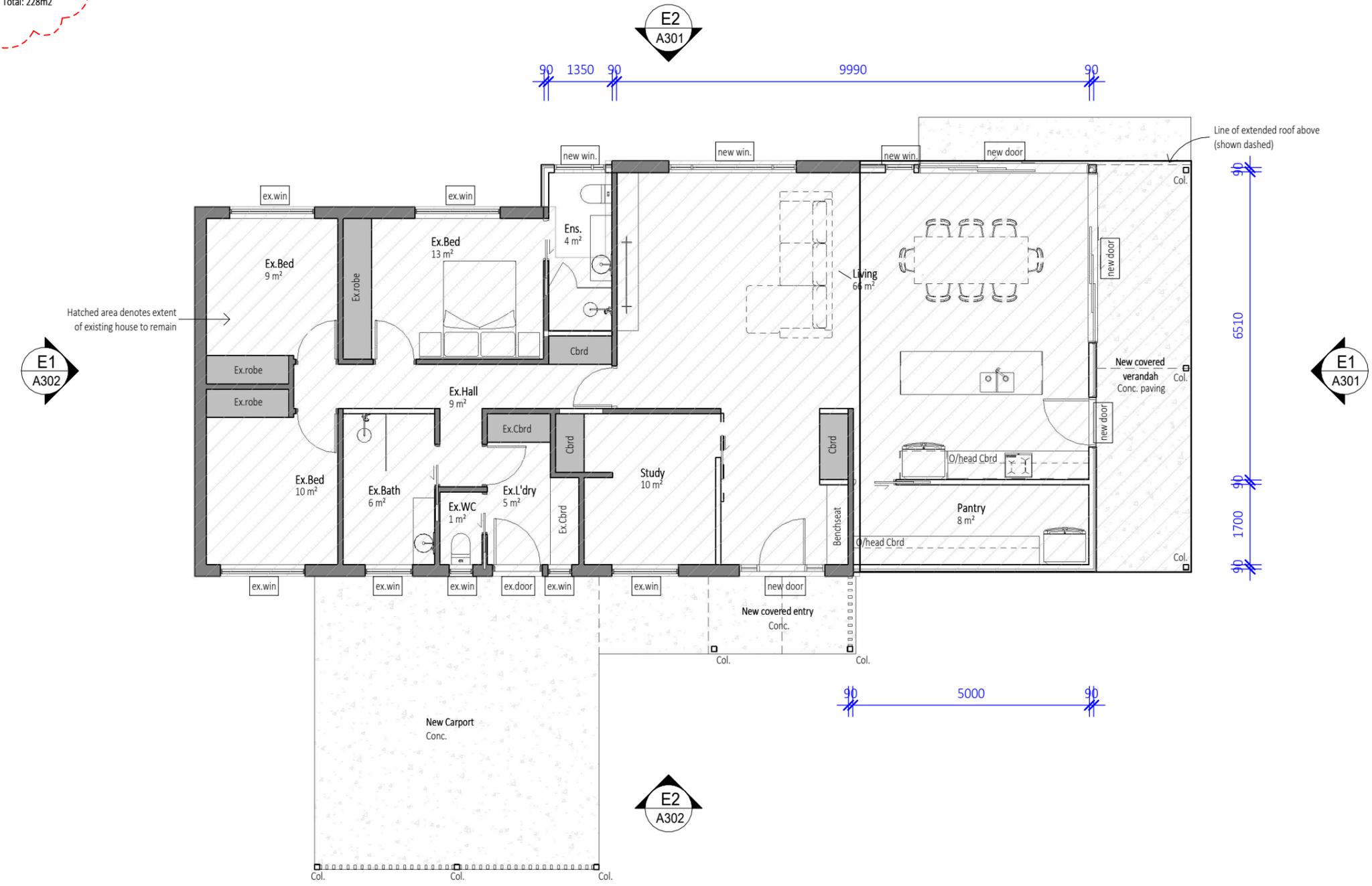
  

ABBREVIATIONS	
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Px	WALL PARTITION TYPE
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SP	SERVICE PANEL
CT-x	CARPET TILE TYPE
VP-x	VINYL PLANK
NSV-x	NON-SLIP VINYL

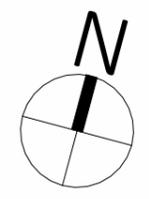
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ALL DIMENSIONS SHOWN TO BE CONFIRMED ON SITE. ALL ALUMINIUM FRAMES TO BE POWDER-COATED FINISH - COLOUR: MONUMENT. ALL THRESHOLD PLATES TO BE COUNTERSUNK.	
<b>INSULATION REQUIREMENTS:</b> INSTALLATION TO BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.	
<b>HARDWARE:</b> CROSS REFERENCE DOOR & WINDOW SCHEDULE WITH DOOR FURNITURE SCHEDULE BY OTHERS. ALL DOOR HANDLE HARDWARE TO BE MOUNTED TO 1000H UP TO CENTERLINE.	
<b>CEILING LININGS:</b> REFER TO REFLECTED CEILING PLAN FOR ALL CEILING TYPES & SPECIFICATIONS.	
<b>FLOOR FINISHES:</b> REFER TO FLOOR FINISHES PLAN FOR ALL FLOOR FINISH TYPES & SPECIFICATIONS.	
ARCHITECTURAL PLANS & DRAWINGS & SPECIFICATIONS ARE TO BE READ INCONJUNCTION WITH DRAWINGS BY OTHERS FOR CIVIL & STRUCTURAL WORKS SPECIFICATIONS.	

Total dwelling footprint (incl. paved areas):  
Existing dwelling: 116m<sup>2</sup>  
Proposed dwelling extension works: 112m<sup>2</sup>  
Total: 228m<sup>2</sup>



**1 GROUND FLOOR**  
1 : 100

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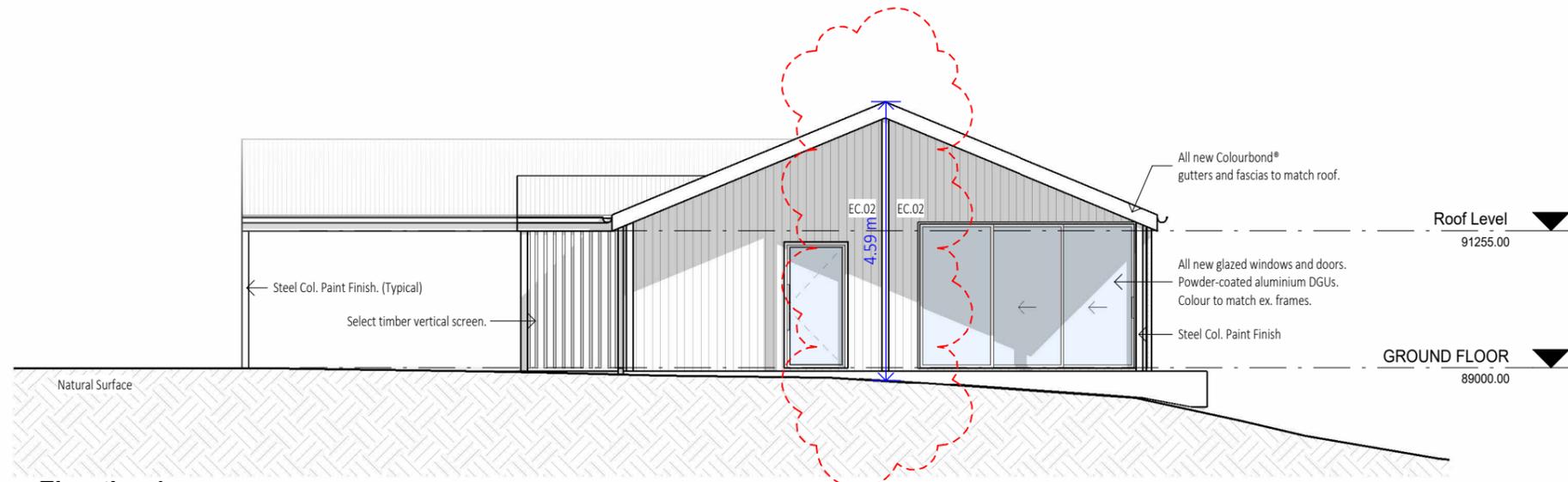


**PLANNING APPLICATION**

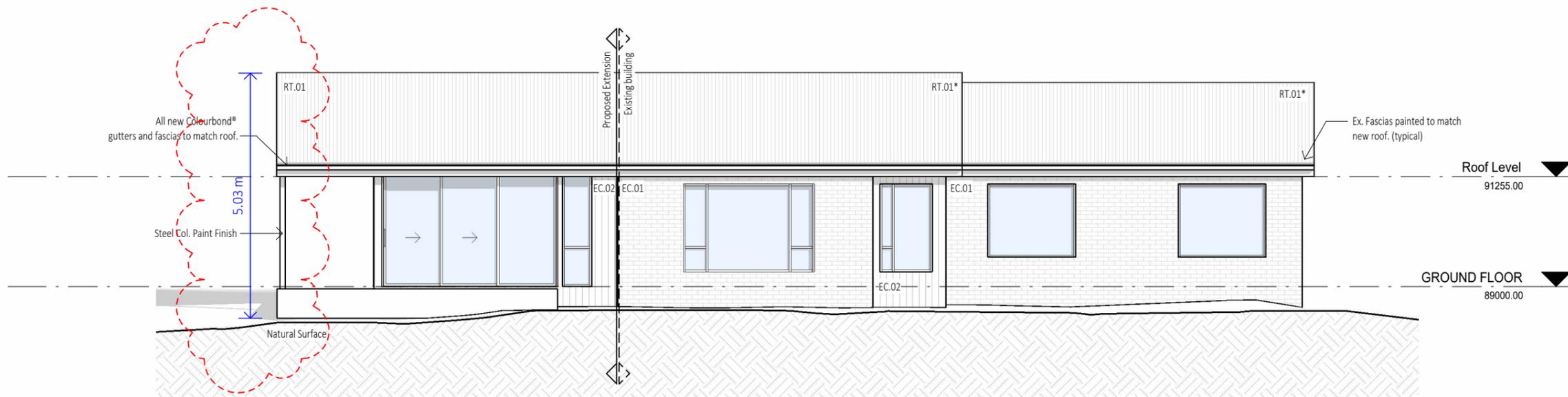


B	28/11/2025	Planning Application - Amendments
A	7/11/2025	Planning Application. - Client Review
REV	DATE	DESCRIPTION
PROJECT	Alterations + Additions	
ADDRESS	1167 Railton Rd, Kimberley	
CLIENT	A+B Murray	SCALE @ A3 1 : 100
DWG	Floor Plan - Prop.	DRAWN Author CHKD Checker
PROJECT #	-	
DWG #	<b>A201</b>	
ACCREDITED DESIGNER		CC 5618 U

CLADDING TYPE SCHEDULE	
<b>CLADDING TYPE 1 (EC.01):</b>	
TYPE:	Existing Brickwork
COLOUR:	Paint Finish. Colour: Dulux® Colourbond® Shale Grey, or similar to approval. TBC by owner.
<b>CLADDING TYPE 2 (EC.02):</b>	
TYPE:	Fibre-cement Sheet Cladding. Vertical Orientation
PRODUCT:	James Hardie™, Axon™ Panel. 133mm groove, Smooth. Exterior Paint Finish.
FIXING / CAVITY:	Install Over James Hardie™ Proprietary Cavity Batten To Manufacturer's Specification.
FLASHINGS / TRIMS:	Install All Flashings & Trims To Manufacturer's Specification. Colour To Match Cladding
COLOUR:	Paint Finish. Colour: Dulux® Colourbond® Monument, or similar to approval. TBC by owner.
<b>CLADDING TYPE 3 (RT.01):</b>	
TYPE:	New metal roof sheet. Profile to match existing. Refer to roof plan for further detail.
<b>GENERAL NOTES:</b>	
Refer To The Window & Door Schedules For Sizes And Colour Specification.	
All External Walls To Wrapped With Class 4 Vapour Permeable Wall Wrap To Manufacturer's Specification.	

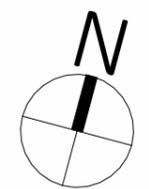


**1 Elevation 1**  
1 : 100



**2 Elevation 2**  
1 : 100

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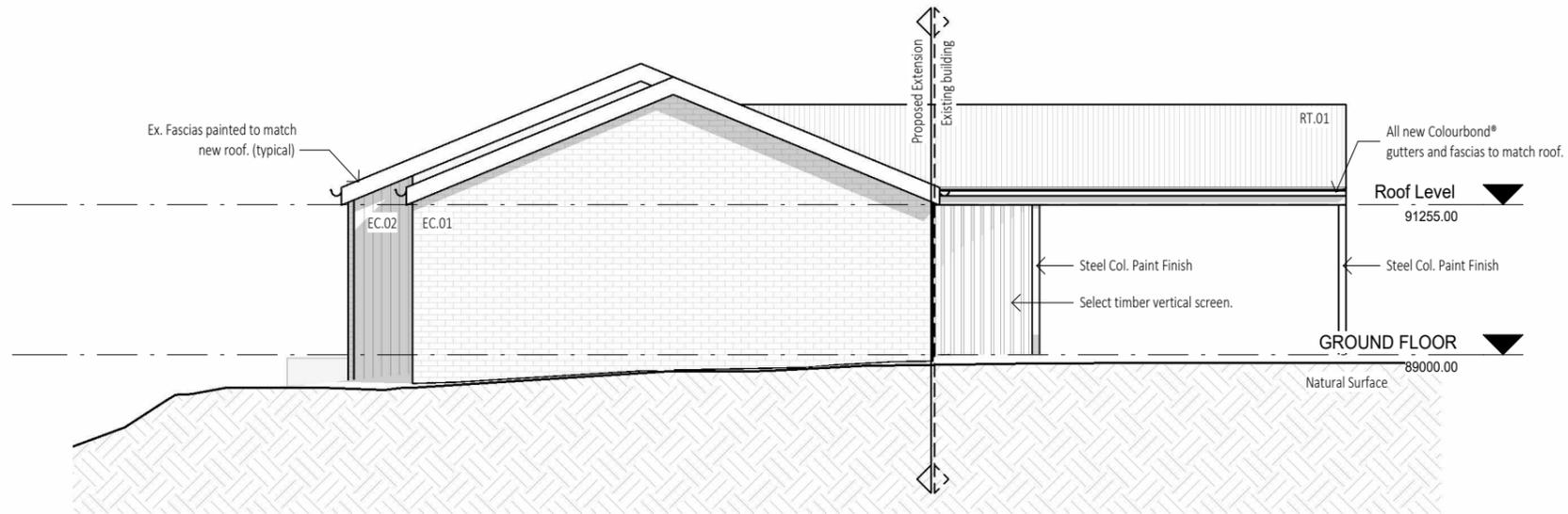


**PLANNING APPLICATION**

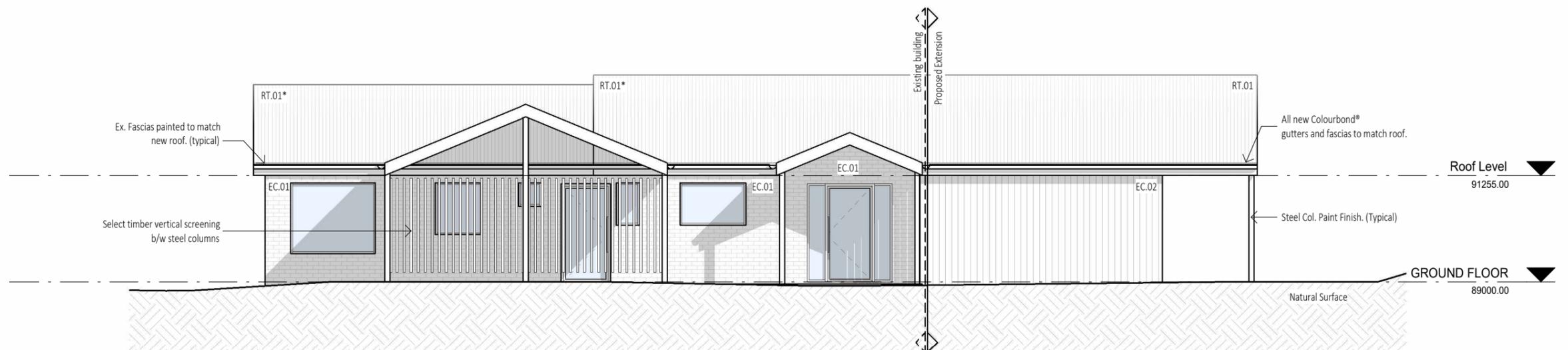


REV	DATE	DESCRIPTION	PROJECT #
B	28/11/2025	Planning Application - Amendments	
A	7/11/2025	Planning Application. - Client Review	
PROJECT Alterations + Additions			PROJECT #
ADDRESS 1167 Railton Rd, Kimberley			DWG #
CLIENT	A+B Murray	SCALE @ A3 1 : 100	<b>A301</b>
DWG	Elevations 1	DRAWN Author CHKD Checker	
			ACCREDITED DESIGNER CC 5618 U

CLADDING TYPE SCHEDULE	
<b>CLADDING TYPE 1 (EC.01):</b>	
TYPE:	Existing Brickwork
COLOUR:	Paint Finish. Colour: Dulux® Colourbond® Shale Grey, or similar to approval. TBC by owner.
<b>CLADDING TYPE 2 (EC.02):</b>	
TYPE:	Fibre-cement Sheet Cladding. Vertical Orientation
PRODUCT:	James Hardie™, Axon™ Panel. 133mm groove, Smooth. Exterior Paint Finish.
FIXING / CAVITY:	Install Over James Hardie™ Proprietary Cavity Batten To Manufacturer's Specification.
FLASHINGS / TRIMS:	Install All Flashings & Trims To Manufacturer's Specification. Colour To Match Cladding
COLOUR:	Paint Finish. Colour: Dulux® Colourbond® Monument, or similar to approval. TBC by owner.
<b>CLADDING TYPE 3 (RT.01):</b>	
TYPE:	New metal roof sheet. Profile to match existing. Refer to roof plan for further detail.
<b>GENERAL NOTES:</b>	
Refer To The Window & Door Schedules For Sizes And Colour Specification.	
All External Walls To Be Wrapped With Class 4 Vapour Permeable Wall Wrap To Manufacturer's Specification.	



**1 Elevation 3**  
1 : 100



**2 Elevation 4**  
1 : 100

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**PLANNING APPLICATION**



B	28/11/2025	Planning Application - Amendments	
A	7/11/2025	Planning Application. - Client Review	
REV	DATE	DESCRIPTION	
PROJECT	Alterations + Additions		PROJECT #
ADDRESS	1167 Railton Rd, Kimberley		DWG #
CLIENT	A+B Murray	SCALE @ A3 1 : 100	<b>A302</b>
DWG	Elevations 2	DRAWN Author CHKD Checker	
			ACCREDITED DESIGNER CC 5618 U



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**PLANNING  
APPLICATION**



REV	DATE	DESCRIPTION	PROJECT #
B	28/11/2025	Planning Application - Amendments	-
A	7/11/2025	Planning Application. - Client Review	-
PROJECT			PROJECT #
Alterations + Additions			-
ADDRESS			DWG #
1167 Railton Rd, Kimberley			R202
CLIENT	A+B Murray	SCALE @ A3	ACCREDITED DESIGNER
DWG	View 1	DRAWN CHKD	Author Checker CC 5618 U



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**PLANNING  
APPLICATION**



REV	DATE	DESCRIPTION	PROJECT #
B	28/11/2025	Planning Application - Amendments	-
A	7/11/2025	Planning Application. - Client Review	-
PROJECT			PROJECT #
Alterations + Additions			-
ADDRESS			DWG #
1167 Railton Rd, Kimberley			R203
CLIENT	A+B Murray	SCALE @ A3	ACCREDITED DESIGNER
DWG	View 2	DRAWN CHKD	Author Checker CC 5618 U



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**PLANNING  
APPLICATION**



REV	DATE	DESCRIPTION	PROJECT #
B	28/11/2025	Planning Application - Amendments	-
A	7/11/2025	Planning Application. - Client Review	-
PROJECT			PROJECT #
Alterations + Additions			-
ADDRESS			DWG #
1167 Railton Rd, Kimberley			<b>R204</b>
CLIENT	A+B Murray	SCALE @ A3	ACCREDITED DESIGNER
DWG	View 3	DRAWN CHKD	Author Checker CC 5618 U



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abn 33 625 566 618 sgroup.com.au



**PLANNING  
APPLICATION**



REV	DATE	DESCRIPTION	PROJECT #
B	28/11/2025	Planning Application - Amendments	
A	7/11/2025	Planning Application. - Client Review	
PROJECT Alterations + Additions			PROJECT #
ADDRESS 1167 Railton Rd, Kimberley			DWG #
CLIENT A+B Murray			<b>R205</b>
DWG	View 4	SCALE @ A3	ACCREDITED DESIGNER
		DRAWN CHKD	Author Checker CC 5618 U



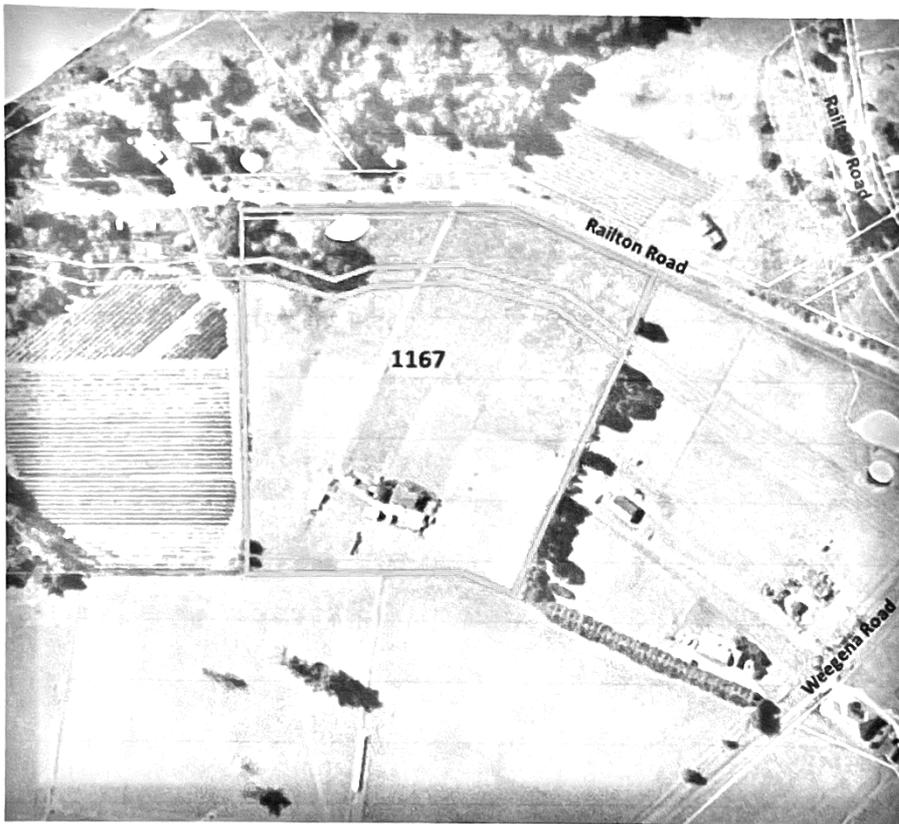
**Environmental Service and Design Pty Ltd**  
ABN 97 107 517 144 ACN 107 517 144

**Office**  
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Heybridge TAS 7316  
Phone: (03) 6431 2999  
[www.esandd.com.au](http://www.esandd.com.au)

**Postal**  
PO Box 651  
Burnie TAS 7320

## Bushfire Hazard Management Report

**1167 Railton Road KIMBERLEY**



**Applicant:**

**Murray Smith  
1167 Railton Road  
KIMBERLEY TAS 7304**

**Prepared by:**

**Bruce Harpley  
Environmental Service and Design Pty Ltd  
Version 1: 23 June 2022**

**Contact Phone Number:**

**0429 355 259**

**E- Mail:**

**[bharpley@esandd.com.au](mailto:bharpley@esandd.com.au)**

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## Scope of Assessors Accreditation

**Bruce Harpley (BFP-140)** is accredited by the Chief Officer of the Tasmania Fire Service under Section 60B of the *Fire Service Act 1979* for scope of works:

1. Certify a Bushfire Hazard Management Plan for the purposes of the *Building Act 2016*
2. Certify an Exemption from a Bushfire Hazard Management Plan for the purposes of the *Building Act 2016* or the *Land Use Planning and Approvals Act 1993*
- 3A. Certify a Bushfire Hazard Management Plan meets the Acceptable Solutions for Vulnerable Uses and Hazardous Uses for the purposes of the *Land Use Planning and Approvals Act 1993*.
- 3B. Certify a Bushfire Hazard Management Plan meets the Acceptable Solutions for small subdivisions for the purposes of the *Land Use Planning and Approvals Act 1993*.

Works performed by **Bruce Harpley (BFP-140)** that require Tasmania Fire Service endorsement:

- 3C. Certify a Bushfire Hazard Management Plan meets the Acceptable Solutions for large subdivisions for the purposes of the *Land Use Planning and Approvals Act 1993*.
4. Certify an Emergency Management Strategy or Bushfire Emergency Plan

### Disclaimer

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Bushfires in Tasmania are an unpredictable natural phenomenon and preparing a Bushfire Hazard Management Plan increases your chances of defending your property and assists in the protection the people whom frequent it. This Fire Hazard Management Plan in no way guarantees immunity from a bushfire in or around your property or the effects thereof.

Any measures implemented based on the advice from *Environmental Services and Design Pty Ltd*, is offered as potential methods of reducing your properties risk of fire damage only and is not to be relied upon as a total solution. It in no way guarantees that any or all buildings on site will survive the effects of a bushfire nor does it guarantee the safety and security of any individuals whom frequent the property.

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### Re-Certification – Ability to Re-Evaluate

If in the event that the land owner requests a re-assessment of this plan due to a reduced or eliminated bushfire risk in the future; an Accredited Bushfire Assessor can over-ride any or all of the requirements or provisions of this plan. This provision serves to formally expunge any Part 5 Agreement with a Council Planning Authority (if placed on a Title as a condition of Permit) or to reduce the construction standards required under *AS3959 Construction of Buildings in Bushfire Prone Areas* (as amended) if the bushfire risk is reduced to **BAL – LOW** or a threat no longer exists.

## Section 1

### 1. Introduction

Environmental Services and Design Pty Ltd has been engaged to complete a bushfire hazard management assessment for a retrospective approval of verandah and studio/shed construction.

The verandah is connected to the existing dwelling and the studio/shed is approximately 200mm from the southeast corner of the existing dwelling.

The purpose of this report is to document the assessment, bushfire attack level and associated hazard management areas under the Tasmanian Building Regulations, Directors Determination – Bushfire Hazard Areas and AS3959 to enable approval of the existing works.

## Section 2

### 2.1 Property Details

Property Address	1167 Railton Road Kimberley
Certificate of Title	89636/107 PID 7465855
Type of Application	Approval of existing dwelling extensions and studio/shed
Area	4.2ha
Zoning	Zone 11 – Rural living D
Surrounding Zoning	Zone 11 – rural living D
Planning Scheme	Tasmanian Planning Scheme – Meander Valley
Existing land Use	Residential and grazing
Proposed land use	Residential and grazing

### 2.2 Surrounding land use

Surrounding land uses are predominantly cropping and grazing with associated residential use.

### 2.3 Vegetation

The lot is surrounded by grassland within and external to the lot. The vineyard to the west has not been considered in the vegetation assessment as there is over 200m of grassland within the property boundary.

## 2.4 Topography

Slopes relative the proposed processing shed elevations and the vegetation area:

- Northeast – down 10<sup>o</sup>,
- Northwest – down 10<sup>o</sup>,
- Southeast – up slope, and
- Southwest – up slope.

## 2.5 Water Supply

Site inspection indicates there are no hydrants in the area. There are domestic water supply tanks to the west of the dwelling which are not suitable for a static water supply for bushfire purposes.

A static water supply for firefighting purposes that complies with Table 3B of the Directors Determination – Bushfire Hazard Areas is required.

Static water supply must be non-combustible with a minimum capacity of 10,000L and positioned greater than 6m from the dwelling and within 3m of the access hardstand.

Discussions on-site identified a position south of the existing dwelling above the cut for the existing hardstand area. The required storz fitting must be positioned facing the hardstand and will result in a height of no more than 600mm.



Static water supply location

This position is within a 90m hose lay of the furthest portion of the dwelling and extensions, more than 6m from the dwelling and within 3m of the existing access hardstand.

The incinerator, wood and other items must be removed to ensure full access to the static water supply tank.

Position of the static water supply tank will be shown on the hazard management plan. A copy of Table 3B is included in and forms part of the hazard management plan specification.

Static water supply for firefighting purposes must be installed and maintained and must comply with the requirements of Table 3B elements B to E of the Directors Determination – Bushfire Hazard Areas.

## 2.6 Access

Access to the property is from the Railton Road service road which is a Council maintained road. Site plan shows an existing cross-over and the existing gravel driveway.

Length of the driveway was measured at 200m from the cross-over to the existing hardstand. The width of the access was measured at 5.3m. It was noted that the existing gravel strips do not allow for the minimum 4m width.



Existing access

The hardstand area adjacent to the dwelling and static water supply was measured at 7.8m x 14m consisting of a small amount of gravel and bare earth.



Existing hardstand area

Access from the crossover to the hardstand must be upgraded to a minimum of 4m width for the entire length of the access. As discussed on site this can be achieved by laying additional gravel on both strips to widen both towards the internal fences.

The hardstand area must be upgraded to ensure an all-weather access is available. As discussed on site this can be achieved by placing gravel from the end of the access road to the concrete parking area and from the edge adjacent to the house and south to the existing sheds.

Access has the capacity to comply with the requirements of Table 2 elements B and C of the Directors Determination – Bushfire Hazard Areas.

### 3.0 Site Assessment

A site assessment was carried out on 21 June 2022 and desktop assessment was conducted on 23 June 2022. Site plan, prepared by Wood Drafting and Design Services drawing MS-1867 dated 26 May 2022 is at attachment A. Relevant site photos are included below.



North – downslope grassland



Southeast - grassland



Southwest - grassland



West – grassland

### 3.1 Fire Danger Index

The fire danger index as per Table 2.1 AS3959 for Tasmania is 50.

### 3.2 BAL Assessment

Vegetation classification (refer Table 2.3)	North	South	East	West
	Northeast <input checked="" type="checkbox"/>	Southwest <input checked="" type="checkbox"/>	Southeast <input checked="" type="checkbox"/>	Northwest <input checked="" type="checkbox"/>
Group A Forest				
Group B Woodland				
Group C Scrub land				
Group D Scrub				
Group E Mallee/Mulga				
Group F Rainforest				
Group G Grassland	<b>X (within boundary)</b>	<b>X</b>	<b>X</b>	<b>X</b>
Low threat				
Exclusions	Insert relevant exclusion paragraph descriptor from clause 2.2.3.2			
Prevailing winds	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Distance to classified vegetation	Show distance in metres			
	22m	14m	14m	22m
Effective Slope	Upslope			
Slope under the classified vegetation	Upslope/0° <input type="checkbox"/>	Upslope/0° <input checked="" type="checkbox"/>	Upslope/0° <input checked="" type="checkbox"/>	Upslope/0° <input type="checkbox"/>
	North <input type="checkbox"/>	South <input type="checkbox"/>	East <input type="checkbox"/>	West <input type="checkbox"/>
	Northeast <input checked="" type="checkbox"/>	Southwest <input checked="" type="checkbox"/>	Southeast <input checked="" type="checkbox"/>	Northwest <input checked="" type="checkbox"/>
	Downslope			
	>0 to 5 <input type="checkbox"/>	>0 to 5 <input type="checkbox"/>	>0 to 5 <input type="checkbox"/>	>0 to 5 <input type="checkbox"/>
	>5 to 10 <input type="checkbox"/>	>5 to 10 <input type="checkbox"/>	>5 to 10 <input type="checkbox"/>	>5 to 10 <input type="checkbox"/>
	>10 to 15 <input checked="" type="checkbox"/>	>10 to 15 <input type="checkbox"/>	>10 to 15 <input type="checkbox"/>	>10 to 15 <input checked="" type="checkbox"/>
	>15 to 20 <input type="checkbox"/>	>15 to 20 <input type="checkbox"/>	>15 to 20 <input type="checkbox"/>	>15 to 20 <input type="checkbox"/>
BAL Value for each side of site	<b>12.5</b>	<b>12.5</b>	<b>12.5</b>	<b>12.5</b>

Note: Overall BAL assessment based on BAL value of building elevation with the highest BAL.

### 3.3 Risk Assessment

The bushfire risk assessment at section 3.2 assesses the overall risk as BAL 12.5. A hazard management plan is required.

#### RISK MITIGATION

- BAL 12.5 hazard management areas to all elevations must be prepared and maintained,
- Access must be upgraded to ensure gravel strips provide a minimum 4m width and all-weather access to comply with requirements of Table 2 element B of Directors Determination – Bushfire Hazard Areas,
- Hardstand area adjacent to the dwelling and parking area must be upgraded to all-weather gravel construction to comply with requirements of Table 2 element B of Directors Determination – Bushfire Hazard Areas,
- Static water supply for firefighting purposes must be installed and must comply with the requirements of Table 3B elements B to E of the Directors Determination – Bushfire Hazard Areas,
- Location of the static water supply is shown on the hazard management plan drawing number 8432-1.

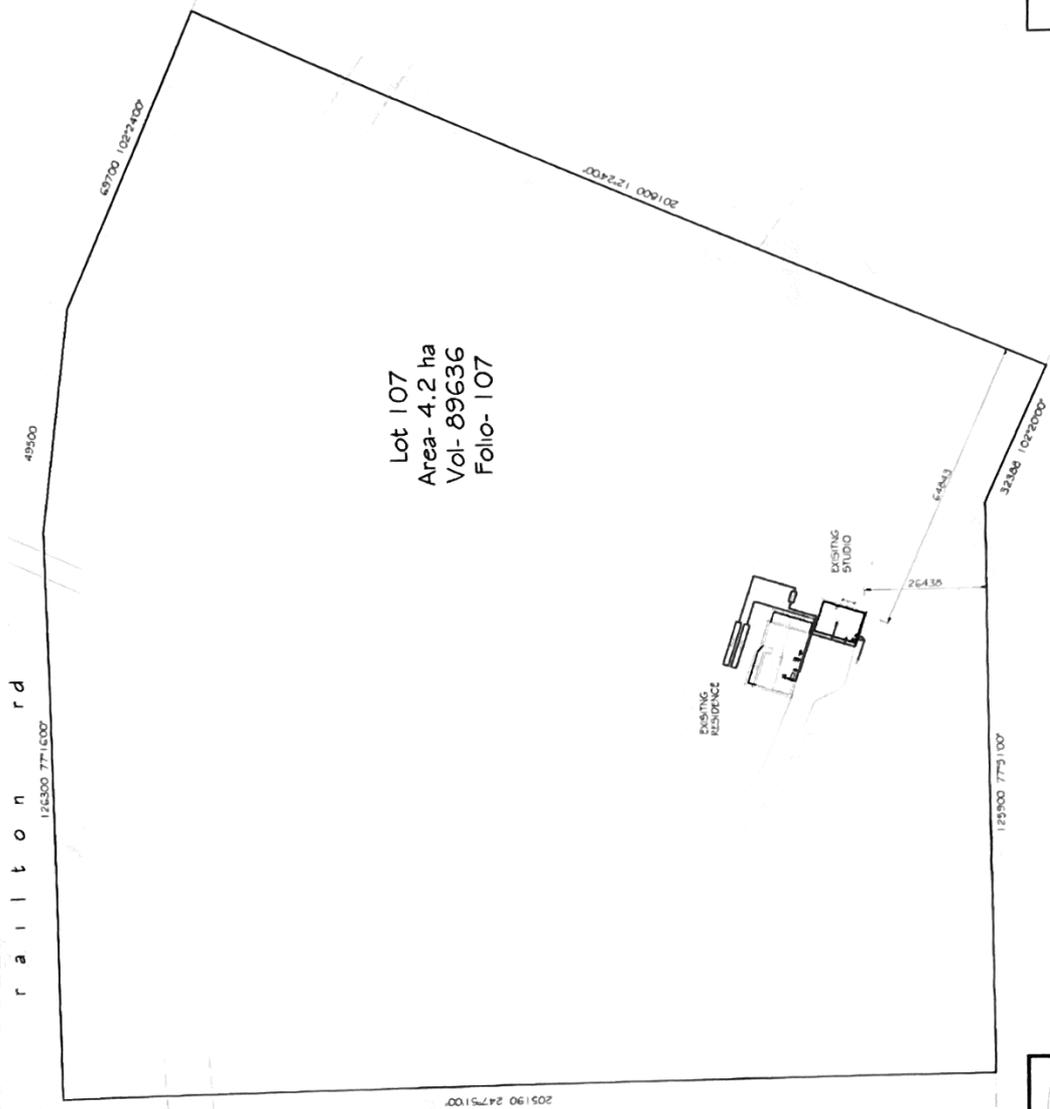
The proposal has the capability to meet the requirements of the Directors Determination – Bushfire Hazard Areas and AS3959 for BAL 12.5.

### 3.4 Conclusion

A bushfire hazard management plan is required and is a separate document.

This hazard assessment report must be read in conjunction with the bushfire hazard management plan.

The requirements of the hazard management plan must be implemented prior to issue of the certificate of occupancy.



Lot 107  
 Area- 4.2 ha  
 Vol- 89636  
 Folio- 107

r a i l t o n  
 rd

S I T E  
 P L A N

WARNING SIGNS AND BARRIERS ARE  
 TO BE ERRECTED TO PREVENT ENTRY  
 OF UNAUTHORISED PERSONS AND  
 WARN OF DANGERS ON SITE

		PROJECT - NEW SALE M. SMITH 1167 RAILTON RD KIMBERLEY TAS 7306	SHEET <b>01</b> OF 01
WOOD DRAFTING & DESIGN SERVICES <small>41 COLLETT ST, LAKE CHARLES, TAS 7160          PHONE: (08) 633 3114          FAX: (08) 633 3115          EMAIL: INFO@WOODD.COM.AU</small>		SCALE - DATE 1:1000 26/03/22	DRAW NUMBER <b>MS-1867</b>

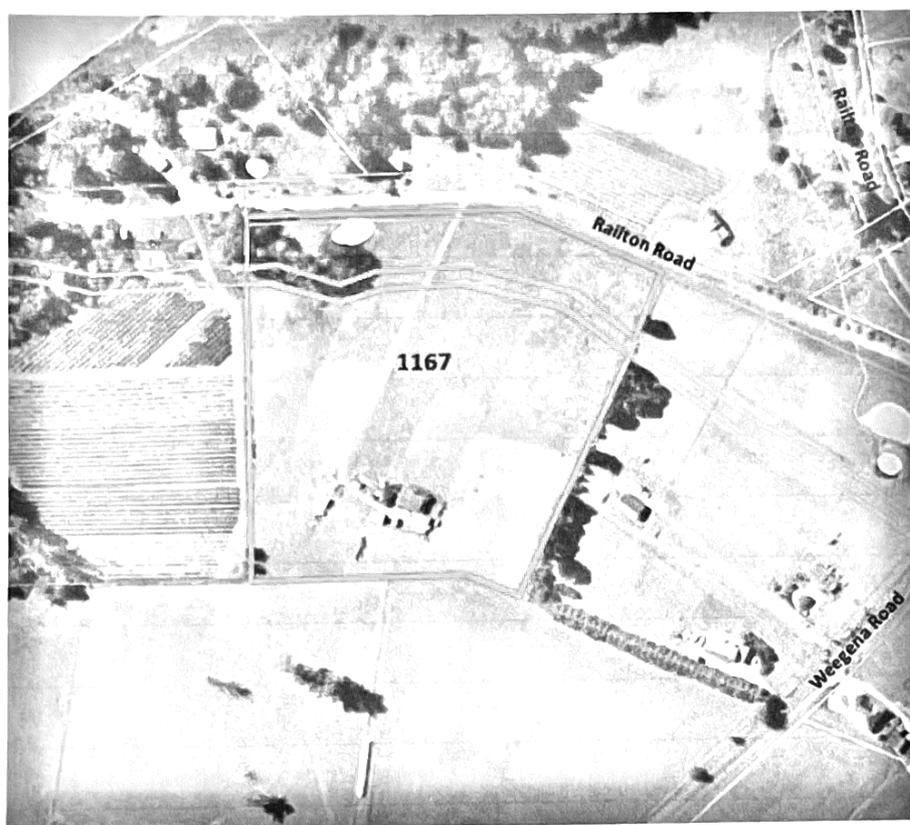
	<b>MEMBER</b>
	<b>A3</b>

# **Bushfire Hazard Management Plan**

## **Hazard management areas and specification**

**1167 Railton Road KIMBERLEY**

CT 89636/107 (PID 7465855)



**Assessor:** Bruce Harpley BFP-140

**Scope of works:** 1, 2, 3a and 3b

**Documents:** Site Plan Wood Drafting and Design Services 26 May 2022 and  
Bushfire Assessment Report – 23 June 2022

**Regulatory Requirement:** Tasmanian Planning Scheme – Meander Valley  
Clause 11 – Rural Living  
Directors Determination – Bushfire Hazard Areas

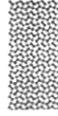
**Date:** 27 May 2022

**Associated Bushfire Hazard Report:** 23 June 2022

Lot 107  
 Area- 4.2 ha  
 Vol- 89636  
 Folio- 107



Existing strips of gravel to be widened  
 to ensure minimum 4m width from cross-over  
 to the hardstand



Hardstand area to be upgraded with gravel

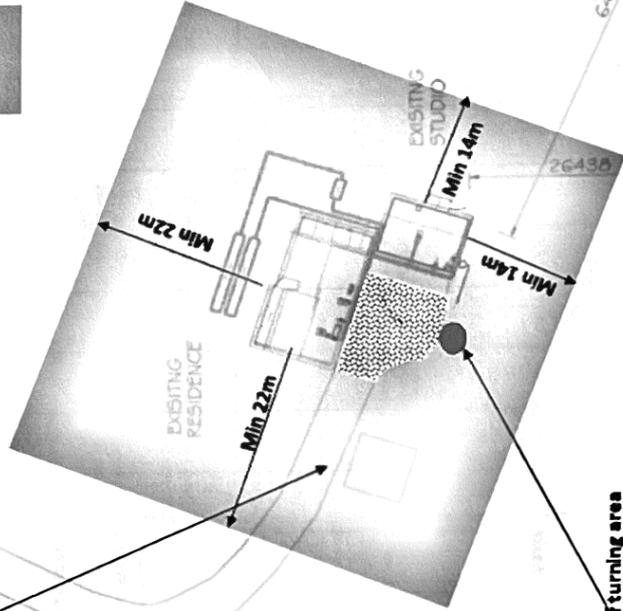


Static water supply tank location



Hazard management area

BAL 12.5



Non-combustible 10,000L tank upslope of turning area

**1167 Raliton Road KIMBERLEY**

**Title Reference: CT 89636/107 PID 7465855**

<p><b>1.1 Introduction</b></p> <p>The Bushfire Attack Level (BAL) assessment is for the existing dwelling and retrospective studio and deck at 1167 Raliton road KIMBERLEY.</p> <p>The development will have a Hazard Management Area (HMA) surrounding the features identified on Drawing No: 8432-1.</p> <p>Vegetation greater than 1Ha within 100m (50m grassland) of the proposal site was assessed against the Directors Determination – Bushfire hazard Areas and AS3959 was used to assign a BAL level to the development utilising a range of data specific to the subject site.</p> <p><b>1.2 Water Supply</b></p> <p>No hydrants located in the area.</p> <p>Static water supply must be installed and must comply with the requirements of Table 3B of the Directors Determination – Bushfire hazard Areas.</p> <p>Firefighting water tank must be installed a minimum 6m from the shed and within 3m of the upgraded hardstand. Location for the water tank is shown on the hazard management plan drawing number 8316-1.</p> <p>A copy of Table 3B is included in and forms part of this specification.</p> <p><b>1.3 Access</b></p> <p>Road access is via the existing cross-over from Raliton Road access which is a Council maintained roadway.</p> <p>Access from the crossover to the existing dwelling and the hardstand area must be upgraded to comply with the requirements of Table 2 element B and C of the Directors Determination – Bushfire Hazard Areas.</p> <p>Access must be upgraded to a minimum 4m wide for the entire length of the access from Myrtle Grove Road to the shed. This can be achieved by the addition of sufficient gravel on both strips of existing access to ensure a minimum 4m width and all-weather construction.</p> <p>The hardstand adjacent to the dwelling and sheds must be upgraded by the addition of gravel to ensure all-weather construction.</p> <p>A copy of Table 2 is included in and forms part of this specification.</p>	<p><b>1.4 Landscaping</b></p> <p>It is the responsibility of the landowner to maintain the landscaping in accordance with the Bushfire Hazard Management Plan.</p> <p>All paths and pedestrian areas within 1m of any habitable structure on the subject site must be constructed of non-combustible materials (i.e. stone, paving, concrete, pebbles etc.).</p> <p>Vegetation along pathways should be of a low flammability type and in accordance with the Tasmania Fire Services' brochure - Fire Retardant garden plants. Plants that produce a lot of debris or fine fuels should be avoided. Trees and shrubs that retain dead material in branches, or which shed long strips of bark, or rough fibrous bark, or large quantities of leaves should be avoided.</p> <p>Vines on walls or tree canopies over roofed areas should be avoided. Timber, woodchip and flammable mulches cannot be used and brush and timber fencing should be avoided.</p> <p><b>1.5 Hazard Management Area (HMA)</b></p> <p>A bushfire Hazard Management Area (HMA) will be developed within and/or up to the property boundaries for the proposal to achieve BAL 12.5. Refer to the Drawing No 8432-1.</p> <p>The specified width of the HMA is to enable the proposed shed conversion to comply, in the position shown on the site plan, as required by the Directors Determination and AS3959.</p> <p>The width of the hazard management areas from the respective elevations are:</p> <p>North-east – minimum 22m,          South-west – minimum 14m,          South-east – minimum 14m,          South-west – minimum 22m</p> <p>The hazard management area is to be regularly maintained and managed and in particular between the months of September and March in each calendar year. Landscaping in the HMA is to be minimised, grass maintained to a maximum height of 100mm.</p>
	<p>Pathways and landscaping material surrounding any habitable structures must be of non-combustible elements for a minimum of 1m from any external walls or decks.</p> <p>This BHMP is achieved by:</p> <ul style="list-style-type: none"> <li>• Pathways located on the subject land to be of non-combustible materials</li> <li>• Total shrub cover is to be kept to a maximum of 20% of the available area.</li> <li>• Clear space from any habitable structures of at least 4 times the mature height of any shrubs planted</li> <li>• Shrubs must not be planted in cluster forms or clumps</li> <li>• Remove ground level fuels and trim the bottom of tree canopies to at least a height of 2m off ground level</li> <li>• Minimise ground level fuels wherever possible.</li> </ul> <p><b>1.6 Maintenance prior to the onset of each fire season</b></p> <ul style="list-style-type: none"> <li>• Gutting on all habitable structures must be inspected and cleared of debris annually</li> <li>• Ensure all hoses and brass connections are in good working order</li> <li>• All valley and wall/roof junctions are inspected and debris removed</li> <li>• Roof sheeting inspected for damages or dislodged roofing materials (replace if necessary)</li> <li>• Painted surfaces are in good condition and decaying timbers given particular attention to repair</li> <li>• Screens/shutters on windows and doors are in good working condition and fit well without breaks, holes or tears</li> <li>• Door mats to be of non-combustible materials</li> <li>• Woodpiles, garden sheds and other combustible materials to be kept well away from habitable structures.</li> </ul>

Table 2 – Requirements for Property Access

Column 1		Column 2
Element	Requirement	
<b>A.</b> Property access length is less than 30 metres, or access is not required for a fire appliance to access a firefighting water point.	There are no specified design and construction requirements.	
<b>B.</b> Property access length is 30 metres or greater, or access is required for a fire appliance to access a firefighting water point.	<p>The following design and construction requirements apply to property access:</p> <ul style="list-style-type: none"> <li>(a) all-weather construction;</li> <li>(b) load capacity of at least 20 tonnes, including for bridges and culverts;</li> <li>(c) minimum carriageway width of 4 metres;</li> <li>(d) minimum vertical clearance of 4 metres;</li> <li>(e) minimum horizontal clearance of 0.5 metres from the edge of the carriageway;</li> <li>(f) cross falls of less than 3 degrees (1:20 or 5%);</li> <li>(g) dips less than 7 degrees (1:8 or 12.5%) entry and exit angle;</li> <li>(h) curves with a minimum inner radius of 10 metres;</li> <li>(i) maximum gradient of 15 degrees (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5.5 or 18%) for unsealed roads; and</li> <li>(j) terminate with a turning area for fire appliances provided by one of the following: <ul style="list-style-type: none"> <li>(i) a turning circle with a minimum outer radius of 10 metres;</li> <li>(ii) a property access encircling the building; or</li> <li>(iii) a hammerhead “T” or “Y” turning head 4 metres wide and 8 metres long.</li> </ul> </li> </ul>	
<b>C.</b> Property access length is 200 metres or greater.	<p>The following design and construction requirements apply to property access:</p> <ul style="list-style-type: none"> <li>(a) complies with requirements for B above; and</li> <li>(b) passing bays of 2 metres additional carriageway width and 20 metres length provided every 200 metres.</li> </ul>	

**Column 1**

**Column 2**

**D.** Property access length is greater than 30 metres, and access is provided to 3 or more properties.

The following design and construction requirements apply to property access:

- (a) complies with requirements for B above; and
- (b) passing bays of 2 metres additional carriageway width and 20 metres length must be provided every 100 metres.

Table 3B – Requirements for Static Water Supply

Column 1 Element	Column 2 Requirement
<p><b>A.</b> Distance between building area to be protected and water supply</p>	<p>The following requirements apply:</p> <p>(a) the building area to be protected must be located within 90 metres of the firefighting water point of a static water supply; and</p> <p>(b) the distance must be measured as a hose lay, between the firefighting water point and the furthest part of the building area.</p>
<p><b>B.</b> Static water supplies</p>	<p>A static water supply:</p> <p>(a) may have a remotely located offtake connected to the static water supply;</p> <p>(b) may be a supply for combined use (firefighting and other uses) but the specified minimum quantity of firefighting water must be available at all times;</p> <p>(c) must be a minimum of 10,000 litres per building area to be protected. This volume of water must not be used for any other purpose including firefighting sprinkler or spray systems;</p> <p>(d) must be metal, concrete or lagged by non-combustible materials if above ground; and</p> <p>(e) if a tank can be located so it is shielded in all directions in compliance with Section 3.5 of AS 3959, the tank may be constructed of any material provided that the lowest 400 mm of the tank exterior is protected by:</p> <ul style="list-style-type: none"> <li>(i) metal;</li> <li>(ii) non-combustible material; or</li> <li>(iii) fibre-cement a minimum of 6 mm thickness.</li> </ul>
<p><b>C.</b> Fittings, pipework and accessories (including stands and tank supports)</p>	<p>Fittings and pipework associated with a firefighting water point for a static water supply must:</p> <ul style="list-style-type: none"> <li>(a) have a minimum nominal internal diameter of 50mm;</li> <li>(b) be fitted with a valve with a minimum nominal internal diameter of 50mm;</li> <li>(c) be metal or lagged by non-combustible materials if above ground;</li> <li>(d) if buried, have a minimum depth of 300mm;</li> </ul>

	<p>(e) provide a DIN or NEN standard forged Storz 65 mm coupling fitted with a suction washer for connection to firefighting equipment;</p> <p>(f) ensure the coupling is accessible and available for connection at all times;</p> <p>(g) ensure the coupling is fitted with a blank cap and securing chain (minimum 220mm length); and</p> <p>(h) ensure underground tanks have either an opening at the top of not less than 250mm diameter or a coupling compliant with this Table; and</p> <p>(i) where a remote offtake is installed, ensure the offtake is in a position that is:</p> <ul style="list-style-type: none"> <li>(i) visible;</li> <li>(ii) accessible to allow connection by firefighting equipment;</li> <li>(iii) at a working height of 450mm – 600mm above ground level; and</li> <li>(iv) protected from possible damage, including damage by vehicles.</li> </ul>
<p><b>D.</b> Signage for static water connections</p>	<p>The firefighting water point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must:</p> <ul style="list-style-type: none"> <li>(a) comply with water tank signage requirements within AS 2304; or</li> <li>(b) comply with the TFS Water Supply Signage Guideline.</li> </ul>
<p><b>E.</b> Hardstand</p>	<p>A hardstand area for fire appliances must be provided:</p> <ul style="list-style-type: none"> <li>(a) no more than three metres from the firefighting water point, measured as a hose lay (including the minimum water level in dams, swimming pools and the like);</li> <li>(b) no closer than six metres from the building area to be protected;</li> <li>(c) a minimum width of three metres constructed to the same standard as the carriageway; and</li> <li>(d) connected to the property access by a carriageway equivalent to the standard of the property access.</li> </ul>

TAS GROW



Meander Valley Council  
Working Together

PC\26\0064  
19008

25 November 2025

S Group  
Total Home Solutions  
PO Box 1271  
LAUNCESTON TAS 7250

Dear Damon

**Planning Review - PC\26\0064 - 1167 Railton Road KIMBERLEY TAS 7304 - Extension & Addition to Single dwelling**

Thank you for your application for a Planning Review. The results of your review follow this letter. In this instance **you will require a Planning Permit.**

Please read your review carefully as it may identify additional information requirements or advice regarding your proposal. A Planning Application Form can be found at [www.meander.tas.gov.au](http://www.meander.tas.gov.au). Please note that the fee from this review will be deducted from the usual planning application fees.

It is recommended that you contact a building surveyor to determine if building approvals are required and Council's plumbing surveyor to determine if plumbing approvals are required for your proposal.

If you have any queries regarding this matter, please contact Council on 6393 5320 or via email at [planning@mvc.tas.gov.au](mailto:planning@mvc.tas.gov.au).

Yours faithfully

Jana Rockliff  
**Town Planner**



## LAND USE PLANNING REVIEW – PROPOSED BUILDING, DEMOLITION, PLUMBING WORK

*Land Use Planning and Approvals Act 1993 - Tasmanian Planning Scheme – Meander Valley*

Planning Review No:	PC\26\0064
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Date of Issue:	21/11/2025
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### Applicant:

Name: S Group (Damon Marshall)

Postal address: PO Box 1271  
LAUNCESTON TAS 7250

### Property Details:

Address: 1167 Railton Road  
KIMBERLEY TAS 7304

Certificate of Title: 89636/107

### Proposed Work:

This review applies for the following building, demolition or plumbing work

Indicate by ✓ box  Building  Demolition  Plumbing

Description of the proposed work to which the review applies: Extension & Addition to Single dwelling

Documents relied upon for issue of this review:

Project Number	Drawing Numbers	Date & Version	Designer
J009412	A101 – A104, A301- A302, R202 - R205	7/11/2025, Rev A	S. Group

***Copies of these documents are attached and endorsed to be documents forming part of this review***

**Compliance Status:**

The Meander Valley Council advises it is of the opinion that the use or development for the proposed building, demolition or plumbing work described on this planning review –

- a) is work that would require a discretionary permit in accordance with clause 6.8 of the *Tasmanian Planning Scheme - Meander Valley* at the date of this review but is work for which there is no current permit;

**Comments:**

The application for a n extension to a single dwelling at 1167 Railton Road, Kimberley has been assessed against the Tasmanian Planning Scheme – Meander Valley. It has been determined that the proposal in its present form does not comply with the following:

Clause C11.4.1 Site coverage

The acceptable solution A1 requires a site coverage of not more than 400m<sup>2</sup>. Site coverage is determined by measuring all roofed areas on site including sheds and water tanks. A rough measurement of existing roofed areas and the proposed extension resulted in a site coverage of more than 400m<sup>2</sup>.

Please update your plans for submission with a planning application to show the following:

- building height
- roofed area of all buildings and structures

**Any other land use planning process requirements:**

Please consult with a Building Surveyor regarding the need for building approval under the *Building Act 2016*.

Please note that an Onsite Wastewater Management Report will be required to be submitted with the application for a Plumbing Permit.

**Foreseeable change in a land use requirement:**

There are no known foreseeable changes in the land use requirements at this current time which would change this determination.

Town Planner: 

Name:	Jana Rockliff	Signed:		Date:	21/11/2025
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**Notes:**

A planning review indicates the Council's opinion on the date it is issued and its currency may be limited. Land use planning laws and the requirements of a planning scheme are subject to change.

The Meander Valley Council will not advise the holder of a planning review of any subsequent amendment to an applicable planning process or of any amendment or replacement of the *Tasmanian Planning Scheme - Meander Valley*.

It is advisable to check whether there have been any changes to in the rules which apply for use or development of land if the planning review is more than a few weeks old.

This planning review covers only those plans and designs submitted with the application for Land Use Planning Review and does not extend to any amendments or changes made after the date on which it is issued.

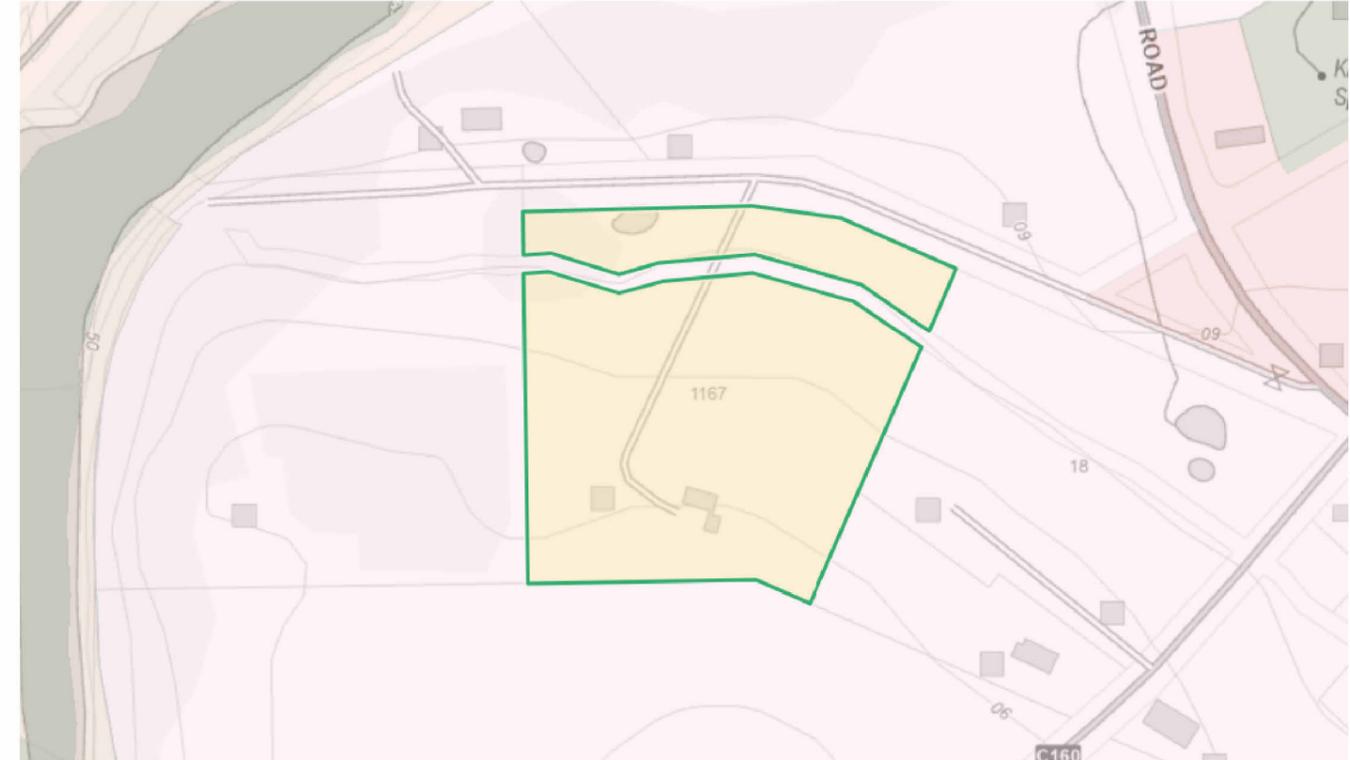
**This document is not a planning permit. Separate application must be made if a planning permit is required.**

# Alterations + Additions

## 1167 Railton Rd, Kimberley

### GENERAL INFORMATION:

Accredited Architect:	Sam Haberle
Accreditation Number:	CC5618U
Certificate of Title:	89636/107
PID:	7465855
Soil Classification:	TBC
Wind Classification:	TBC
Alpine Area:	N/A
Bushfire-prone Area BAL rating:	TBC
Corrosive Environment:	N/A
Site Area:	38976m <sup>2</sup>
Existing Upper level Building Area:	116 m <sup>2</sup> (excl. Sheds)
Proposed Building Area:	61 m <sup>2</sup>
Planning Zone:	Rural Living



### Property Information

#### 1167 RAILTON RD KIMBERLEY TAS 7304

##### Property Type

Primary

##### Property Identification Number (PID)

7465855

##### Certificate of Title Reference (Volume/Folio)

89636/107

##### Total Area

38976 sqm

##### Locality

Kimberley

##### Municipality

Meander Valley

##### Planning Scheme

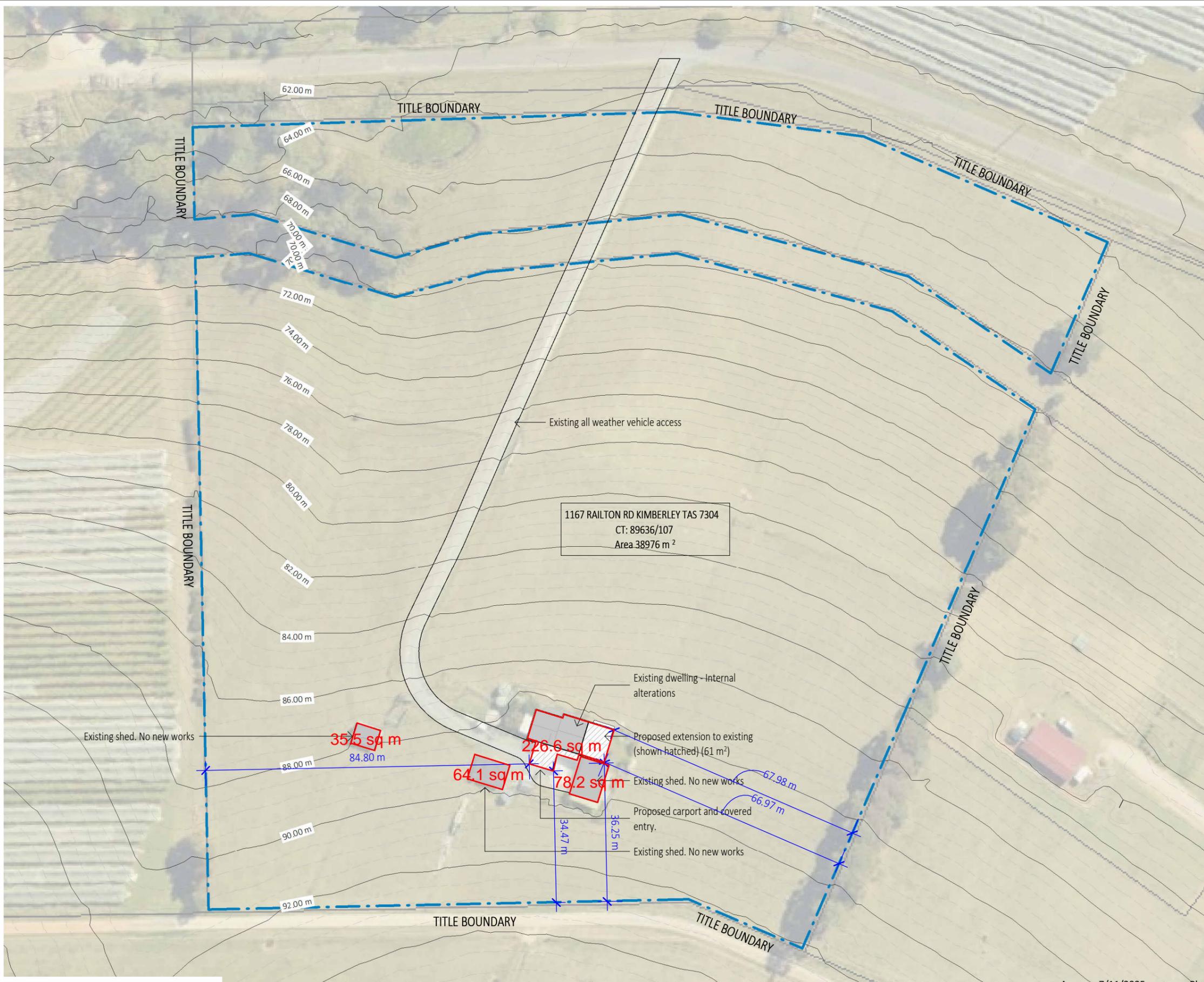
Tasmanian Planning Scheme

##### Planning Zones

Rural Living

##### Planning Code Overlay

Low landslip hazard band, Bushfire-prone areas

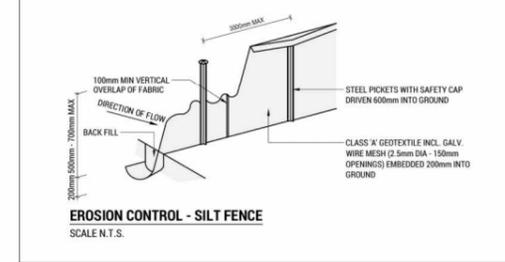


**SITE PLAN NOTES:**  
 CONTOURS & HEIGHTS SHOWN ON PLANS ARE DERIVED FROM A DETAILED FEATURES SURVEY COMPLETED BY OTHERS.  
 SITE LEVELS ARE TO BE CONFIRMED ONSITE PRIOR TO THE COMMENCEMENT OF WORKS.  
 SITE SERVICES ARE APPROXIMATES & SHALL BE CONFIRMED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.  
 CONTRACTOR TO CONFIRM SERVICES WITH DIAL-BEFORE-YOU-DIG.

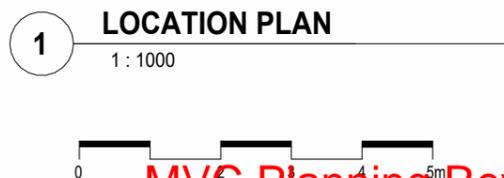
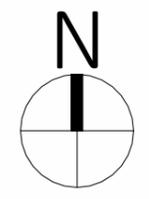
AREA SCHEDULE:	
SITE AREA	38976 m <sup>2</sup>
EXISTING DWELLING (Excl. SHEDS)	116m <sup>2</sup>
PROPOSED DWELLING (Excl. SHEDS)	61m <sup>2</sup>

- SOIL & WATER MANAGEMENT NOTES**
- ALL RUNOFF & SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED EACH WORKING DAY & MAINTAINED IN A FUNCTIONAL CONDITION.
  - ALL VEGETATION OUTSIDE THE BUILDING ENVELOPE WILL BE RETAINED.
- SEDIMENT CONTROL FENCE NOTES**
- CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
  - DRIVE 1.5M LONG STAR PICKETS INTO GROUND @ MAX. 3.0M SPACINGS.
  - DIG A 150MM DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
  - BACKFILL TRENCH OVER BASE OF FABRIC.
  - FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
  - JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH 150MM OVERLAP.

- SEDIMENT RETENTION NOTES**
- GENERAL:
    - TEMPORARY DRAINAGE CONTROL. FLOW SHOULD BE DIVERTED AROUND THE WORK SITE WHERE POSSIBLE.
    - ALL DRAINAGE, EROSION AND SEDIMENT CONTROLS TO BE INSTALLED AND BE OPERATIONAL BEFORE COMMENCING UP-SLOPE EARTHWORKS.
    - ALL CONTROL MEASURES TO BE INSPECTED AT LEAST WEEKLY AND AFTER SIGNIFICANT RUNOFF PRODUCING STORMS.
    - CONTROL MEASURES MAY BE REMOVED WHEN ON-SITE EROSION IS CONTROLLED AND 70% PERMANENT SOIL COVERAGE IS OBTAINED OVER ALL UPSTREAM DISTURBED LAND.
    - IN AREAS WHERE RUNOFF TURBIDITY IS TO BE CONTROLLED, EXPOSED SURFACES TO BE EITHER MULCHED, COVERED WITH EROSION CONTROL BLANKETS OR TURFED IF EARTHWORKS ARE EXPECTED TO BE DELAYED FOR MORE THAN 14 DAYS.
    - STRAW BALE SEDIMENT TRAPS ARE A SECONDARY OPTION WHICH GENERALLY SHOULD NOT BE USED IF OTHER OPTIONS ARE AVAILABLE.
  - SEDIMENT FENCE:
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    - NORMALLY LOCATED ALONG THE CONTOUR WITH A MAXIMUM CATCHMENT AREA 0.6 HA PER 100M LENGTH OF FENCE.
    - WOVEN FABRICS ARE PREFERRED, NON-WOVEN FABRICS MAY BE USED ON SMALL WORK SITES, I.E. OPERATIONAL PERIOD LESS THAN 6 MONTHS OR ON SITES WHERE SIGNIFICANT SEDIMENT RUNOFF IS NOT EXPECTED.
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  - ALL DIMENSIONS IN MILLIMETRES UNLESS INDICATED OTHERWISE.



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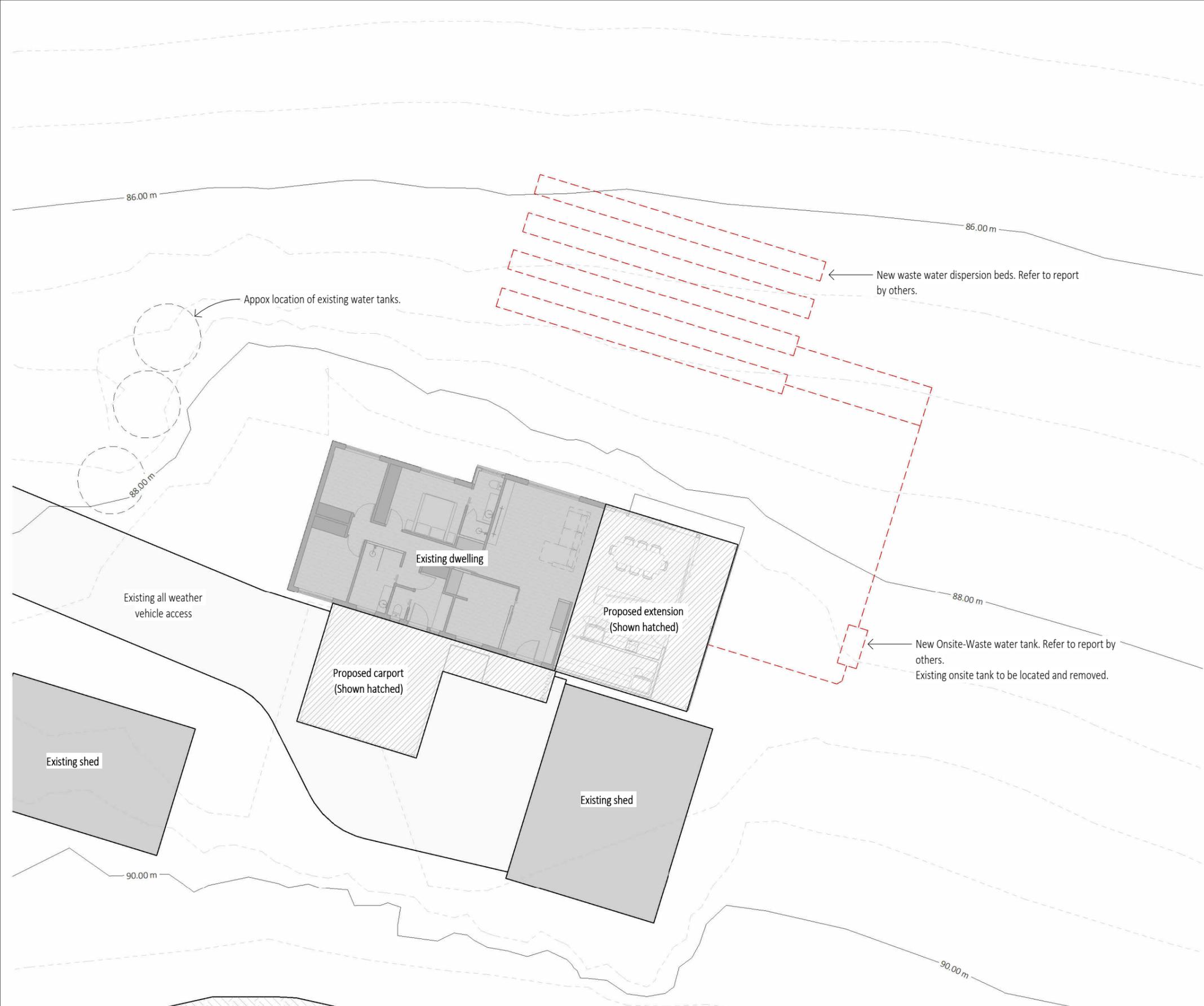


**PLANNING APPLICATION**



A	7/11/2025	Planning Application - Client Review
REV	DATE	DESCRIPTION
PROJECT	Alterations + Additions	
ADDRESS	1167 Railton Rd, Kimberley	
CLIENT	A+B Murray	
DWG	Location Plan	
PROJECT #		
DWG #		
SCALE @ A3As indicated		
DRAWN	Author	ACCREDITED DESIGNER CC 5618 U
CHKD	Checker	

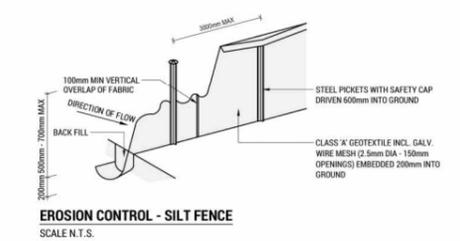
**A101**



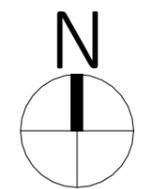
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**1 SITE PLAN**  
 1 : 200



**PLANNING APPLICATION**



A	7/11/2025	Planning Application. - Client Review	
REV	DATE	DESCRIPTION	
PROJECT	Alterations + Additions		PROJECT #
ADDRESS	1167 Railton Rd, Kimberley		DWG #
CLIENT	A+B Murray	SCALE @ A3as indicated	<b>A102</b>
DWG	Site Plan	DRAWN Author CHKD Checker	ACCREDITED DESIGNER CC 5618 U

Drawing Key	
	NEW WALLS REFER TO SCHEDULE FOR CONSTRUCTION
	EXISTING WALLS
	DEMOLITION WORKS
	EXISTING DOORS
	NEW DOORS
ABBREVIATIONS	
D.xx	DOOR NUMBER - REFER TO SCHEDULE
W.xx	WINDOW NUMBER - REFER TO SCHEDULE
Px	WALL PARTITION TYPE
J.xx	JOINERY TYPE
CF-x	CEILING TYPE
SP	SERVICE PANEL
CT-x	CARPET TILE TYPE
VP-x	VINYL PLANK
NSV-x	NON-SLIP VINYL
GENERAL NOTES	
<b>FIXTURES, FITTINGS &amp; EQUIPMENT</b> ALL FIXTURE, FITTINGS & EQUIPMENT SHOWN DASHED ARE SUPPLIED BY OWNER AND EXCLUDED FROM CONTRACT PRICE.	
ALL DIMENSIONS SHOWN TO BE CONFIRMED ON SITE. ALL ALUMINIUM FRAMES TO BE POWDER-COATED FINISH - COLOUR: MONUMENT. ALL THRESHOLD PLATES TO BE COUNTERSUNK.	
<b>INSULATION REQUIREMENTS:</b> INSTALLATION TO BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.	
<b>HARDWARE:</b> CROSS REFERENCE DOOR & WINDOW SCHEDULE WITH DOOR FURNITURE SCHEDULE BY OTHERS. ALL DOOR HANDLE HARDWARE TO BE MOUNTED TO 1000H UP TO CENTERLINE.	
<b>CEILING LININGS:</b> REFER TO REFLECTED CEILING PLAN FOR ALL CEILING TYPES & SPECIFICATIONS.	
<b>FLOOR FINISHES:</b> REFER TO FLOOR FINISHES PLAN FOR ALL FLOOR FINISH TYPES & SPECIFICATIONS.	
ARCHITECTURAL PLANS & DRAWINGS & SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH DRAWINGS BY OTHERS FOR CIVIL & STRUCTURAL WORKS SPECIFICATIONS.	

## DEMOLITION NOTES

GENERALLY DEMOLITION WORKS MUST BE CARRIED OUT IN ACCORDANCE WITH AS 2601-2001: DEMOLITION OF STRUCTURES & REGULATIONS 45, 46 & 47 OF THE BUILDING REGULATIONS (Tas.) 2016.

PROCEDURES & METHODS OF DEMOLITION MUST BE ADEQUATE TO PREVENT INJURY TO PERSONS & AVOID DAMAGE TO NEIGHBORING PROPERTIES.

ALL DEMOLISHED MATERIALS, RUBBISH & DEBRIS SHALL BE REMOVED FROM THE SITE ON COMPLETION OF DEMOLITION.

BEFORE REMOVING EXISTING WALLS SHOWN TO BE DEMOLISHED, BUILDER SHALL CONFIRM ON-SITE WHETHER THEY ARE LOADBEARING / BRACING OR NOT.

IF IT IS FOUND THAT THEY ARE LOADBEARING / BRACING, A STRUCTURAL ENGINEER MUST BE ENGAGED TO DETERMINE ANY BEAMS REQUIRED TO SUPPORT THESE EXISTING LOADS.

ALL REDUNDANT STORMWATER, SEWER AND WATER CONNECTIONS ASSOCIATED WITH THE DEMOLITION SHALL BE CUT & SEALED TO THE SATISFACTION OF COUNCIL'S SENIOR PLUMBING INSPECTOR.

THE REMOVAL OF EXISTING PLUMBING FIXTURES SHALL INCLUDE ALL ASSOCIATED WASTE & VENT PIPES, FLOOR DRAINS, WATER SERVICE PIPEWORK BRACKETS, SUPPORTS etc. & SEAL OFF EXISTING SERVICES. SEAL OFF & MAKE GOOD ALL FLOOR, WALL & ROOF PENETRATIONS.

GENERALLY, MAKE GOOD TO EXISTING FLOORS, WALLS & CEILINGS WHERE ALL DEMOLITION WORK OCCURS TO MATCH EXISTING AS & WHERE REQUIRED.

## ASBESTOS NOTES

### IMPORTANT:

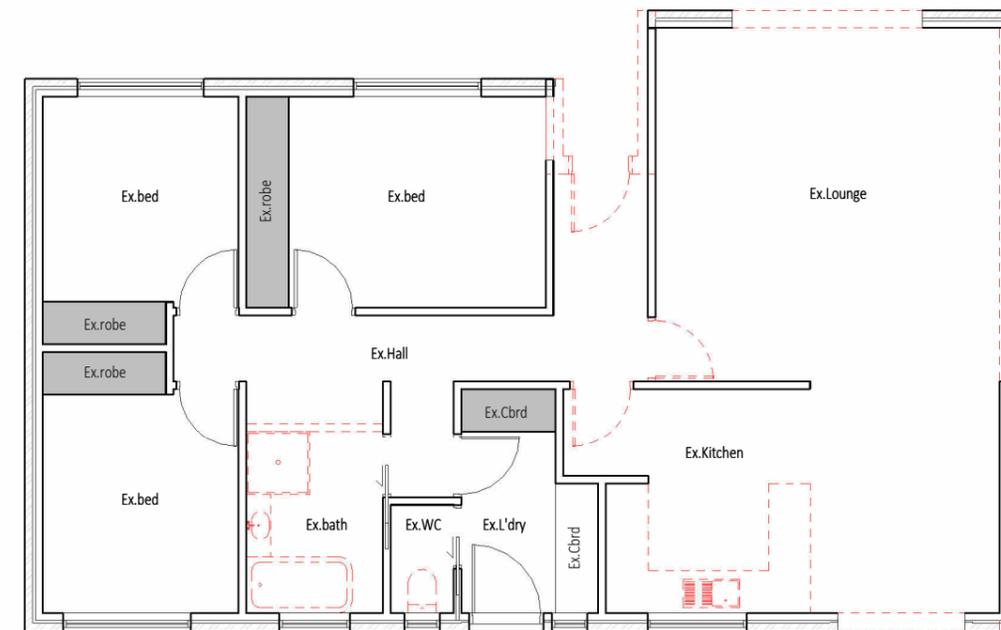
IDENTIFY ASBESTOS OR ASBESTOS CONTAINING MATERIALS (ACM'S) AT THE SITE.

IF IN PLACE, REFER TO THE ASBESTOS REGISTER FOR DETAILS.

IF NOT IN PLACE, A THOROUGH INSPECTION IS TO BE UNDERTAKEN BY A SUITABLY 'COMPETENT' PERSON & RECORDED IN DETAIL IN AN ASBESTOS REGISTER.

ASBESTOS REMOVAL SHALL BE CARRIED OUT BY QUALIFIED PERSONNEL ONLY IN ACCORDANCE WITH RELEVANT STANDARDS / CODES OF PRACTICE (PREFERABLY 'CLASS A' ASBESTOS REMOVAL LICENCE HOLDERS ONLY), WITH A THOROUGH 'ASBESTOS MANAGEMENT PLAN' IN PLACE.

FURTHERMORE, IF MORE THAN 10 sqm. OF ASBESTOS IS TO BE REMOVED A VISUAL CLEARANCE CERTIFICATE FORM No: AR4 IS TO BE COMPLETED & SUBMITTED TO THE BUILDING SURVEYOR. RECORDS OF CORRECT DISPOSAL ARE TO BE SUBMITTED TO THE BUILDING SURVEYOR FOR ANY ASBESTOS REMOVED.



**1 GROUND FLOOR - EXISTING**  
1 : 100



A	7/11/2025	Planning Application. - Client Review	
REV	DATE	DESCRIPTION	
PROJECT	Alterations + Additions		PROJECT #
ADDRESS	1167 Railton Rd, Kimberley		DWG #
CLIENT	A+B Murray	SCALE @ A3 1 : 100	<b>A103</b>
DWG	Existing / Demo Plan	DRAWN Author CHKD Checker	
			ACCREDITED DESIGNER CC 5618 U

**Drawing Key**

- NEW WALLS  
REFER TO SCHEDULE FOR CONSTRUCTION
- EXISTING WALLS
- DEMOLITION WORKS
- EXISTING DOORS
- NEW DOORS

**ABBREVIATIONS**

- D.xx DOOR NUMBER - REFER TO SCHEDULE
- W.xx WINDOW NUMBER - REFER TO SCHEDULE
- Px WALL PARTITION TYPE
- J.xx JOINERY TYPE
- CF-x CEILING TYPE
- SP SERVICE PANEL
- CT-x CARPET TILE TYPE
- VP-x VINYL PLANK
- NSV-x NON-SLIP VINYL

**GENERAL NOTES**

**FIXTURES, FITTINGS & EQUIPMENT**  
ALL FIXTURE, FITTINGS & EQUIPMENT SHOWN DASHED ARE SUPPLIED BY OWNER AND EXCLUDED FROM CONTRACT PRICE.

ALL DIMENSIONS SHOWN TO BE CONFIRMED ON SITE.  
ALL ALUMINIUM FRAMES TO BE POWDER-COATED FINISH - COLOUR: MONUMENT.  
ALL THRESHOLD PLATES TO BE COUNTERSUNK.

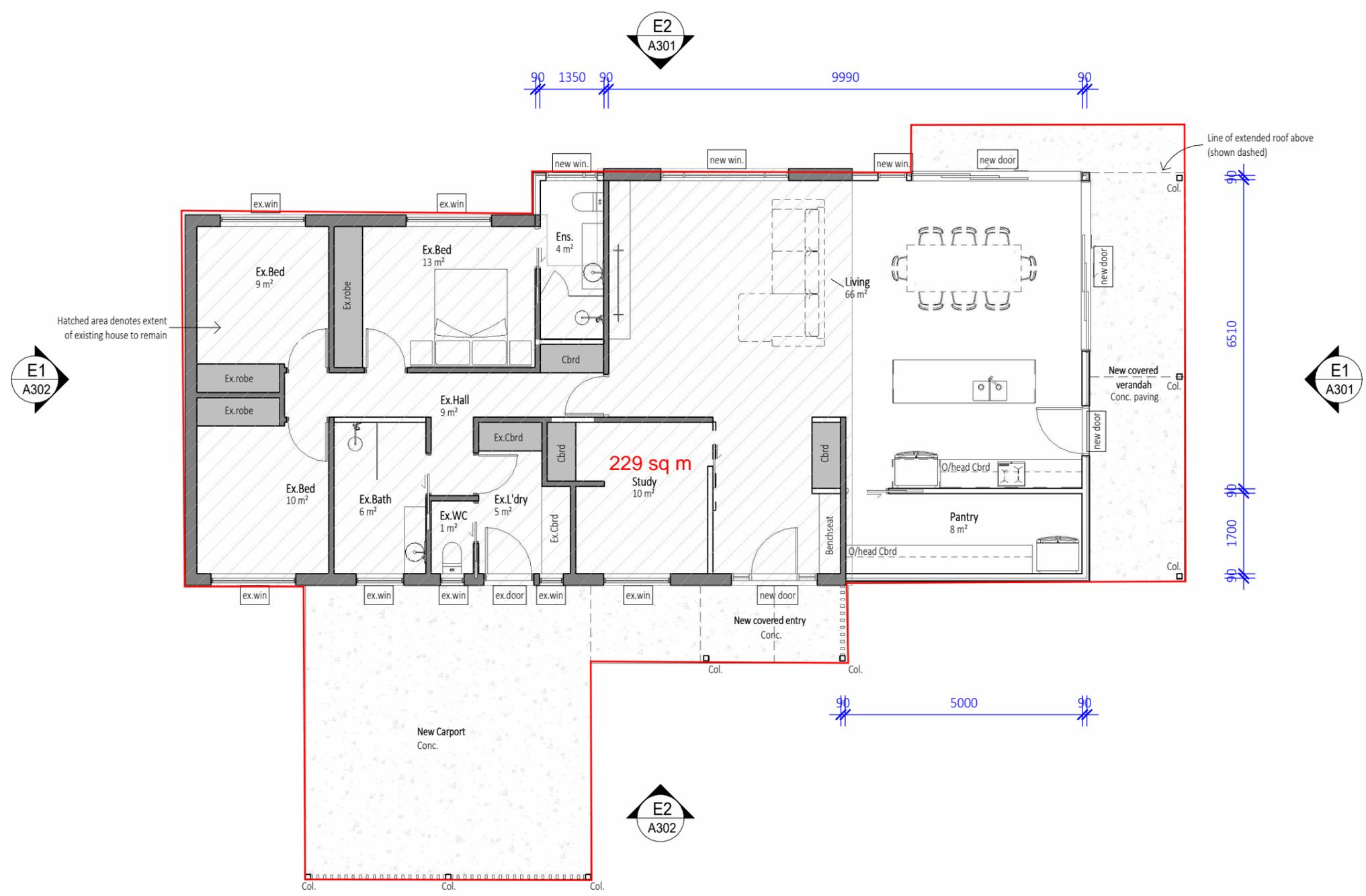
**INSULATION REQUIREMENTS:**  
INSTALLATION TO BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

**HARDWARE:**  
CROSS REFERENCE DOOR & WINDOW SCHEDULE WITH DOOR FURNITURE SCHEDULE BY OTHERS.  
ALL DOOR HANDLE HARDWARE TO BE MOUNTED TO 1000H UP TO CENTERLINE.

**CEILING LININGS:**  
REFER TO REFLECTED CEILING PLAN FOR ALL CEILING TYPES & SPECIFICATIONS.

**FLOOR FINISHES:**  
REFER TO FLOOR FINISHES PLAN FOR ALL FLOOR FINISH TYPES & SPECIFICATIONS.

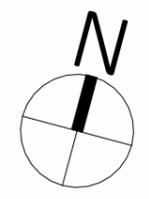
ARCHITECTURAL PLANS & DRAWINGS & SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH DRAWINGS BY OTHERS FOR CIVIL & STRUCTURAL WORKS SPECIFICATIONS.



**1 GROUND FLOOR**  
1:100

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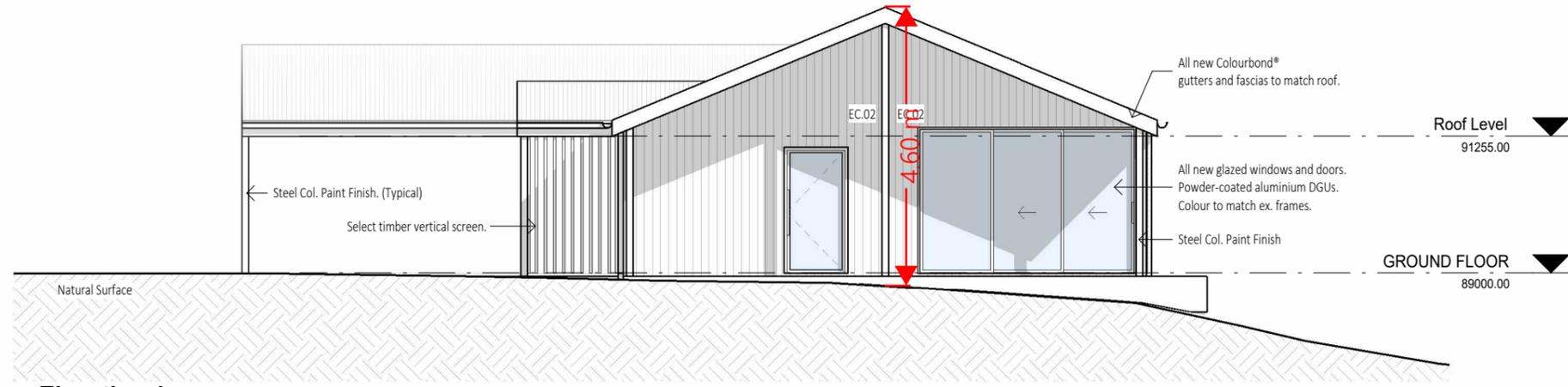


**PLANNING APPLICATION**

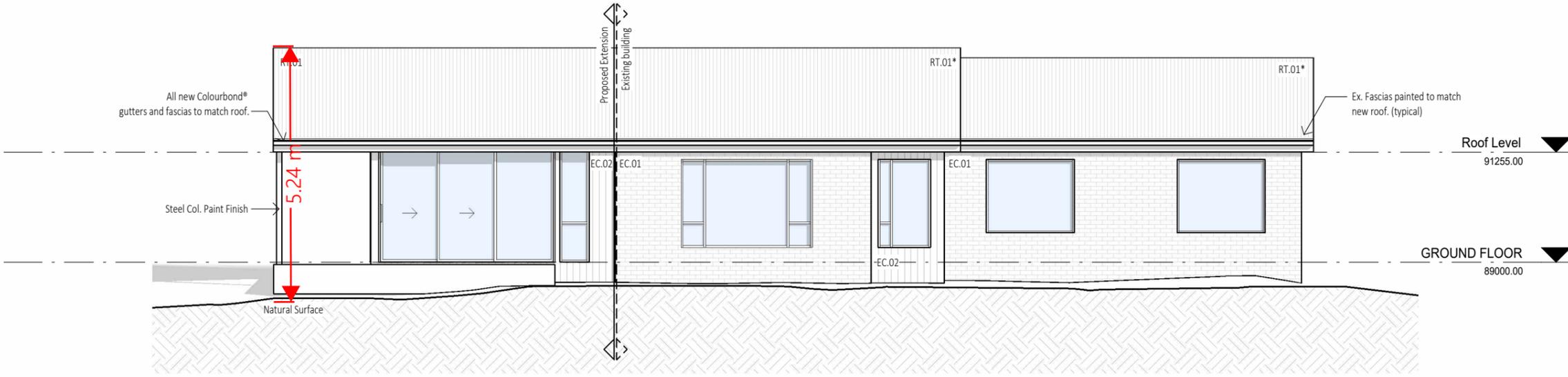


REV	7/11/2025	Planning Application. - Client Review
DATE		DESCRIPTION
PROJECT	Alterations + Additions	
ADDRESS	1167 Railton Rd, Kimberley	
CLIENT	A+B Murray	SCALE @ A3 1:100
DWG	Floor Plan - Prop.	DRAWN Author CHKD Checker
PROJECT #		DWG #
		<b>A201</b>
		ACCREDITED DESIGNER CC 5618 U

CLADDING TYPE SCHEDULE	
<b>CLADDING TYPE 1 (EC.01):</b>	
TYPE:	Existing Brickwork
COLOUR:	Paint Finish. Colour: Dulux® Colourbond® Shale Grey, or similar to approval. TBC by owner.
<b>CLADDING TYPE 2 (EC.02):</b>	
TYPE:	Fibre-cement Sheet Cladding. Vertical Orientation
PRODUCT:	James Hardie™, Axon™ Panel. 133mm groove, Smooth. Exterior Paint Finish.
FIXING / CAVITY:	Install Over James Hardie™ Proprietary Cavity Batten To Manufacturer's Specification.
FLASHINGS / TRIMS:	Install All Flashings & Trims To Manufacturer's Specification. Colour To Match Cladding
COLOUR:	Paint Finish. Colour: Dulux® Colourbond® Monument, or similar to approval. TBC by owner.
<b>CLADDING TYPE 3 (RT.01):</b>	
TYPE:	New metal roof sheet. Profile to match existing. Refer to roof plan for further detail.
<b>GENERAL NOTES:</b>	
Refer To The Window & Door Schedules For Sizes And Colour Specification.	
All External Walls To Wrapped With Class 4 Vapour Permeable Wall Wrap To Manufacturer's Specification.	

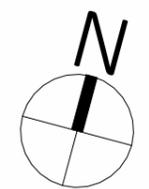


**1 Elevation 1**  
1 : 100



**2 Elevation 2**  
1 : 100

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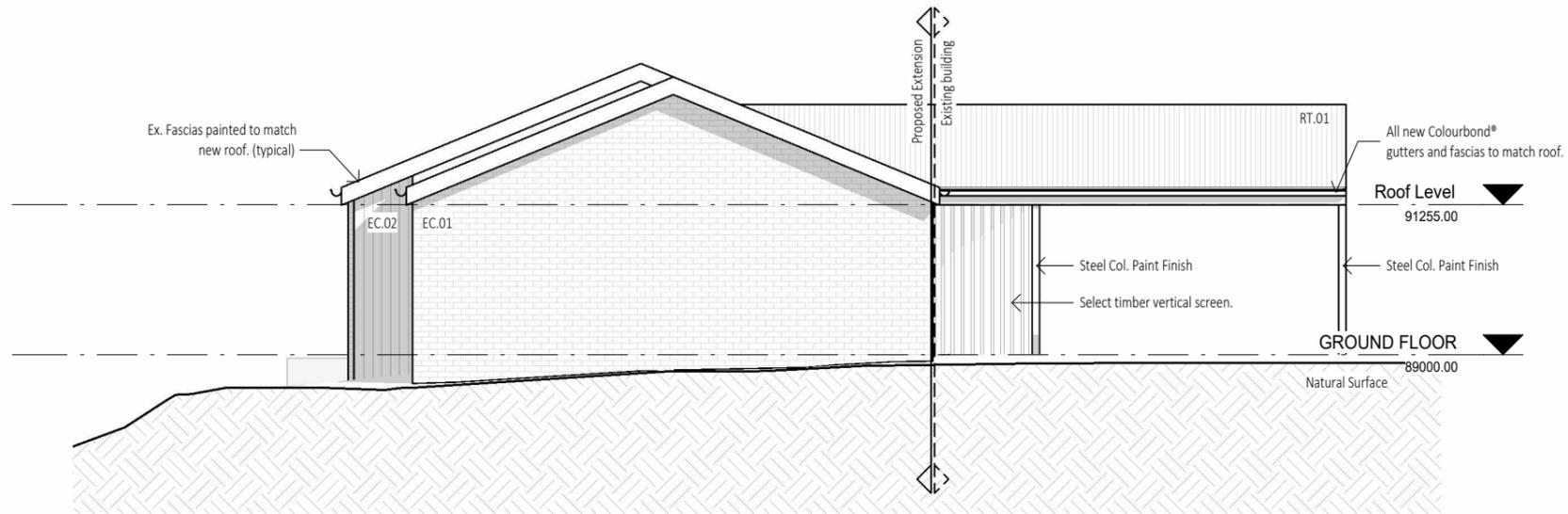


**PLANNING APPLICATION**

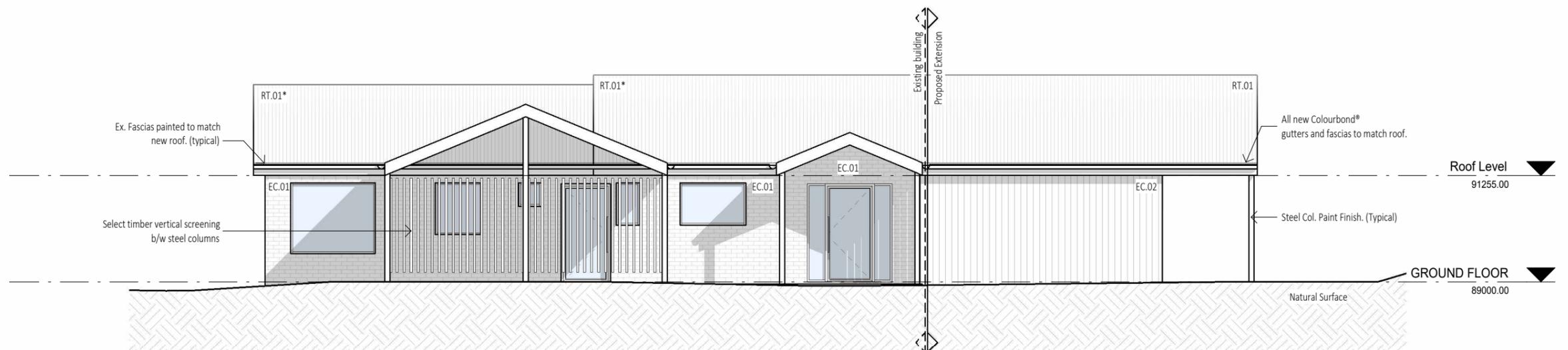


REV	7/11/2025	DESCRIPTION	Planning Application. - Client Review
PROJECT	Alterations + Additions		PROJECT #
ADDRESS	1167 Railton Rd, Kimberley		DWG #
CLIENT	A+B Murray	SCALE @ A3	1 : 100
DWG	Elevations 1	DRAWN	Author
		CHKD	Checker
		ACCREDITED DESIGNER	A301
		CC 5618 U	

CLADDING TYPE SCHEDULE	
<b>CLADDING TYPE 1 (EC.01):</b>	
TYPE:	Existing Brickwork
COLOUR:	Paint Finish. Colour: Dulux® Colourbond® Shale Grey, or similar to approval. TBC by owner.
<b>CLADDING TYPE 2 (EC.02):</b>	
TYPE:	Fibre-cement Sheet Cladding. Vertical Orientation
PRODUCT:	James Hardie™, Axon™ Panel. 133mm groove, Smooth. Exterior Paint Finish.
FIXING / CAVITY:	Install Over James Hardie™ Proprietary Cavity Batten To Manufacturer's Specification.
FLASHINGS / TRIMS:	Install All Flashings & Trims To Manufacturer's Specification. Colour To Match Cladding
COLOUR:	Paint Finish. Colour: Dulux® Colourbond® Monument, or similar to approval. TBC by owner.
<b>CLADDING TYPE 3 (RT.01):</b>	
TYPE:	New metal roof sheet. Profile to match existing. Refer to roof plan for further detail.
<b>GENERAL NOTES:</b>	
Refer To The Window & Door Schedules For Sizes And Colour Specification.	
All External Walls To Be Wrapped With Class 4 Vapour Permeable Wall Wrap To Manufacturer's Specification.	



**1 Elevation 3**  
1 : 100



**2 Elevation 4**  
1 : 100

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**PLANNING APPLICATION**



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REV	7/11/2025	DESCRIPTION	Planning Application. - Client Review
PROJECT	Alterations + Additions		PROJECT #
ADDRESS	1167 Railton Rd, Kimberley		DWG #
CLIENT	A+B Murray	SCALE @ A3	1 : 100
DWG	Elevations 2	DRAWN	Author
		CHKD	Checker
		ACCREDITED DESIGNER	
		CC 5618 U	

**A302**

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**PLANNING  
APPLICATION**



REV	DATE	DESCRIPTION	PROJECT #
A	7/11/2025	Planning Application. - Client Review	-
PROJECT Alterations + Additions			DWG #
ADDRESS 1167 Railton Rd, Kimberley			<b>R202</b>
CLIENT	A+B Murray	SCALE @ A3	ACCREDITED DESIGNER
DWG	View 1	DRAWN CHKD	Author Checker CC 5618 U



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**PLANNING  
APPLICATION**



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A	7/11/2025	Planning Application. - Client Review	
REV	DATE	DESCRIPTION	
PROJECT	Alterations + Additions		PROJECT #
ADDRESS	1167 Railton Rd, Kimberley		DWG #
CLIENT	A+B Murray	SCALE @ A3	<b>R203</b>
DWG	View 2	DRAWN CHKD	Author Checker ACCREDITED DESIGNER CC 5618 U

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**PLANNING  
APPLICATION**



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A	7/11/2025	Planning Application. - Client Review	
REV	DATE	DESCRIPTION	
PROJECT	Alterations + Additions		PROJECT #
ADDRESS	1167 Railton Rd, Kimberley		DWG #
CLIENT	A+B Murray	SCALE @ A3	<b>R204</b>
DWG	View 3	DRAWN CHKD	Author Checker ACCREDITED DESIGNER CC 5618 U



**PLANNING APPLICATION**



A	7/11/2025	Planning Application. - Client Review	
REV	DATE	DESCRIPTION	
PROJECT	Alterations + Additions		PROJECT #
ADDRESS	1167 Railton Rd, Kimberley		DWG #
CLIENT	A+B Murray	SCALE @ A3	<b>R205</b>
DWG	View 4	DRAWN CHKD	Author Checker ACCREDITED DESIGNER CC 5618 U