

## **PLANNING NOTICE**

An application has been received for a Permit under s.57 of the Land Use Planning Approvals Act 1993:

APPLICANT:	Wilson Homes Tasmania Pty Ltd - PA\26\0151
PROPERTY ADDRESS:	8 Capstone Rise BLACKSTONE HEIGHTS (CT: 184991/26)
DEVELOPMENT:	Single dwelling & Residential outbuilding (garage) - setbacks.

The application can be inspected until **Wednesday**, **14 January 2026**, at <u>www.meander.tas.gov.au</u> or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to <a href="mailto:planning@mvc.tas.gov.au">planning@mvc.tas.gov.au</a>. Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Dated at Westbury on 20 December 2025.

Jonathan Harmey

**GENERAL MANAGER** 

## **APPLICATION FORM**



### **PLANNING PERMIT**

#### **Land Use Planning and Approvals Act 1993**

- Application form & details MUST be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

			OFFICE USE ONLY				
Property No:		Assessment No:					
DA\	F	<b>PA</b> \	PC\				
<ul> <li>Is your application the result of an illegal building work?</li> <li>Have you already received a Planning Review for this proposal?</li> <li>Is a new vehicle access or crossover required?</li> <li>Yes</li> <li>No</li> <li>Yes</li> <li>No</li> <li>Indicate by ✓ box</li> <li>Yes</li> <li>No</li> <li>Yes</li> <li>No</li> </ul>							
PROPERTY DET	ΓAILS:						
Address:	8 CAPSTONE F	RISE	Certificate of Title: 184991				
Suburb:	BLACKSTONE H	EIGHTS, TAS 7250	Lot No: 26				
Land area:	1515m2		$m^2$ / ha				
Present use of land/building:	Vacant Land		(vacant, residential, rural, industria commercial or forestry)	al,			
<ul> <li>Does the application involve Crown Land or Private access via a Crown Access Licence: Yes No</li> <li>Heritage Listed Property: Yes No</li> </ul>							
DETAILS OF US	SE OR DEVELO	PMENT:					
Indicate by ✓ box	Building wor	rk Change of use Other	☐ Subdivision ☐ Demolition				
Total cost of development (inclusive of GST):	Total cost of development (inclusive of GST):  Includes total cost of building work, landscaping, road works and infrastructure						
Description Nof work:	ew Dwelling						
Use of building:	esidential		nain use of proposed building – dwelling, garage, farm building, ctory, office, shop)	,			
New floor area:	128.34 m²	m <sup>2</sup> New building height:	5,217 m				
Materials:	External walls:	Brick Venner	Colour: TBC				
	Roof cladding:	Sheet Metal	Colour: TBC				

Document Set ID: 2259931 Version: 1, Version Date: 01/12/2025



#### **RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



#### SEARCH OF TORRENS TITLE

VOLUME	FOLIO
184991	26
EDITION 1	DATE OF ISSUE 10-Jul-2023

SEARCH DATE : 01-Dec-2025 SEARCH TIME : 11.19 AM

#### DESCRIPTION OF LAND

Parish of LAUNCESTON Land District of CORNWALL Lot 26 on Sealed Plan 184991 Derivation: Part of 500 Acres Loc. to Patrick Dalrymple Prior CT 173550/1

#### SCHEDULE 1

M725563 TRANSFER to BASS STRAIT 8 PTY LTD Registered 27-Nov-2018 at noon

#### SCHEDULE 2

Reservations and conditions in the Crown Grant if any SP184991 FENCING PROVISION in Schedule of Easements E345310 AGREEMENT pursuant to Section 78 of the Land Use Planning and Approvals Act 1993 Registered 10-Jul-2023 at 12.01 PM

#### UNREGISTERED DEALINGS AND NOTATIONS

N292947	PRIORITY NOTICE reserving priority for 90 days
	TRANSFER BASS STRAIT 8 PTY LTD TO ISAAC ETHAN
	ALEXANDER O'BYRNE AND SOPHIE LOUISE EAMES
	MORTGAGE ISAAC ETHAN ALEXANDER O'BYRNE AND SOPHIE
	LOUISE EAMES TO MYSTATE BANK LIMITED Lodged by PAGE
	SEAGER on 13-Oct-2025 BP: N292947
E442010	MORTGAGE to MyState Bank Limited Lodged by WALLACE
	WILK & WEB on 18-Nov-2025 BP: N292946
N292946	TRANSFER to ISAAC ETHAN ALEXANDER O'BYRNE and SOPHIE
	LOUISE EAMES Lodged by WALLACE WILK & WEB on
	18-Nov-2025 BP: N292946

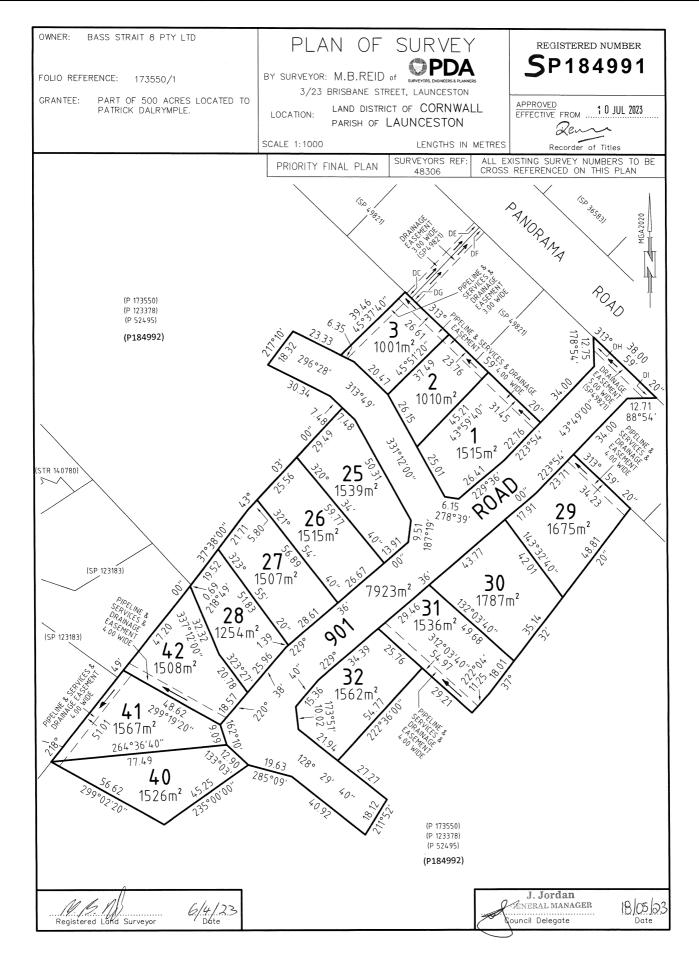


#### **FOLIO PLAN**

RECORDER OF TITLES



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Search Date: 02 Sep 2025 Search Time: 12:08 PM Volume Number: 184991 Revision Number: 01 Page 1 of 1



RECORDER OF TITLES

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#### SCHEDULE OF EASEMENTS

NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED.

SIGNATURES MUST BE ATTESTED.

Registered Number

SP 18499

PAGE 1 OF 4 PAGES

#### **EASEMENTS AND PROFITS**

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lots 1-3 are each subject to a right of drainage in gross (in favour of Meander Valley Council) over the land marked PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE passing through such lot on the plan

Lots 1-3 are each subject to a pipeline and services easement in gross as defined herein (in favour of the TasWater) over the land marked PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE ("the Easement Land") passing through such lot on the plan

Lot 3 is subject to a right of drainage in gross (in favour of Meander Valley Council) over the land marked PIPELINE & SERVICES & DRAINAGE EASEMENT 3.00 WIDE passing through that lot on the plan

Lot 3 is subject to a pipeline and services easement in gross as defined herein (in favour of the TasWater) over the land marked PIPELINE & SERVICES & DRAINAGE EASEMENT 3.00 WIDE ("the Easement Land") passing through that lot on the plan

Lot 29 is subject to a right of drainage in gross (in favour of Meander Valley Council) over the land marked PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE passing through that lot on the plan

Lot 29 is subject to a pipeline and services easement in gross as defined herein (in favour of the TasWater) over the land marked PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE ("the Easement Land") passing through that lot on the plan

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: BASS STRAIT 8 P/L

FOLIO REF: 173550-1

SOLICITOR: RAE & PARTNERS (MLK)

PLAN SEALED BY: MEANDER VALLEY COUNCIL

DATE 18 May 2003 J. Jordan

MVC-20-0030
REF NO. PA 20 0020 Council Delegate

NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

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# ANNEXURE TO SCHEDULE OF EASEMENTS

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SUBDIVIDER: BASS STRAIT 8 P/L FOLIO REFERENCE: 173550-1

Lot 31 is subject to a right of drainage in gross (in favour of Meander Valley Council) over the land marked PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE passing through that lot on the plan

Lot 31 is subject to a pipeline and services easement in gross as defined herein (in favour of the TasWater) over the land marked PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE ("the Easement Land") passing through that lot on the plan

Lots 40-42 are each subject to a right of drainage in gross (in favour of Meander Valley Council) over the land marked PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE passing through such lot on the plan

Lots 40-42 are each subject to a pipeline and services easement in gross as defined herein (in favour of the TasWater) over the land marked PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE ("the Easement Land") passing through such lot on the plan

Lot 901 is together with a right of drainage over the land marked DRAINAGE EASEMENT "DC-DE" & DG-DF" 3.00 WIDE on the plan

Lot 901 is subject to a right of drainage (appurtenant to lots 8-11 on Sealed Plan 49821) over the land marked DRAINAGE EASEMENT "DI-DH" 5.00 WIDE passing through that lot on the plan

#### FENCING PROVISION

In respect to the lots on the plan the vendor (Bass Strait 8 Pty Ltd) shall not be required to fence

#### INTERPRETATION

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653) its successors and assigns

"Pipeline and Services Easement" means-

FIRSTLY, the full and free right and liberty for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

Sole Director and Sole Secretary:

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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## ANNEXURE TO SCHEDULE OF EASEMENTS

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1849

SUBDIVIDER: BASS STRAIT 8 P/L FOLIO REFERENCE: 173550-1

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
  - (a) without doing unnecessary damage to the Easement Land; and
  - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;

Sole Director and Sole Secretary:

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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# ANNEXURE TO SCHEDULE OF EASEMENTS

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Registered Number

SP 184991

SUBDIVIDER: BASS STRAIT 8 P/L FOLIO REFERENCE: 173550-1

- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

Executed by BASS STRAIT 8 PTY LTD (ACN 629 016 968) pursuant to

section 127(1) Corporations Act 2001 (C'th) by-

signature: .

Aaron Winnell

Sole Director and Sole Secretary

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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**HIGHLY REACTIVE /** PROBLEMATIC SOIL TYPE. REFER TO HYDRAULICS PLANS AND DETAILS PREPARED BY **GANDY AND ROBERTS** 

MAIN DWELLING, GROUND FLOOR

AL FRESCO

LIVING

PORCH

#### AS & NCC COMPLIANCE

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL

- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS.
- BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022. ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS
- INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
- TERMITE PROTECTION IN ACCORDANCE WITH AS 3660 AND NCC 2022. GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
- SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022. INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.2. EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS
- WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX.
- 1:50 GRADE (IF APPLICABLE). CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2019.
- BUILDING SEALING IN ACCORDANCE WITH NCC 2022. SERVICES IN ACCORDANCE WITH NCC 2022.

13 45

113.52

1.37

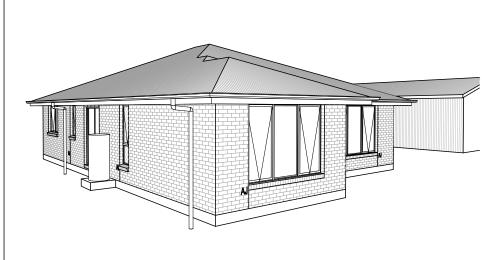
128.34 m

- EARTHWORKS IN ACCORDANCE WITH AS 3798-2007. EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF
- EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

SITE SPECIFIC CONTROLS						
CONTROL	DETAILS					
ACID SULPHATE SOIL	NO					
BIODIVERSITY	NO					
BUILDING ENVELOPE	NO					
BUSHFIRE	BAL-LOW					
CLIMATE ZONE (NCC)	ZONE 7 - COOL TEMPERATE					
DESIGN WIND CLASSIFICATION	N3 (NOT EXPOSED)					
ESTATE/DEVELOPER GUIDELINES	NO					
FLOOD OVERLAY	NO					
HERITAGE	NO					
LANDSLIP HAZARD	NO					
MINIMUM FLOOR LEVEL	NO					
NATURAL ASSET CODE	NO					
NOISE ATTENUATION	NO					
SALINE SOIL	NO					
SHIELDING FACTOR	NS - NO SHIELDING					
SITE CLASSIFICATION	P					
SPECIFIC AREA PLAN OVERLAY	NO					
TERRAIN CATEGORY	TC2					
TOPOGRAPHIC CLASSIFICATION	T1					
WATERWAY & COASTAL OVERLAY	NO					
WIND REGION	A - NORMAL					
WITHIN 1km CALM SALT WATER	NO					
WITHIN 50km BREAKING SURF	NO					
ZONING	LOW DENSITY RESIDENTIAL					

BUILDING CONTROLS & COMPLIANCE						
CONTROL	REQUIRED	PROPOSED				
SETBACKS						
FRONT	MIN. 8,000mm	4,500mm				
SIDE A	MIN. 5,000mm	3,000mm				
SIDE B	MIN. 5,000mm	12,950mm				
REAR	MIN. 5,000mm	38,775mm				
BULK & SCALE						
SITE AREA	1,515m²					
SITE COVERAGE	MAX. 30%	8.47%				
LANDSCAPE						
NO APPLICABLE CONTROLS						
EARTHWORKS						
CUT DEPTH	MAX. 2,000mm	432mm				
FILL DEPTH	MAX. 1,000mm	200mm				
ACCESS & AMENITY						
PARKING SPACES	MIN. 2 SPACES	2 SPACES				
PRIVATE OPEN SPACE	MIN. 24m²	24m²				
·						

#### 3D PERSPECTIVE



#### NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS RETAINING WALLS SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

#### **LOCATION MAP**

<b>BUILDING INFORMATION</b>					
GROUND FLOOR TOP OF WALL HEIGHT(S) 2445mm					
NOTE: CEILING HEIGHT 45mm LOWER THA	N TOP OF WALL				
ROOF PITCH (U.N.O.)	23.0°				
ELECTRICITY SUPPLY	SINGLE PHASE				
GAS SUPPLY	NONE				
ROOF MATERIAL	SHEET METAL				
ROOF COLOUR	N/A				
WALL MATERIAL	BRICK VENEER				
SLAB CLASSIFICATION	TBC				

INSULATION			
ROOF	NO ADDITIONAL INSULATION		
CEILING	R4.1 BATTS (EXCL. GARAGE & ALFRESCO)		
EXT. WALLS	R2.0 BATTS (EXCL. GARAGE) WALL WRAP TO ENTIRE HOUSE		
INT. WALLS	R2.0 BATTS ADJACENT TO GARAGE AND AS PER PLAN		
FLOOR	BIAX SLAB R0.60		

#### NCC 2022 LIVABLE HOUSING COMPLIANCE

ACCESSIBLE SANITARY COMPARTMENT: BATH WC ACCESSIBLE SHOWER LOCATION: BATH

#### **GENERAL NOTES:**

- THRESHOLD OF ACCESSIBLE SHOWER ENTRY TO BE MAX. 5MM
- 1 EXTERIOR DOOR NOMINATED AS 870 OR GREATER TO ACHIEVE MIN 820MM CLEAR OPENING REFER TO APPLICABLE WET AREA PLANS AND INTERIOR ELEVATIONS OR LOCATIONS OF REQUIRED WALL REINFORCEMENT FOR FUTURE GRAB RAIL INSTALLATION.

Certificate of the inclusive crossover investigation, contour survey. Dial before parties the inclusive consecution of the inclusive consecution. Certificate of Title inclusive of lot specific zoning, and service connections of the inclusive of the plan has been prepared prior to the receipt of one or more of the following documents, power and communications and service connections, i.e., i.e.,

THE OWNERS ACKNOWLEDGE THAT THESE CONTRACT PLANS MAY NOT REFLECT ALL THE SELECTIONS THAT HAVE BEEN MADE OR CHANGES REQUESTED. THE OWNERS AGREE THAT FOLLOWING THE COLOUR SELECTIONS VARIATION OR UPDATING OF PLANS, THEY WILL BE PROVIDED WITH CONSTRUCTION PLANS FOR SIGNATURE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SIGNATURE: DATE:

**SUBJECT TO NCC 2022** 

(1 MAY 2023) WATERPROOFING & PLUMBING

#### PLAN ACCEPTANCE BY OWNER SIGNATURE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED.

#### PRELIMINARY PLAN SET

4 PRELIMINARY PLAN SET - INITIAL ISSUE ALL 2025.11.10 LTR -	No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK
	4	PRELIMINARY PLAN SET - INITIAL ISSUE	ALL	2025.11.10	LTR	-

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<b>WILSON</b>	DI
HOMES	©

	SPECIFICATION:		REVISION
1	DESIGNER 1		DRAFT SALES PLAN - CP1
l	COPYRIGHT:	2	DRAFT SALES PLAN - CP2
	© 2025	3	PLANS UPDATE
		4	PRELIM PLANS - INITIAL ISSUE

	REVISION		RAWN	ľ
1	DRAFT SALES PLAN - CP1	MLG	10/10/2025	
2	DRAFT SALES PLAN - CP2	MLG	17/10/2025	
3	PLANS UPDATE	MLG	23/10/2025	l
4	PRELIM PLANS - INITIAL ISSUE	LTR	07/11/2025	I
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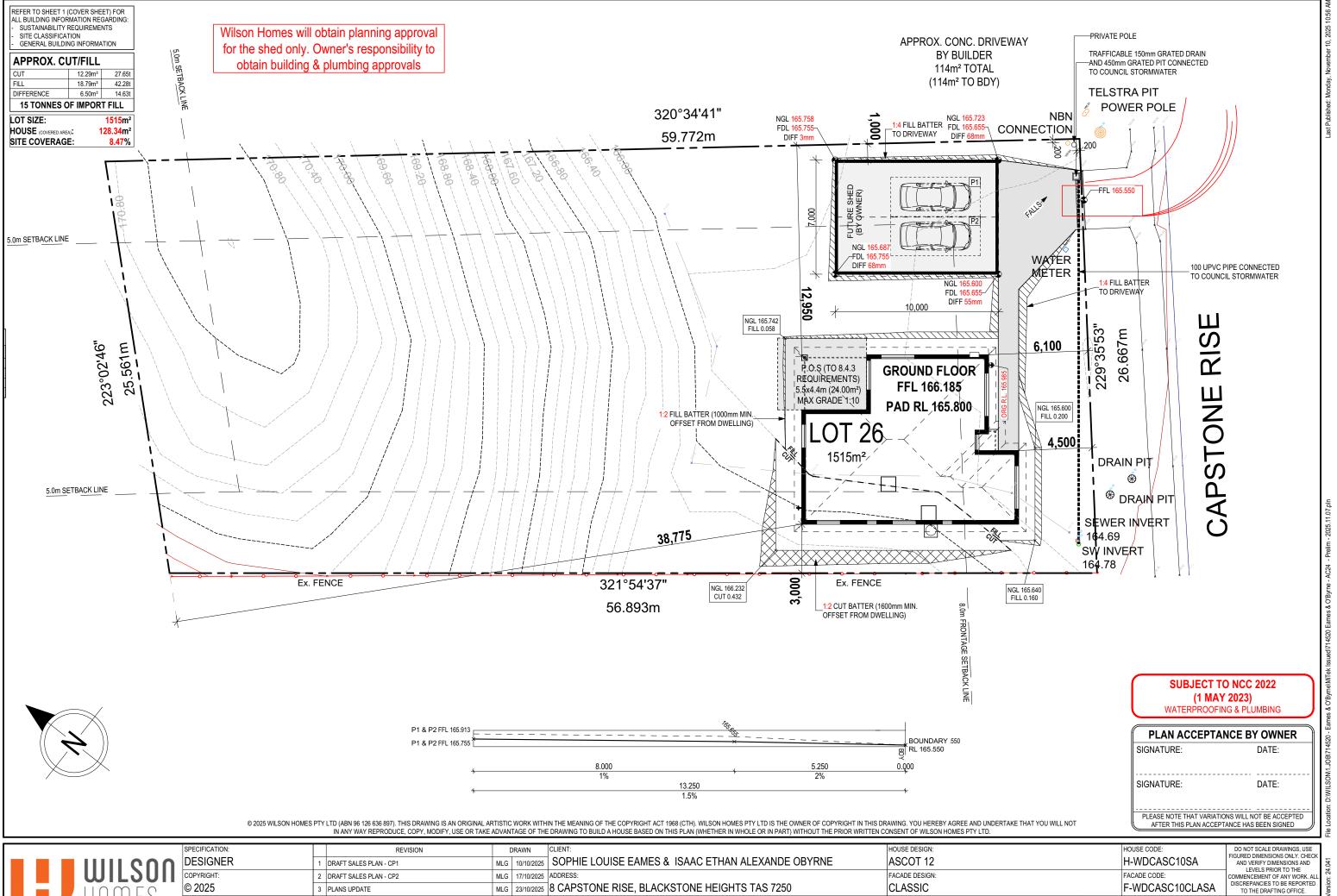
SOPHIE LOUISE EAMES & ISAAC ETHAN ALEXANDE OBYRNE
ADDRESS:
8 CAPSTONE RISE, BLACKSTONE HEIGHTS TAS 7250
LOT / SECTION / CT: COUNCIL:
26 / - / 184991 MEANDER VALLEY

HOUSE DESIGN:		HOUSE CODE:
ASCOT 12		H-WDCASC10SA
FACADE DESIGN:		FACADE CODE:
CLASSIC		F-WDCASC10CLASA
SHEET TITLE:	SHEET No.:	SCALES:
COVER SHEET	1 / 19	

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY, CHEC AND VERIFY DIMENSIONS AND I EVELS PRIOR TO THE TO THE DRAFTING OFFICE.

714520

Version: 1, Version Date: 01/12/2025



MEANDER VALLEY

SHEET TITLE:

SITE PLAN

SHEET No.: SCALES:

1:200

2/19

LTR 07/11/2025 LOT / SECTION / CT:

26 / - / 184991

4 PRELIM PLANS - INITIAL ISSUE

Version: 1, Version Date: 01/12/2025

714520

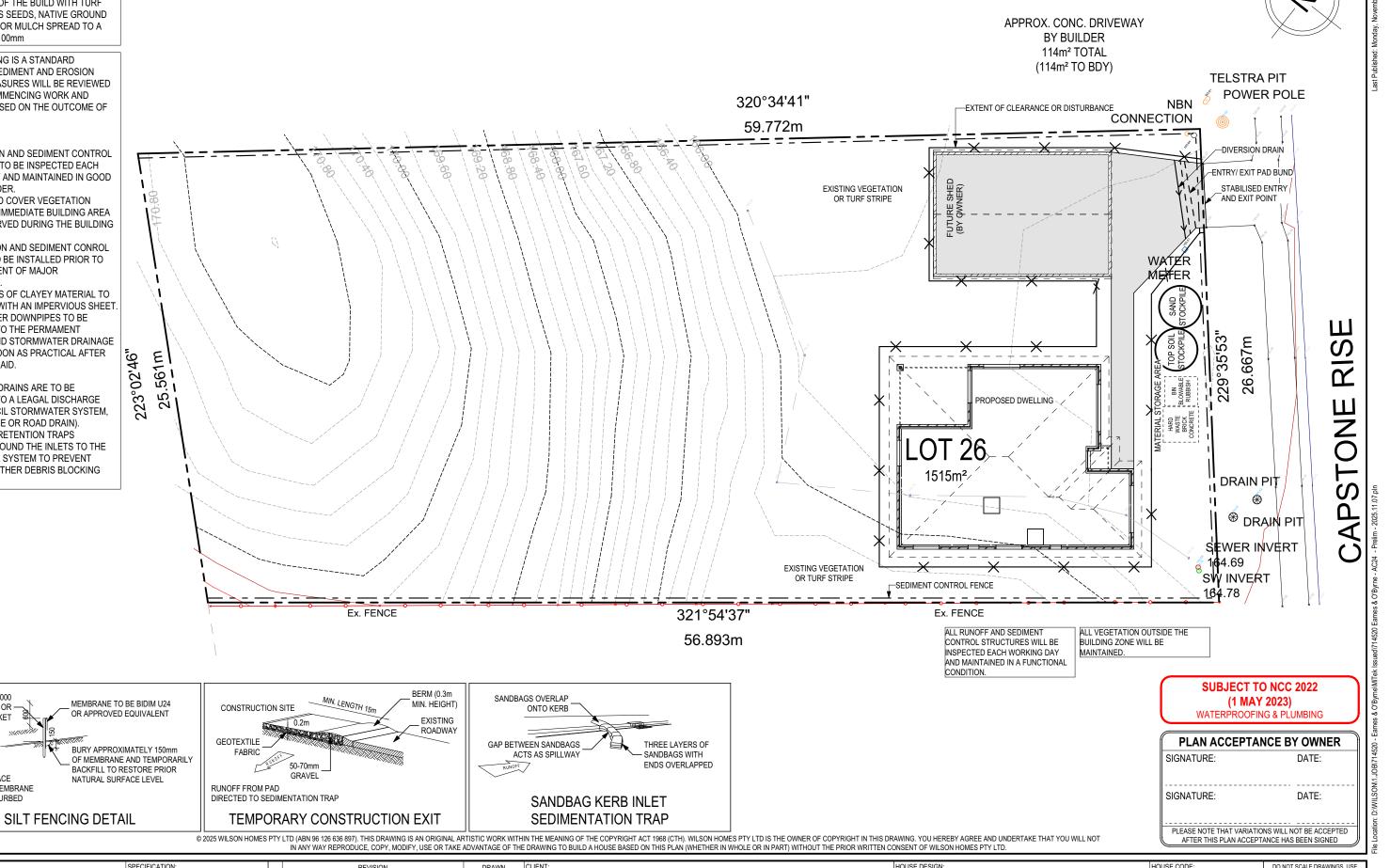
ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED

OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.

- 2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING
- 3. ALL EROSION AND SEDIMENT CONROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
- 4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET. 5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMAMENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.
- 6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEAGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN). 7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.





DO NOT SCALE DRAWINGS, US FIGURED DIMENSIONS ONLY, CHEC DESIGNER MLG 10/10/2025 SOPHIE LOUISE EAMES & ISAAC ETHAN ALEXANDE OBYRNE ASCOT 12 H-WDCASC10SA DRAFT SALES PLAN - CP1 AND VERIFY DIMENSIONS AND I EVELS PRIOR TO THE FACADE DESIGN: MLG 17/10/2025 ADDRESS: FACADE CODE: 2 DRAFT SALES PLAN - CP2 DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. MLG 23/10/2025 8 CAPSTONE RISE, BLACKSTONE HEIGHTS TAS 7250 CLASSIC F-WDCASC10CLASA 3 PLANS UPDATE SHEET TITLE: LTR 07/11/2025 LOT / SECTION / CT: SHEET No.: SCALES: 4 PRELIM PLANS - INITIAL ISSUE 714520 3 / 19 26 / - / 184991 MEANDER VALLEY SOIL & WATER MANAGEMENT PLAN 1:200

Version: 1, Version Date: 01/12/2025

50 x 25 x 1000

STAR PICKET

DOWNHILL OF MEMBRANE

NOT TO BE DISTURBED

STAKE OR

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022 ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING SUSTAINABILITY REQUIREMENTS

GENERAL BUILDING INFORMATION ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

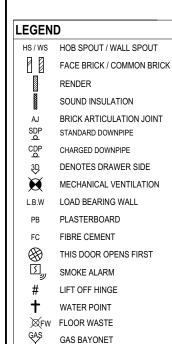
ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

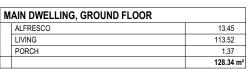
REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION

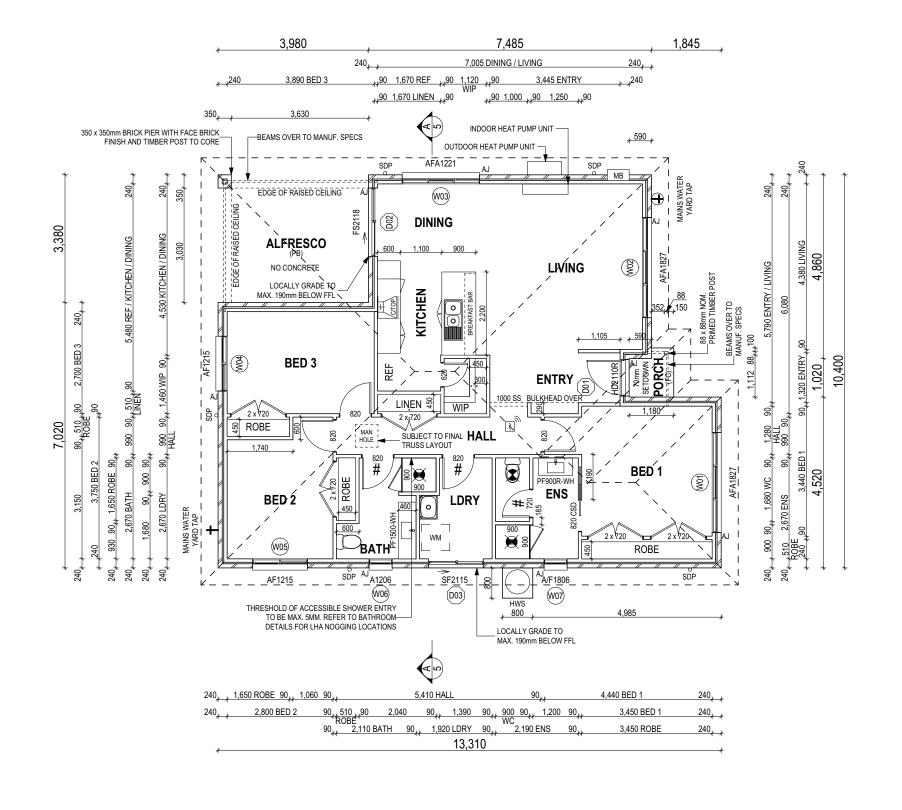
FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

LINI ESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:









#### **ALL DIMENSIONS ARE FRAME DIMENSIONS**

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PLAN ACCEPTAN	CE BY OWNER
SIGNATURE:	DATE:
SIGNATURE:	DATE:

**SUBJECT TO NCC 2022** 

(1 MAY 2023)

WATERPROOFING & PLUMBING

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED



	SPECIFICATION:	REVISION	1			OUSE DESIGN:	HOUSE CODE:	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY, CHECK	
10	DESIGNER 1	DRAFT SALES PLAN - CP1	MLG	10/10/2025	SOPHIE LOUISE EAMES & ISAAC ETHAN ALEXANDE OBYRNE	ASCOT 12	H-WDCASC10SA	AND VERIFY DIMENSIONS AND	ġ
Ш		DRAFT SALES PLAN - CP2	MLG	17/10/2025		ACADE DESIGN:	FACADE CODE:	LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL	i
)	© 2025	PLANS UPDATE	MLG	23/10/2025	8 CAPSTONE RISE, BLACKSTONE HEIGHTS TAS 7250	CLASSIC	F-WDCASC10CLASA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	5
)	4	PRELIM PLANS - INITIAL ISSUE	LTR	07/11/2025	LOT / SECTION / CT: COUNCIL: SH	HEET TITLE: SHEET NO	: SCALES:	711500	3
					726 / - / 184991   MEANDER VALLEY   G	GROUND FLOOR PLAN 4 / 19	1:100	714520	ō

Version: 1, Version Date: 01/12/2025

ARE SUBJECT TO CHANGE. SH = SNAP HEADER SILL

BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME

BRICKWORK AND CLADDING (EXPANSION

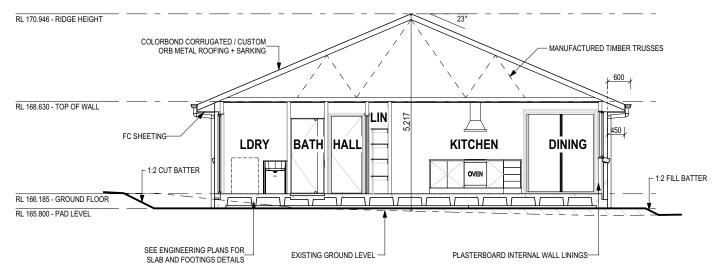
JOINTS, ORIENTATION AND LAYOUT) AND

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS: BRICK COURSING W-BRIC-001

-PAINTED FC SHEET OVER DOOR RL 170.946 - RIDGE HEIGHT COLORBOND CORRUGATED / CUSTOM ORB METAL ROOFING + SARKING RL 168.630 - TOP OF WALL 1:2 FILL BATTER RL 166.185 - GROUND FLOOR RL 165.800 - PAD LEVEL 88 x 88mm NOM. PRIMED ENTRY DOOR-ARTICULATED FACE BRICKWORK-EXISTING GROUND LEVEL

> SOUTH EAST ELEVATION SCALE: 1:100



**SECTION A-A** SCALE: 1:100



NORTH WEST ELEVATION SCALE: 1:100

**GLASS TYPE LEGEND** CLEAR OBSCURE



PLAN ACCEPTANCE BY OWNER SIGNATURE: DATE: SIGNATURE: DATE:

**SUBJECT TO NCC 2022** 

(1 MAY 2023) WATERPROOFING & PLUMBING

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REVISION DESIGNER DRAFT SALES PLAN - CP1 2 DRAFT SALES PLAN - CP2 3 PLANS UPDATE 4 PRELIM PLANS - INITIAL ISSUE

MLG 10/10/2025 SOPHIE LOUISE EAMES & ISAAC ETHAN ALEXANDE OBYRNE MLG 17/10/2025 ADDRESS: MLG 23/10/2025 8 CAPSTONE RISE, BLACKSTONE HEIGHTS TAS 7250 LTR 07/11/2025 LOT / SECTION / CT: MEANDER VALLEY 26 / - / 184991

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ASCOT 12 FACADE DESIGN: CLASSIC SHEET TITLE:

ELEVATIONS / SECTION

HOUSE CODE H-WDCASC10SA FACADE CODE: F-WDCASC10CLASA SHEET No.: SCALES:

5 / 19

1:100

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY, CHEC AND VERIFY DIMENSIONS AND I EVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. AL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

714520

Version: 1, Version Date: 01/12/2025

ARE SUBJECT TO CHANGE.

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC

REFER TO THE FOLLOWING DETAILS:

SH = SNAP HEADER SILL BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME

11.3.7 (VOLUME TWO)

**SUBJECT TO NCC 2022** 

(1 MAY 2023)

WATERPROOFING & PLUMBING

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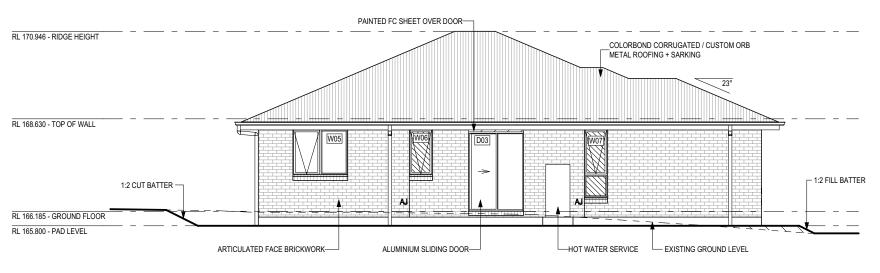
AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE

COMMENCEMENT OF ANY WORK. AL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

714520

BRICK COURSING W-BRIC-001

TWO)



SOUTH WEST ELEVATION SCALE: 1:100



#### NORTH EAST ELEVATION SCALE: 1:100

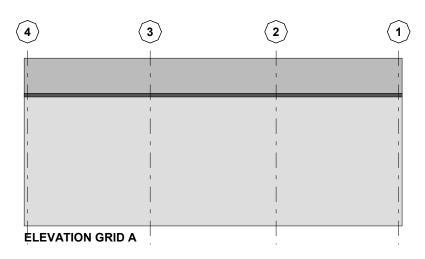
WINDOW TYPE LEGEND PLAN ACCEPTANCE BY OWNER SIGNATURE: DATE: GLASS TYPE LEGEND SIGNATURE: DATE: DOUBLE OBSCURE LOUVRE SLIDING HUNG PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

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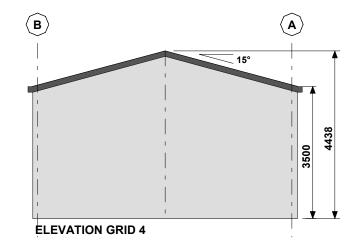


		IN ANT WAT REPRODUCE, COPT, WODIFT, USE OR TAKE I	ADVAIN	TAGE OF THE	DRAWING TO BOILD A HOUSE BASED ON THIS FLAN (WHETHER IN WHOLE OR IN FART) WITHOUT THE PRIOR WRITTEN C	ONSENT OF WILSON HOWES FIT LTD.		
CATION:		REVISION	0	DRAWN	CLIENT:	HOUSE DESIGN:		HOUSE CODE:
GNER	1	DRAFT SALES PLAN - CP1	MLG	10/10/2025	SOPHIE LOUISE EAMES & ISAAC ETHAN ALEXANDE OBYRNE	ASCOT 12		H-WDCASC10SA
GHT:	2	DRAFT SALES PLAN - CP2	MLG	17/10/2025	ADDRESS:	FACADE DESIGN:		FACADE CODE:
25	3	PLANS UPDATE	MLG	23/10/2025	8 CAPSTONE RISE, BLACKSTONE HEIGHTS TAS 7250	CLASSIC		F-WDCASC10CLASA
	4	PRELIM PLANS - INITIAL ISSUE	LTR	07/11/2025	LOT / SECTION / CT: COUNCIL:		SHEET No.:	SCALES:
					26 / - / 184991 MEANDER VALLEY	ELEVATIONS	6 / 19	1:100

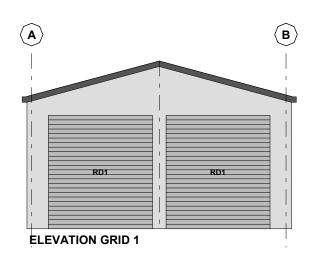
# SHED LEFT ELEVATION



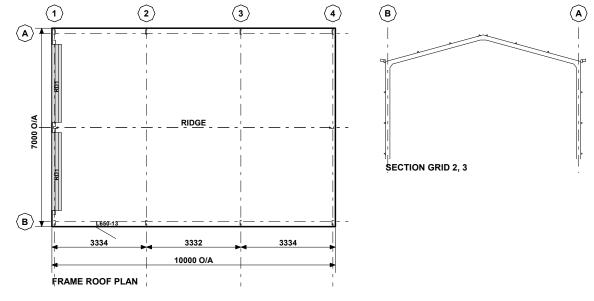
SHED FRONT ELEVATION



## SHED BACK ELEVATION



SHED FRONT ELEVATION



SHED FLOOR PLAN

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DESIGNER	1 DRAFT SALES PLAN - CP1	MLG 10/10/2025	SOPHIE LOUISE EA	MES & ISAAC ETHAN ALEXANDE OBYRNE	ASCOT 12		H-WDCASC10SA	FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND	<u>4</u>
COPYRIGHT:	2 DRAFT SALES PLAN - CP2	MLG 17/10/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:	LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL	n: 24
© 2025	3 PLANS UPDATE	MLG 23/10/2025	8 CAPSTONE RISE,	BLACKSTONE HEIGHTS TAS 7250	CLASSIC		F-WDCASC10CLASA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	/ersio
	4 PRELIM PLANS - INITIAL ISSUE	LTR 07/11/2025	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No	: SCALES:	711500	late \
			26 / - / 184991	MEANDER VALLEY	SHED FLEVATIONS	7 / 19		⊥ /14520 I	, E

STOREY	ID	CODE <sup>1</sup>	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL SILL TYPE	ORIENT.	GLAZING AREA (m²) GLAZING TYPE (SINGLE GLAZING U.N.O.)	ADDITIONAL INFORMATION <sup>2</sup>	
WINDOW	•												·	
GROUND FLOOR	W01	AFA1827	AWNING	BED 1	1,800	2,650	8,900	4.77	ALUMINIUM	BAL-LOW SNAP HEADER	SE	3.93 CLEAR, DOUBLE GLAZED	MP 883-883	
GROUND FLOOR	W02	AFA1827	AWNING	LIVING	1,800	2,650	8,900	4.77	ALUMINIUM	BAL-LOW SNAP HEADER	SE	3.93 CLEAR, DOUBLE GLAZED	MP 883-883	
GROUND FLOOR	W03	AFA1221	AWNING	DINING	1,200	2,050	6,500	2.46	ALUMINIUM	BAL-LOW ANGLED	NE	1.88 CLEAR, DOUBLE GLAZED	MP 683-683	
GROUND FLOOR	W04	AF1215	AWNING	BED 3	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-LOW ANGLED	NW	1.38 CLEAR, DOUBLE GLAZED	MP 725	
GROUND FLOOR	W05	AF1215	AWNING	BED 2	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-LOW ANGLED	SW	1.38 CLEAR, DOUBLE GLAZED	MP 725	
GROUND FLOOR	W06	A1206	AWNING	BATH	1,200	610	3,620	0.73	ALUMINIUM	BAL-LOW ANGLED	SW	0.52 OBSCURE, DOUBLE GLAZED, TOUGHENED		
GROUND FLOOR	W07	A/F1806	AWNING	ENS	1,800	610	4,820	1.10	ALUMINIUM	BAL-LOW ANGLED	SW	0.80 OBSCURE, DOUBLE GLAZED, TOUGHENED	BP 600	
							43,340 mm	17.31				13.83		
DOOR	•													
GROUND FLOOR	D01	HD2110R	SWINGING	ENTRY	2,100	970	6,140	2.04	ALUMINIUM	BAL-LOW SNAP HEADER	SE	1.41 NVA		
GROUND FLOOR	D02	FS2118	SLIDING	DINING	2,158	1,810	7,936	3.91	ALUMINIUM	BAL-LOW SNAP HEADER	NW	3.41 CLEAR, DOUBLE GLAZED, TOUGHENED		
GROUND FLOOR	D03	SF2115	SLIDING	LDRY	2,100	1,450	7,100	3.05	ALUMINIUM	BAL-LOW SNAP HEADER	SW	2.59 CLEAR, DOUBLE GLAZED, TOUGHENED		
							21,176 mm	8.99				7.41		
							64,516 mm	26.30				21.24		

STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
OOR	•						
GROUND FLOOR	1	1000 SS	SQUARE SET OPENING	2,155	1,000	N/A	
GROUND FLOOR	5	2 x 720	SWINGING	2,040	1,440	N/A	
GROUND FLOOR	1	620	SWINGING	2,040	620	N/A	
GROUND FLOOR	1	720	SWINGING	2,040	720	N/A	LIFT-OFF HINGES
GROUND FLOOR	3	820	SWINGING	2,040	820	N/A	
GROUND FLOOR	2	820	SWINGING	2,040	820	N/A	LIFT-OFF HINGES
GROUND FLOOR	1	820 CSD	CAVITY SLIDING	2,040	820	N/A	

PICTURE, TV RECESS AND SS WINDOW OPENINGS QTY TYPE HEIGHT WIDTH AREA (m²)

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$\mathbf{\cap}$	DESIGNER	1 DRAFT SALES PLAN - CP1	/ILG 10/10/2	SOPHIE LOUISE EAME	ES & ISAAC ETHAN ALEXANDE OBYRNE	ASCOT 12		H-WDCASC10SA	FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE  25.	į
ш	COPYRIGHT:	2 DRAFT SALES PLAN - CP2	/ILG 17/10/2	ADDRESS:		FACADE DESIGN:			COMMENCEMENT OF ANY WORK. ALL	:
	© 2025	3 PLANS UPDATE	/ILG 23/10/2	8 CAPSTONE RISE, BL	ACKSTONE HEIGHTS TAS 7250	CLASSIC		F-WDCASC10CLASA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	į
		4 PRELIM PLANS - INITIAL ISSUE	TR 07/11/2	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:		SCALES:	714520	į
				26 / - / 184991	MEANDER VALLEY	WINDOW & DOOR SCHEDULES	8 / 19		/ 1432U   <u> </u>	į

Window Manufacturer: Dowell Windows No BAL / BAL 12.5 U Value SHGC Window Type WERS Code Sliding Window DOW-022-003 0.64 2.9 Awning Window DOW-005-001 0.58 3.9 Fixed External Window DOW-038-001 3.03 0.71 Sliding Door DAR-034-001 0.63 Stacking Door DAR-034-001 3.97 0.63 0.55 Hinged Door DOW-017-001 4.1 Bi-Fold Door 0.54 DOW-020-001 4.1 BAL 19 Window Type **WERS Code** U Value SHGC Sliding Window TND-034-001 3.1 0.61 Awning Window STG-001-066 3.91 0.54 Fixed External Window DOW-038-005 0.66 3.02 Sliding Door AUW-009-009 0.58 4.03 Stacking Door AUW-009-009 4.03 0.58 Hinged Door 4.25 0.53 GRN-009-001 Bi-Fold Door DOW-020-001 4.1 0.54 **BAL 29** U Value SHGC Window Type WERS Code Sliding Window TND-034-001 3.1 0.61 Awning Window STG-001-066 3.91 0.54 Fixed External Window DOW-038-005 3.02 0.66 Sliding Door AMJ-007-005 4.03 0.59 0.59 Stacking Door AMJ-007-005 4.03 4.29 0.53 Hinged Door GRN-009-001

Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

> **SUBJECT TO NCC 2022** (1 MAY 2023)

WATERPROOFING & PLUMBING

PLAN ACCEPTA	NCE BY OWNER
SIGNATURE:	DATE:
SIGNATURE:	DATE:
PLEASE NOTE THAT VARIATION AFTER THIS PLAN ACCEPT	

SUSTAINABILITY REQUIREMENTS SITE CLASSIFICATION GENERAL BUILDING INFORMATION

NATURAL LIGHT A	ND VENTILATION	ON				
ROOM	AREA (m2)	WINDOW ID	LIGHT REQUIRED (m2)	LIGHT ACHIEVED (m2)	VENTILATION REQ'D (m2)	VENTILATION ACH'D (m2)
OPEN KITCHEN/ LIVING/	32.71 m²	W02, W03, D02	3.27 m²	9.22 m²	1.64 m²	6.28 m²
DINING	32.71111	W02, W03, D02	J.27 III	5.22 111	1.04 111	0.20 111
BED 1	14.61 m²	W01	1.46 m²	3.93 m²	0.73 m²	2.96 m²
BED 2	10.30 m²	W05	1.03 m²	1.38 m²	0.52 m²	0.79 m²
BED 3	11.34 m²	W04	1.13 m²	1.38 m²	0.57 m²	0.79 m²

PART 10.5.1 LIGHT: Minimum 10% of the floor area of a habitable room required (natural light)

PART 10.6 VENTILATION: Minimum 5% of the floor area of a habitable room required. (An exhaust fan may be used for sanitary compartment, laundry or bathroom provided contaminated air discharges directly to the outside of the building by way of ducts).

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PLAN ACCEPTA	ANCE BY OWNER
SIGNATURE:	DATE:
SIGNATURE:	DATE:
	TIONS WILL NOT BE ACCEPTED

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING: - SUSTAINABILITY REQUIREMENTS - SITE CLASSIFICATION - GENERAL BUILDING INFORMATION

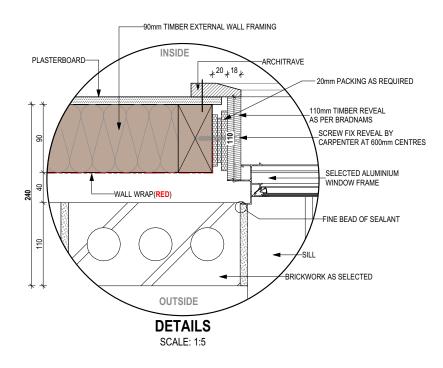
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DESIGNER	1 DRAFT SALES PLAN - CP1	MLG 10/10/202	SOPHIE LOUISE EAMES	S & ISAAC ETHAN ALEXANDE OBYRNE	ASCOT 12		H-WDCASC10SA	FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE	1.04
COPYRIGHT:	2 DRAFT SALES PLAN - CP2	MLG 17/10/202	ADDRESS:		FACADE DESIGN:		FACADE CODE:	COMMENCEMENT OF ANY WORK. ALL	
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	4 PRELIM PLANS - INITIAL ISSUE	LTR 07/11/202	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:	714520	ate
			<sup>□</sup> 26 / - / 184991	MEANDER VALLEY	CALCULATIONS	9 / 19		/ 14520	emb

990	3010		37 <sup>1</sup> 2	8990	Τ̈́	
10	3130	1114	38	9110	NOT OFTEN REQUIRED. IF NEEDED ADD 20 TO LENGTH.	3257
230	3250		38 <sup>1</sup> <sub>2</sub>	9230	ž	
350	3370	1200	39	9350		3343
170	3490		39 <sup>1</sup> 2	9470	2	
590	3610	1286	40	9590	0.	3429
'10	3730		40 <sup>1</sup> 2	9710		
30	3850	1372	41	9830	Q-	3514
950	3970		41 <sup>1</sup> 2	9950	_	
70	4090	1457	42	10070		3600
90	4210		42 <sup>1</sup> 2	10190	Ш	
310	4330	1543	43	10310	Z	3686
130	4450		431 2	10430	<u> </u>	
550	4570	1629	44	10550	ΞD	3772
670	4690		44 <sup>1</sup> 2	10670	꿑	
90	4810	1714	45	10790	20	3857
910	4930		45 <sup>1</sup> <sub>2</sub>	10910	Щ	
030	5050	1800	46	11030	Z	3943
50	5170		46 <sup>1</sup> <sub>2</sub>	11150	世	
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890	5410		47 <sup>1</sup> <sub>2</sub>	11390	Ė	
510	5530	1972	48	11510	9	4114
30	5650		48 <sup>1</sup> <sub>2</sub>	11630		
'50	5770	2057	49	11750		4200
370	5890		49 <sup>1</sup> <sub>2</sub>	11870		
90	6010	2143	50	11990		4286
10	6130		100	23990		8572

BRICKWORK DIMENSIONS Bricks per m² in wall +48.5 approx.   all dimensions in mm   BRICKWORK DIMENSIONS   per m² in wall +48.5 approx.   all dimensions in mm   BRICKWORK DIMENSIONS   per m² in wall +48.5 approx.   all dimensions in mm   BRICKWORK DIMENSIONS   per m² in wall +48.5 approx.   all dimensions in mm   BRICKWORK DIMENSIONS   per m² in wall +48.5 approx.   all dimensions in mm   BRICKWORK DIMENSIONS   per m² in wall +48.5 approx.   all dimensions in mm   BRICKWORK DIMENSIONS   per m² in wall +48.5 approx.   all dimensions in mm   BRICKWORK DIMENSIONS   per m² in wall +48.5 approx.   all dimensions in mm   BRICKWORK DIMENSIONS   per m² in wall +48.5 approx.   all dimensions in mm   BRICKWORK DIMENSIONS   per m² in wall +48.5 approx.   all dimensions in mm   BRICKWORK DIMENSIONS   per m² in wall +48.5 approx.   all dimensions in mm   BRICKWORK DIMENSIONS   per m² in wall +48.5 approx.   all dimensions in mm   BRICKWORK DIMENSIONS   per m² in wall +48.5 approx.   all dimensions in mm   BRICKWORK DIMENSIONS   per m² in wall +48.5 approx.   all dimensions in mm   BRICKWORK DIMENSIONS   per m² in wall +48.5 approx.   all dimensions in mm   BRICKWORK DIMENSIONS   per m² in wall +48.5 approx.   all dimensions in mm   BRICKWORK DIMENSIONS   per m² in wall +48.5 approx   all dimensions in mm   BRICKWORK DIMENSIONS   per m² in wall +48.5 approx   all dimensions in m²   all dimensi			017	אואטאוי	יוום סו						017	אואטאוי	יוום ס	) I \		
240x10x8em   230x10x6m   230x10x6m   27   Course to 60mm   240x10x8em   240x10x8em   230x10x6m   7 course to 60mm   240x10x8em   240x	BRICKWOR	K DIMENSIO	ONS Bricks p	er m² in wal	I = 48.5 appr	ox.	all dimen	sions in mm	BRICKWOR	K DIMENSIO	ONS Bricks p	er m² in wal	I = 48.5 appr	ox.	all dimer	sions in mm
1					NG SIZE:								NG SIZE:			
112   350   370   2612   6350   6370   11112   2750   2770   3612   6750   2770   2770   3612   6750   2770   27		LENGTH	OPENING	HEIGHT		LENGTH	OPENING	HEIGHT		LENGTH	OPENING	HEIGHT		LENGTH	OPENING	HEIGHT
2	1	230	250	86	26	6230	6250	2229	11	2630	2650	943	36 <sup>1</sup> 2	8630		3086
21	112	350	370		26 <sup>1</sup> 2	6350	6370		11 <sup>1</sup> 2	2750	2770		36 <sup>1</sup> 2	8750		
3	2	470	490	172	27	6470	6490	2314	12	2870	2890	1029	37	8870		3172
Si	212	590	610		27 <sup>1</sup> 2	6590	6610		12 <sup>1</sup> 2	2990	3010		37 <sup>1</sup> <sub>2</sub>	8990	Τ̈́	
Si	3	710	730	257	28	6710	6730	2400	13	3110	3130	1114	38	9110	ΞΞ	3257
Si	312	830	850		28 <sup>1</sup> 2	6830	6850		13 <sup>1</sup> 2	3230	3250		38 <sup>1</sup> 2	9230	Ž	
Si	4	950	970	343	29	6950	6970	2486	14	3350	3370	1200	39	9350	] "	3343
Si	412	1070	1090		29 <sup>1</sup> 2	7070	7090		14 <sup>1</sup> 2	3470	3490		39 <sup>1</sup> 2	9470	2	
Si	5	1190	1210	429	30	7190	7210	2572	15	3590	3610	1286	40	9590	0.	3429
1550	5 <sup>1</sup> <sub>2</sub>	1310	1330		30 <sup>1</sup> 2	7310	7330		15 <sup>1</sup> 2	3710	3730		40 <sup>1</sup> 2	9710		
1550	6	1430	1450	514	31	7430	7450	2657	16	3830	3850	1372	41	9830	δ	3514
812   2030   2050   3312   8030   8050   1812   4430   4450   4312   10430     9	6 <sup>1</sup> 2	1550	1570		31 <sup>1</sup> 2	7550	7570		16 <sup>1</sup> 2	3950	3970		41 <sup>1</sup> 2	9950		
812   2030   2050   3312   8030   8050   1812   4430   4450   4312   10430     9	7	1670	1690	600	32	7670	7690	2743	17	4070	4090	1457	42	10070		3600
812   2030   2050   3312   8030   8050   1812   4430   4450   4312   10430     9	712	1790	1810		32 <sup>1</sup> <sub>2</sub>	7790	7810		17 <sup>1</sup> 2	4190	4210		42 <sup>1</sup> 2	10190	Ш	
23¹₂     5630     5650     48¹₂     11630       24     5750     5770     2057     49     11750     4200       24¹₂     5870     5890     49¹₂     11870       25     5990     6010     2143     50     11990     4286	8	1910	1930	686	33	7910	7930	2829	18	4310	4330	1543	43	10310		3686
23¹₂     5630     5650     48¹₂     11630       24     5750     5770     2057     49     11750     4200       24¹₂     5870     5890     49¹₂     11870       25     5990     6010     2143     50     11990     4286	812	2030	2050		33 <sup>1</sup> <sub>2</sub>	8030	8050		18 <sup>1</sup> 2	4430	4450		43 <sup>1</sup> <sub>2</sub>	10430	≝	
23¹₂     5630     5650     48¹₂     11630       24     5750     5770     2057     49     11750     4200       24¹₂     5870     5890     49¹₂     11870       25     5990     6010     2143     50     11990     4286	9	2150	2170	772	34	8150	8170	2914	19	4550	4570	1629	44	10550	ΞĐ	3772
23¹₂     5630     5650     48¹₂     11630       24     5750     5770     2057     49     11750     4200       24¹₂     5870     5890     49¹₂     11870       25     5990     6010     2143     50     11990     4286	912	2270	2290		34 <sup>1</sup> 2	8270	8290		19 <sup>1</sup> 2	4670	4690		44 <sup>1</sup> 2	10670	<u> </u>	
23¹₂     5630     5650     48¹₂     11630       24     5750     5770     2057     49     11750     4200       24¹₂     5870     5890     49¹₂     11870       25     5990     6010     2143     50     11990     4286	10	2390	2410	857	35	8390	8400	3000	20	4790	4810	1714	45	10790	2	3857
23¹₂     5630     5650     48¹₂     11630       24     5750     5770     2057     49     11750     4200       24¹₂     5870     5890     49¹₂     11870       25     5990     6010     2143     50     11990     4286									2012	4910	4930		45 <sup>1</sup> <sub>2</sub>	10910	Æ	
23¹₂     5630     5650     48¹₂     11630       24     5750     5770     2057     49     11750     4200       24¹₂     5870     5890     49¹₂     11870       25     5990     6010     2143     50     11990     4286									21	5030	5050	1800	46	11030	Z	3943
23¹₂     5630     5650     48¹₂     11630       24     5750     5770     2057     49     11750     4200       24¹₂     5870     5890     49¹₂     11870       25     5990     6010     2143     50     11990     4286									2112	5150	5170		46¹ 2	11150		
23¹₂     5630     5650     48¹₂     11630       24     5750     5770     2057     49     11750     4200       24¹₂     5870     5890     49¹₂     11870       25     5990     6010     2143     50     11990     4286									22	5270	5290	1886	47	11270	] F	4029
23¹₂     5630     5650     48¹₂     11630       24     5750     5770     2057     49     11750     4200       24¹₂     5870     5890     49¹₂     11870       25     5990     6010     2143     50     11990     4286									2212	5390	5410		47 <sup>1</sup> <sub>2</sub>	11390	j –	
23¹₂     5630     5650     48¹₂     11630       24     5750     5770     2057     49     11750     4200       24¹₂     5870     5890     49¹₂     11870       25     5990     6010     2143     50     11990     4286									23	5510	5530	1972	48	11510	9	4114
2412     5870     5890     4912     11870       25     5990     6010     2143     50     11990     4286									2312	5630	5650		48¹ <sub>2</sub>	11630		
25         5990         6010         2143         50         11990         4286									24	5750	5770	2057	49	11750		4200
									2412	5870	5890		49 <sup>1</sup> <sub>2</sub>	11870		
2512         6110         6130         100         23990         8572									25	5990	6010	2143	50	11990		4286
									25 <sup>1</sup> <sub>2</sub>	6110	6130		100	23990		8572

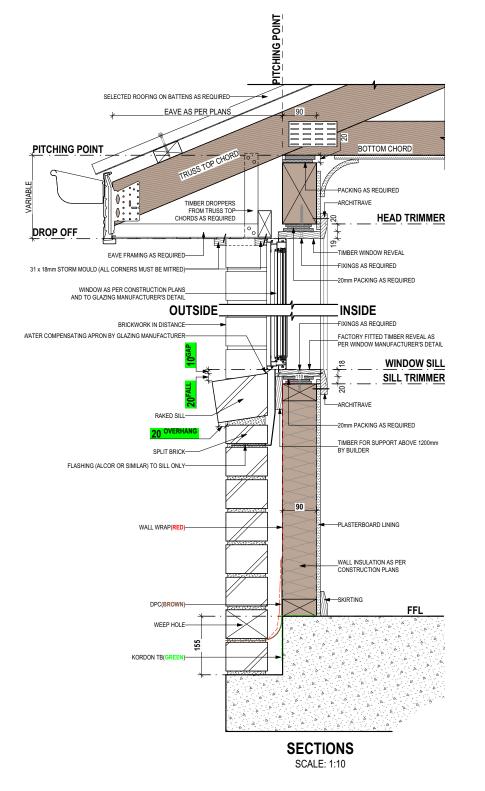


**SUBJECT TO NCC 2022** (1 MAY 2023) WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED



REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING: SUSTAINABILITY REQUIREMENTS SITE CLASSIFICATION GENERAL BUILDING INFORMATION

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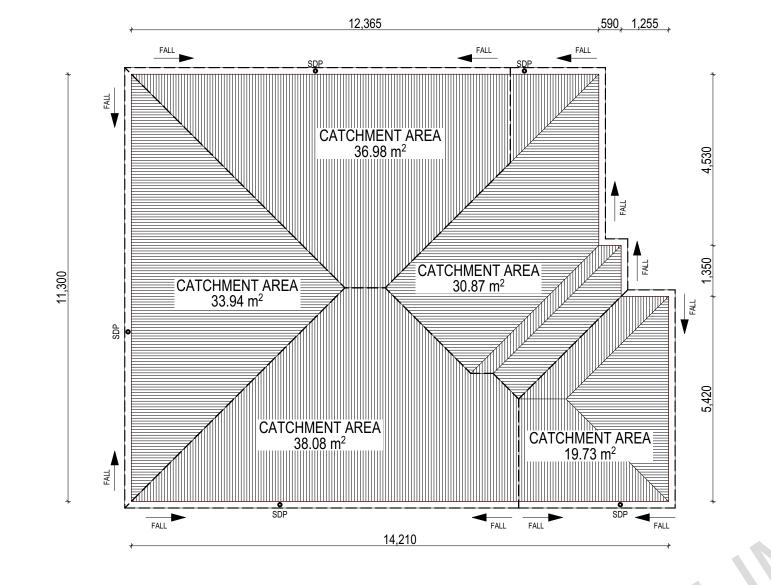
								·	
SPECIFICATION:		REVISION	0	RAWN	CLIENT:	HOUSE DESIGN:		HOUSE CODE:	DO NOT SCALE DRAWINGS, USE
DESIGNER	1	DRAFT SALES PLAN - CP1	MLG	10/10/2025	SOPHIE LOUISE EAMES & ISAAC ETHAN ALEXANDE OBYRNE	ASCOT 12		H-WDCASC10SA	FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE
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© 2025	3	PLANS UPDATE	MLG	23/10/2025	8 CAPSTONE RISE, BLACKSTONE HEIGHTS TAS 7250	CLASSIC		F-WDCASC10CLASA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	4	PRELIM PLANS - INITIAL ISSUE	LTR	07/11/2025	LOT/SECTION/CT: COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:	714520
					26 / - / 184991 MEANDER VALLEY	DETAILS (FACE BRICKWORK)	10 / 19		/ 145ZU

WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREA'S SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

Roofi	ng Data	
	150.52	Flat Roof Area (excluding gutter and slope factor) (m²)
	75.24	Roof Surface Area (includes slope factor, excludes gutter) (m²)
Dowr	pipe roof	calculations (as per AS/NZA3500.3:2021)
Ah	159.61	Area of roof catchment (including 115mm Slotted Quad Gutter) (m²)
Ac	193.13	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.21 for 23° pitch) (m²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm²)
DRI	91	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m²)
Required Downpipes	3.02	Ac / Acdp
Downpipes Provided	5	



SOFFIT EAVE VENT PROPOSED LOCATION TO BE MIN. 1M FROM CORNER JOINT

**SUBJECT TO NCC 2022** (1 MAY 2023) WATERPROOFING & PLUMBING

PLAN ACCEPTA	NCE BY OWNER
SIGNATURE:	DATE:
SIGNATURE:	DATE:
	ONS WILL NOT BE ACCEPTED
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DESIGNER	1	DRAFT SALES PLAN - CP1	MLG	10/10/2025	SOPHIE LOUISE EAMES	S & ISAAC ETHAN ALEXANDE OBYRNE	ASCOT 1	2		H-WDCASC10SA	FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE	.041
COPYRIGHT:	2	DRAFT SALES PLAN - CP2	MLG	17/10/2025	ADDRESS:		FACADE DESIG	GN:		FACADE CODE:	COMMENCEMENT OF ANY WORK. ALL	n: 24
© 2025	3	PLANS UPDATE	MLG	23/10/2025	8 CAPSTONE RISE, BLAC	CKSTONE HEIGHTS TAS 7250	CLASSIC			F-WDCASC10CLASA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	/ersio
	4	PRELIM PLANS - INITIAL ISSUE	LTR	07/11/2025	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:		SHEET No.:	SCALES:	74.4500	ate
					26 / - / 184991	MEANDER VALLEY	ROOF DE	RAINAGE PLAN	11 / 19	1:100	714520	Lemp

Version: 1, Version Date: 01/12/2025

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

#### **COVERINGS LEGEND**

NO COVERING

COVER GRADE CONCRETE

CARPET

LAMINATE

TILE (STANDARD WET AREAS)

TILE (UPGRADED AREAS)

DECKING



SUBJECT TO NCC 2022 (1 MAY 2023)

WATERPROOFING & PLUMBING

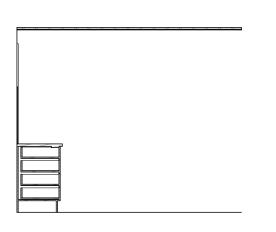
PLAN ACCEPTA	ANCE BY OWNER
SIGNATURE:	DATE:
SIGNATURE:	DATE:
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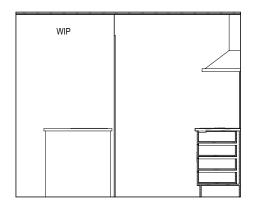


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DESIGNER	1 DRAFT SALES PLAN - CP1	MLG 10/10/2025	SOPHIE LOUISE EAMES & ISAAC ETHAN ALEXANDE OBYRNE	ASCOT 12	H-WDCASC10SA	FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE
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	4 PRELIM PLANS - INITIAL ISSUE	LTR 07/11/2025	LOT / SECTION / CT: COUNCIL:	SHEET TITLE:	SHEET No.: SCALES:	711500
			26 / - / 184991 MEANDER VALLEY	FLOOR COVERINGS	12 / 19 1.100	714520 I

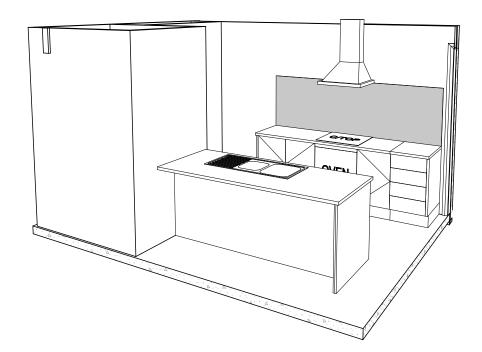
DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY. JOINER MAY ADJUST CABINETRY AS REQUIRED.



**ELEVATION A** SCALE: 1:50

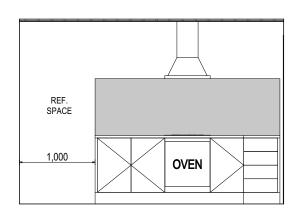


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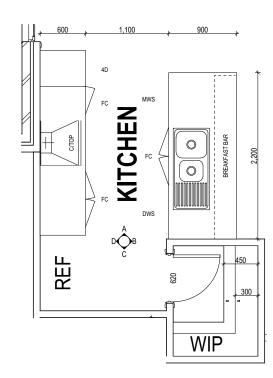


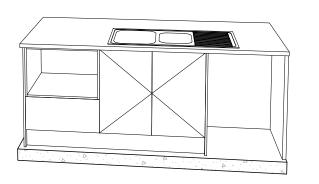
DWS

**ELEVATION B** SCALE: 1:50



**ELEVATION D** SCALE: 1:50





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n	DESIGNER	1 DRAFT SALES PLAN - CP1 MLG	10/10/2025	SOPHIE LOUISE EAMES & ISAAC ETHAN ALEXANDE OBYRNE	ASCOT 12	H-WDCASC10SA	FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE
UII	COPYRIGHT:	2 DRAFT SALES PLAN - CP2 MLG	17/10/2025	ADDRESS:	FACADE DESIGN:	FACADE CODE:	COMMENCEMENT OF ANY WORK. ALL
$\overline{C}$	© 2025	3 PLANS UPDATE MLG	23/10/2025	8 CAPSTONE RISE, BLACKSTONE HEIGHTS TAS 7250	CLASSIC	F-WDCASC10CLASA	DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
9		4 PRELIM PLANS - INITIAL ISSUE LTR	07/11/2025	LOT / SECTION / CT: COUNCIL:	l l	No.: SCALES:	711500
				26 / - / 184991 MEANDER VALLEY	KITCHEN DETAILS 13 /	19  1:50	714520

MIXER TAP

HOT TAP

COLD TAP

HOB SPOUT

WALL SPOUT

STOP COCK

TOILET ROLL HOLDER

TOWEL RAIL - SINGLE TR-D TOWEL RAIL - DOUBLE

TOWEL LADDER

TOWEL HOLDER

TOWEL RACK TMB TUMBLER HOLDER RNG TOWEL RING

ROBE HOOK

SHAMPOO RECESS SOAP SOAP HOLDER

MIX

HT

CT

HS

WS

SC

TRH

TR-S

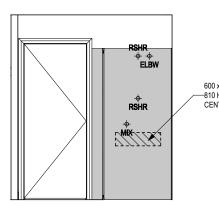
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SHLF SHELF SR



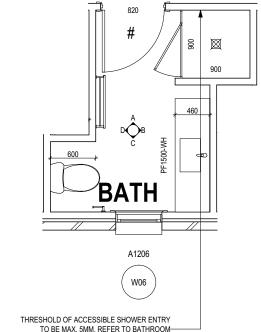
**ELEVATION A** 

SCALE: 1:50

600 x 150 NOGGINGS . 800--810 HEIGHT (CTR LINE).

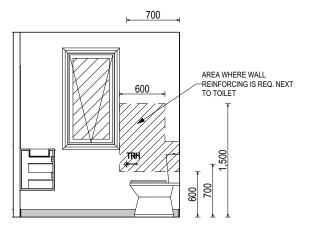
600 x 150 NOGGINGS . 800-810 HEIGHT (CTR LINE). OFFSET 250mm FROM WALL

**ELEVATION B** SCALE: 1:50

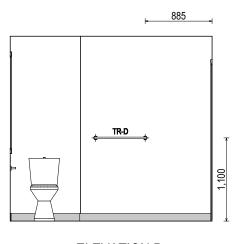


BATHROOM PLAN SCALE: 1:50

DETAILS FOR LHA NOGGING LOCATIONS



**ELEVATION C** SCALE: 1:50



**ELEVATION D** SCALE: 1:50

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$\cap$	DESIGNER	1	DRAFT SALES PLAN - CP1	MLG	10/10/2025	SOPHIE LOUISE EAMES	S & ISAAC ETHAN ALEXANDE
ш	COPYRIGHT:	2	DRAFT SALES PLAN - CP2	MLG	17/10/2025	ADDRESS:	
-	© 2025	3	PLANS UPDATE	MLG	23/10/2025	8 CAPSTONE RISE, BLA	CKSTONE HEIGHTS TAS 7250
		-	DDELUM DI ANIO INITIMI IOCUE		07/44/0005	LOT / CECTION / CT.	COLINCII :

DE OBYRNE MEANDER VALLEY 26 / - / 184991

HOUSE CODE ASCOT 12 H-WDCASC10SA FACADE DESIGN: FACADE CODE: CLASSIC F-WDCASC10CLASA SHEET TITLE: SHEET No.: SCALES: BATHROOM DETAILS 14 / 19 | 1:50

**SUBJECT TO NCC 2022** (1 MAY 2023) WATERPROOFING & PLUMBING PLAN ACCEPTANCE BY OWNER DATE: DATE:

SIGNATURE:

SIGNATURE:

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TOILET ROLL HOLDER TR-S TOWEL RAIL - SINGLE TR-D TOWEL RAIL - DOUBLE TL TOWEL LADDER TH TOWEL HOLDER TR TOWEL RACK TMB TUMBLER HOLDER RNG TOWEL RING

LEGEND

TRH

RH

SHLF SHELF

ROBE HOOK

SR SHAMPOO RECESS SOAP SOAP HOLDER

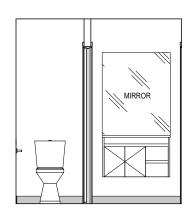
RSHR RAIL SHOWER

ROSE SHOWER ROSE SHOWER ELBOW ELBW CONNECTION MIX MIXER TAP HT HOT TAP CT COLD TAP HS HOB SPOUT WS WALL SPOUT SC STOP COCK

REFER TO THE FOLLOWING DETAILS: VANITY DETAILS G-VANI-001
WINDOW OVER BATH HOB D-WIND-ALU001

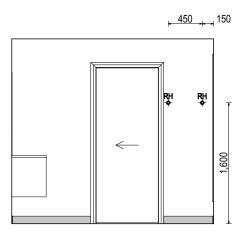
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WET AREA TILING LAYOUTS D-WETA-TILE002

SQUARE SET WINDOWS G-WIND-SSET02 FULL HEIGHT TILING D-LINI-WETA



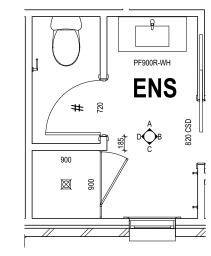
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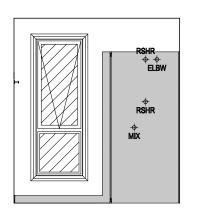


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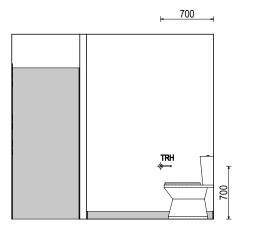
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**ENSUITE PLAN** SCALE: 1:50



**ELEVATION C** SCALE: 1:50



**ELEVATION D** SCALE: 1:50

(1 MAY 2023)

WATERPROOFING & PLUMBING

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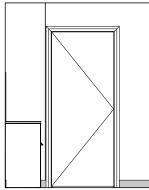
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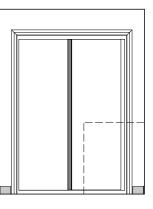
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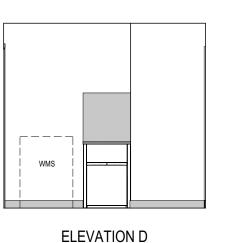


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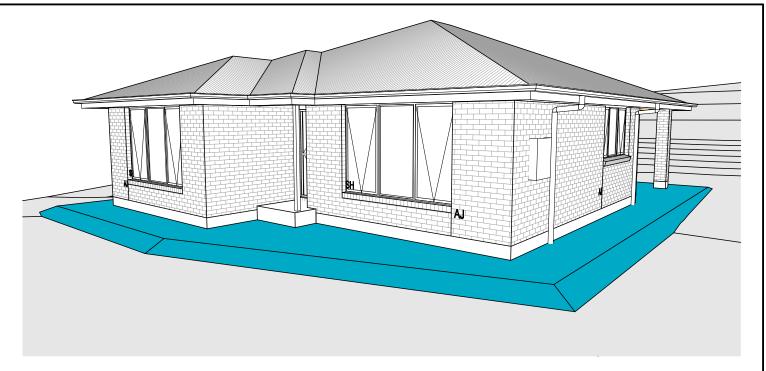
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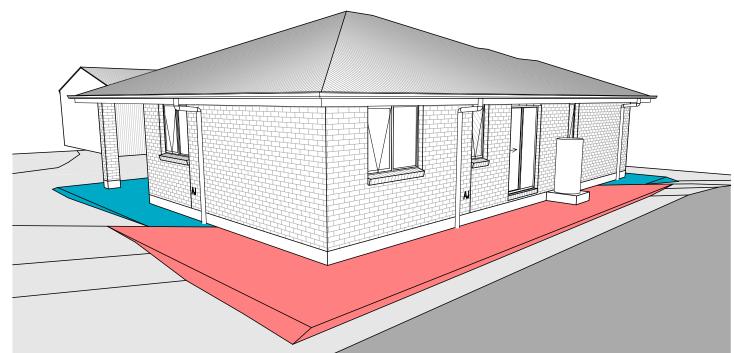
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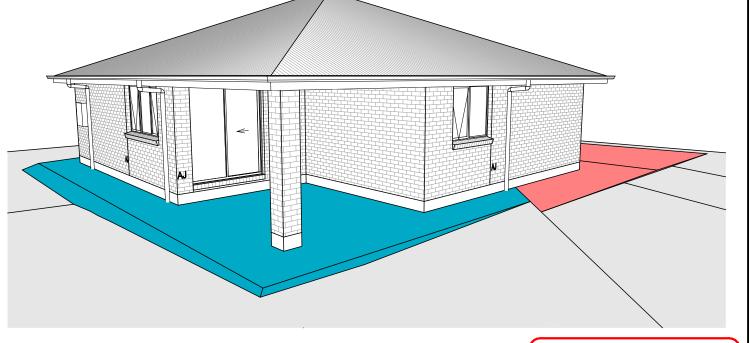
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- BUILDER TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC)
- INTERNAL DIMENSIONS ARE TO WALL FRAMING ONLY AND DO NOT INCLUDE WALL LININGS

#### SITE WORKS

**GENERAL** 

- CUT AND FILL BATTERS ARE INDICATIVE ONLY. BATTER TO COMPLY WITH THE NCC TABLE 3.2.1
- ALL CUTS AND FFL'S SHOWN (DA DRAWINGS) ARE SUBJECT TO ENGINEERING ADVICE ONCE À SATISFACTORY SOIL TEST HAS BEEN RECEIVED AND REVIEWED
- ALL EMBANKMENTS THAT ARE LEFT EXPOSED MUST BE STABILISED WITH VEGETATION OR SIMILAR TO PREVENT
- EMBANKMENTS CANNOT EXCEED 2.0m IN HEIGHT WITHOUT THE AID OF RETAINING WALLS OR OTHER APPROVED TYPES OF SOIL RETAINING METHODS
- ALL UNPROTECTED EMBANKMENTS MUST COMPLY WITH THE SLOPE RATIOS FOR SOIL TYPE IN TABLE 3.2.1 OF THE NCC

SOIL TYPE /	EMBANKMENT OF SLOPE				
CLASSIFICATION	COMPACTED FILL	CUT			
STABLE ROCK (A)	3:3	8:1			
SAND (A)	1:2	1:2			
SILT (P)	1:4	1:4			
FIRM CLAY	1:2	1:1			
SOFT CLAY	NOT SUITABLE	2:3			
SOFT SOILS (P)	NOT SUITABLE	NOT SUITABLE			

#### **MASONRY**

- ALL MASONRY TO BE CONSTRUCTED IN ACCORDANCE WITH AS3700
- EXTERNAL WALLS TO BE 110mm BRICKWORK UNLESS NOTED OTHERWISE
- MORTAR MIXED @ 1:1:6 CEMENT:LIME:SAND UNLESS STATED OTHERWISE BY ENGINEER
- DAMP-PROOF COURSE IN ALL PERIMETER WALLS CUT INTO EXTERNAL WALLS BELOW FLOOR LEVEL WITH WEEP HOLES @ 1200 CTRS IN ACCORDANCE WITH AS2904
- VERTICAL ARTICULATION JOINTS TO BE PROVIDED @ 6m MAX. CTRS FOR UNREINFORCED MASONARY WALLS EXCEPT WHERE BUILT ON CLASS A OR S SOIL AND SPACED AS PER AS3700 SECTION 12.6.4. WILSON HOMES REQUEST THAT @ 5M
- WHERE NECESSARY, STEEL LINTELS ARE TO BE PROVIDED IN ACCORDANCE WITH AS4100 AND AS3700a

#### **TIMBER FRAMING**

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT NCC
- ALL TIMBER FRAMING TO BE CARRIED OUT IN ACCORDANCE **WITH AS1684**
- MGP10 PINE FRAMING OR F17 SOLID AND FINGER JOINED FRAMING TO ALL STRUCTURAL COMPONENTS. 90 x 35mm FRAMING TO INTERNAL AND EXTERNAL WALLS. TIMBER COMPOSITE ENGINEERED ROOF TRUSSES WITH HARDWOOD AND MGP COMPONENTS
- GALVANISED WALL TIES TO MASONRY @ 450 CTRS HORIZONTALLY AND 600 CTRS VERTICALLY, WITH SPACING REDUCED BY 50% AROUND OPENINGS

#### **BRACING / LINTELS**

- WALL BRACING AS PER AS1684-2 2021 AND AS1170 WIND
- WALL BRACING AS SHOWN ON PLAN IS A MINIMUM ONLY. BUILDER TO PROVIDE ADDITIONAL BRACING TO SUIT THE CONSTRUCTION OF WALL FRAMES IN ACCORDANCE WITH GOOD BUILDING PRACTICE.
- PLYWOOD BRACING IN ACCORDANCE WITH AS1684 TABLE 8.18 (H) METHOD B. 900 WIDE SHEET PLY BRACING PANELS (6mm THICK F11 OR 4mm THICK F14) TO BE FIXED TO STUD FRAME WITH 2.8mm DIA x 30mm LONG MIN. FLAT HEAD NAILS.
- 65 x 19mm HW DIAGONAL TIMBER BRACING CHECKED INTO STUDS AND FIXED IN ACCORDANCE WITH AS1684

#### TIMBER LINTELS FOR SINGLE (OR UPPER STORY) TO BE F17 HARDWOOD AS FOLLOWS:

0 - 1500 120 x 35 1500 - 2400 140 x 35 2400 - 2700 190 x 35

TIEDOWN AND FIXING CONNECTIONS TO COMPLY WITH AS1684

#### STEEL LINTELS FOR SINGLE (OR UPPER STOREY) TO BE AS FOLLOWS:

0 - 2700 90 x 90 x 6 EA 2700 - 3200 100 x 100 x 8 EA 3200 - 4000 150 x 90 x 8 EA

#### \*LINTELS REQUIRE 150mm BEARING EITHER SIDE OF OPENING

ALL LINTEL SIZES SHOWN ARE SUBJECT TO ENGINEERS DETAILS

#### CONCRETE

- CONCRETE FOOTING AND SLABS TO BE IN ACCORDANCE WITH AS2870
- CONCRETE TO BE MANUFACTURED TO COMPLY WITH AS3600 AND:
- HAVE A STRENGTH @ 28 DAYS OF NOT LESS THAN 25MpA (N25 GRADE)
- HAVE A 20mm NOMINAL AGGREGATE SIZE
- HAVE A NOMINAL 80mm SLUMP
- CONCRETE SLAB TO BE LAID OVER 0.2mm POLYTHENE MEMBRANE, 50mm WELL BEDDED SAND AND MINIMUM COMPACTED FCR (20mm)
- SLAB THICKNESS AND REINFORCEMENT TO BE AS PER ENGINEERS DESIGN

#### **WINDOWS**

- WINDOWS TO BE ALUMINIUM FRAMED SLIDING UNLESS NOTED OTHERWISE
- ALL WINDOWS TO BE FABRICATED AND INSTALLED IN ACCORDANCE WITH AS1288 AND AS2047 TO SPECIFIC WIND SPEED AS PER ENGINEERS REPORT
- ALL OPENING WINDOWS TO COMPLY WITH NCC 8 **REQUIREMENTS**
- AS PER NCC 11.3.6 ALL BEDROOM WINDOWS WHERE THE LOWEST OPENABLE PORTION OF THE WINDOW IS WITHIN 1.7m OF FFL AND THE FFL IS 2m OR MORE ABOVE NGL. REQUIRE A PERMANANTLY FIXED DEVICE RESTRICTING ANY OPENINGS OF THE WINDOW OR SCREEN SO THAT A 125mm SPHERE CANNOT PASS THROUGH: AND RESISTING OUTWARDS HORIZONTAL ACTION OF 250N AGAINST THE WINDOW. WHERE THE DEVICE OR SCREEN CAN BE REMOVED, UNLOCKED OR OVER-RIDDEN. THE DEVICE OR SCREEN MUST HAVE A CHILD RESISTANT RELEASE MECHANISM INSTALLED AND BARRIER BELOW THE WINDOW THAT IS 865mm HIGH ABOVE FFL AND RESTRICTS ANY OPENING WITHIN THE BARRIER SO THAT A 125mm SPHERE CANNOT PASS THROUGH, AND HAS NO HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150mm AND 760mm FROM FFL.
- GLAZING INSTALLED IN AREAS WITH HIGH POTENTIAL FOR HUMAN IMPACT TO COMPLY WITH NCC PART 8.4

#### DRAINAGE / WATER

- DRAINAGE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS3500 AND LOCAL AUTHORITY
- STORMWATER PIPES TO BE UPVC CLASS HD
- SEWER PIPES TO BE UPVC CLASS SH
- PROVIDE Ø20mm K2 POLYETHYLENE WATER RETICULATION
- TYPE B STOP VALVE TO BE LOCATED ADJACENT TO ENTRY
- BACKFILL ALL TRENCHES BENEATH VEHICLE PAVEMENT AND SLABS ON GRADE TO FULL DEPTH WITH 20 FCR
- PROVIDE OVERFLOW RELIEF GULLY WITH TAP OVER. INVERT LEVEL TO BE 150 MIN. BELOW LOWEST SANITARY DRAINAGE POINT
- CUT AND BATTER ARE INDICATIVE. BATTER TO COMPLY WITH CURRENT NCC TABLE 3.1.1.1
- AG DRAIN REQUIRED AROUND PERIMETER OF DWELLING FOR ALL CLASS M, H, E SITES. LOCATE AG DRAIN NOT CLOSER THAN 1.5m FROM FOOTINGS IN ACCORDANCE WITH AS2870 SECTION 5.6
- PROVIDE SURFACE DRAINAGE IN ACCORDANCE WITH AS2870 SECTION 5.6.3
- PROVIDE FLEXIBLE JOINTS IN ALL DRAINAGE EMERGING FROM UNDERNEATH OR ATTACHED TO BUILDING IN ACCORDANCE WITH AS2870 SECTION 5.6.4 FOR ALL CLASS H AND E SITES. REFER TO GEOTECH FOR FURTHER INFORMATION
- DOWNPIPES AND GUTTERS DESIGNED IN ACCORDANCE WITH AS/NZS 3500 3

#### STAIRCASES / BALUSTRADES / HANDRAILS

STAIR TREADS 240mm MIN. - 355mm MAX. STAIR RISERS 115mm MIN. - 190mm MAX.

- HANDRAIL REQUIRED WHERE CHANGE OF LEVEL BETWEEN FLOOR / LANDINGS > 1m AS PER CURRENT NCC 11.3.5
- NO GAPS IN STAIRCASES OR BALUSTRADE TO BE GREATER THAN 125mm
- BALUSTRADE REQUIRED WHERE LEVEL OF LANDING OR DECK IS GREATER THAN 1000mm ABOVE ADJACENT GROUND LEVEL
- BALUSTRADE TO BE MINIMUM 1000mm ABOVE FFL (INCLUDING ANY FLOOR COVERINGS)
- DOORS OPENING OUTWARDS EXTERNALLY MUST OPEN TO A LANDING (MIN. 750mm WIDE) WHERE THE DIFFERENCE IN LEVELS IS GREATER THAN 570mm
- NON-SLIP TREADS TO ALL TREADS AND TO COMPLY WITH NCC 11.2.4
- WHERE LANDINGS ARE NOT NOMINATED TO EXTERNAL DOORS. OPERATING DOOR LEAFS ARE TO BE SCREWED FIXED SHUT, OR PROVIDED WITH A FORMED FCR LANDING NOMINALLY 180mm BELOW FLOOR LEVEL.
- GLAZED BALUSTRADE AND HANDRAILS TO COMPLY WITH NCC PART 8.4, 11.3 AND AS1288 REQUIREMENTS

#### ROOFING

- ROOF TO BE COLORBOND 'CUSTOM ORB' METALDECK UNLESS NOTED OTHERWISE. PROVIDED AND INSTALLED IN ACCORDANCE WITH AS1562.1 (IF TILED REFER TO AS2050)
- PREFABRICATED ROOF TRUSSES TO BE SUPPLIED AND INSTALLED TO MANUFACTURERS SPECIFICATIONS, TRUSS MANUFACTURER TO CONFIRM LINTEL SIZES.

#### **ELECTRICAL**

- EXHAUST FAN TO COMPLY WITH CURRENT NCC PART 10.6.2 SECTION C
- EXHAUST FANS TO BE SEALED AND DUCTED TO OUTSIDE OF DWELLING IN ACCORDANCE WITH NCC VOLUME 2, PARTS 10.8.2 AND 10.8.3
- IF VENTING OCCURS DIRECTLY THROUGH WALLS/ROOF ADJACENT TO FAN. THEN UNIT REQUIRES SELF CLOSING BAFFLES TO BE CLASSIFIED AS A SEALED UNIT
- ELECTRICIAN IS TO ENSURE THAT ALL GPO'S IN WET AREAS MEET ALL STANDARD AND CODE REQUIREMENTS - ALL GPO'S TO BE 300mm FROM FFL UNLESS NOTED OTHERWISE

#### **WET AREAS**

- WALLS TO WET AREAS TO BE FINISHED WITH WET AREA PLASTERBOARD
- COMPLIANCE WITH NCC PART 10.2 AND AS3740
- ALL UNENCLOSED SHOWERS ABOVE BATHS TO HAVE MINIMUM 900mm SHOWER SCREEN OR FLOORWASTE WITHIN 1500mm OF SHOWER CONNECTION AS PER AS3740

**GENERAL NOTES** 

#### **WOOD HEATERS**

/ TIMBER)

CONDENSATION

- ALL WOOD HEATERS ARE TO COMPLY WITH MANUFACTURERS SPECIFICATION AND NCC PART 12.4

- IN STANDARD ROOF SPACES. IT IS HIGHLY RECOMMENDED TO

INSULATION AROUND THE BUILDING PERIMETER, TO ENSURE

CLADDING IS BATTENED OUT FROM STUDS (METAL / FC SHEET

PROVIDE SEPARATION BETWEEN SARKING AND CEILING

AIRFLOW FROM EAVE VENTS IS MAINTAINED

- IT IS HIGHLY RECOMMENDED THAT ALL LIGHTWEIGHT

#### FIRE SAFETY

- SMOKE ALARMS TO BE MAINS POWERED AND INSTALLED AS PER AS3786. LOCATIONS AS PER NCC 9.5.
- SMOKE ALARMS TO BE INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM
- INSTALLATION OF WOOD HEATERS TO COMPLY WITH AS2918. PROVIDE LOCAL AUTHORITIES WITH INSULATION AND **COMPLIANCE CERTIFICATES**

**SUBJECT TO NCC 2022** (1 MAY 2023)

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DRAWN MLG 17/10/2025 ADDRESS: LTR 07/11/2025 LOT / SECTION / CT: 26 / - / 184991

MLG 10/10/2025 SOPHIE LOUISE EAMES & ISAAC ETHAN ALEXANDE OBYRNE MLG 23/10/2025 8 CAPSTONE RISE, BLACKSTONE HEIGHTS TAS 7250 COUNCIL:

**MEANDER VALLEY** 

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## **ENERGY EFFICIENCY - GENERAL**

STATED R VALUES ARE FOR ADDITIONAL INSULATION REQUIRED AND ARE NOT RT VALUES (TOTAL SYSTEM VALUE)

INSULATION TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND ANY RELEVANT STANDARDS

BULK INSULATION IS NOT TO BE COMPRESSED AS THIS REDUCES THE FFFFCTIVE R RATING

#### WAFFLE POD ALLOWANCES:

- R0.6 175mm DEEP
- R0 7 225mm DEEP - R0.8 - 300mm DEEF
- R0.9 375mm DEEP

#### N.C.C 2022 TAS PART H6

IN TASMANIA. FOR NCC PART H6 REFER TO NCC 2019 AMENDMENT 1 PART 2.6; FOR NCC PART 13.1 REFER TO NCC 2019 PART 3.12

#### N.C.C 2019 3.12.0 (A)

PERFORMANCE REQUIREMENT P2.6.1 FOR THE THERMAL PERFORMANCE OF THE BUILDING IS SATISFIED BY COMPLYING WITH

#### 3.12.0.1 - FOR REDUCING THE HEATING AND COOLING LOADS

TO REDUCE HEATING AND COOLING LOADS MUST ACHIEVE AN ENERGY RATING USING HOUSING ENERGY RATING SOFTWARE OF NOT LESS THAN 6

#### 3.12.1.1 - FOR BUILDING FABRIC THERMAL INSULATION

BUILDER TO ENSURE THAT ALL INSULATION COMPLIES WITH AS/NZS 4859.1 AND BE INSTALLED TO N.C.C 3.12.1.1

#### 3.12.1.2(e) - FOR COMPENSATING FOR A LOSS OF CEILING INSULATION REFER TO ATTACHED THERMAL PERFORMANCE CERTIFICATE

- (i) IF ALLOWANCE HAS BEEN MADE FOR CEILING PENERATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN NO FURTHER ACTION REQUIRED.
- (ii) IF NO ALLOWANCE HAS BEEN MADE FOR CEILING PENETRATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN CEILING PENETRATION AREA MUST BE CALCULATED AND THE NECESSARY ADJUSTMENT MADE TO THE SPECIFIED INSULATION AS PER TABLE 3.12.1.1B OF NCC

#### 3.12.1.5(c) AND 3.12.1.5(d) - FOR FLOOR EDGE INSULATION FOR CONCRETE SLAB ON GROUNG WITH IN SLAB HEATING OR COOLING.

#### 3.12.3 - FOR BUILDING SEALING

3.12.3.1 - CHIMNEYS AND FLUES

THE CHIMNEY OR FLUE OF AN OPEN SOLID FUEL BURNING APPLIANCE MUST BE PROVIDED WITH A DAMPER OR FLAP THAT CAN BE CLOSED TO SEAL THE

- 3.12.3.2 ROOF LIGHTS
  (a) A ROOF LIGHT MUST BE SEALED, OR CAPABLE OF BEING SEALED WHEN
- (i) A CONDITIONED SPACE; OR
- A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8
- (b) A ROOF LIGHT REQUIRED BY (a) TO BE SEALED, OR CAPABLE OF BEING SEALED MUST BE CONSTRUCTED WITH
  - (i) AN IMPERFORATE CEILING DIFFUSER OR THE LIKE INSTALLED AT A CEILING OR INTERNAL LINING LEVEL; OR
- (ii) A WATERPROOF SEAL: OR
- (iii) A SHUTTER SYSTEM READILY OPERATED MANUALLY, MECHANICALLY OR ELECTRONICALLY BY THE OCCUPANT

- 3.12.0.1 EXTERNAL WINDOWS AND DOORS

  (a) A SEAL TO RESTRIC AIR INFILTRATION MUST BE FITTED TO EACH OF AN EXTERNAL DOOR, OPENABLE WINDOW AND OTHER SUCH OPENING
- WHEN SERVING A CONDITIONED SPACE; OR
- (II) IN CLIMATE ZONES 4, 5, 6, 7 OR 8, WHEN SERVING A HABITABLE ROOM
- (b) A WINDOW COMPLYING WITH THE MAXIMUM AIR INFILTRATION RATES SPECIFIED IN AS2047 NEED NOT COMPLY WITH (a)
- (c) A SEAL REQUIRED BY (a)
- (i) FOR THE BOTTOM EDGE OF AN INTERNAL SWING DOOR, MUST BE A DRAFT PROTECTION DEVICE; AND
- (ii) FOR THE OTHER EDGES OF AN EXTERNAL SWING DOOR OR THE EDGES OF AN OPENABLE WINDOW OR OTHER SUCH OPENING, MAY BE A FOAM OR RUBBER COMPRESSIBLE STRIP, FIBROUS SEAL OR

#### 3.12.3.4 - EXHAUST FANS

AN EXHAUST FAN MUST BE FITTED WITH A SEALING DEVICE SUCH AS A SELF CLOSE DAMPER. FILTER OR THE LIKE WHEN SERVING

(a) A CONDITIONED SPACE: OR

(b) A HABITABLE ROOM IN THE CLIMATE ZONES 4, 5, 6, 7 OR 8.

#### 3.12.3.5 - CONSTRUCTION OF ROOF, WALLS AND FLOORS

- (a) ROOFS, EXTERNAL WALLS, EXTERNAL FLOORS AND AN OPENING SUCH AS A WINDOW FRAME, DOOR FRAME, ROOF LIGHT FRAME OR THE LIKE MUST BE CONSTRUCTED TO MINIMISE AIR LEAKAGE IN ACCORDANCE WITH (b) WHEN FORMING PART OF THE EXTERNAL FABRIC OF:
- (i) A CONDITIONED SPACE; OR
- (ii) A HABITABLE ROOM IN CLIMATE ZONE 4, 5, 6, 7 OR 8.
- (b) CONSTRUCTION REQUIRED BY (a) MUST BE:
- ENCLOSED BY AN INTERNAL LINING SYSTEM THAT ARE CLOSE FITTING AT CEILING, WALL AND FLOOR JUNCTIONS; OR
- (ii) SEALED BY CAULKING, SKIRTING, ARCHITRAVES, CORNICES OR THE

#### 3.12.3.6 - EVAPORATIVE COOLERS

AN EVAPORATIVE COOLER MUST BE FITTED WITH A SELF CLOSING DAMPER OR THE LIKE WHEN SERVING

(a) A HEATED SPACE: OR

(b) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8.

#### 3.12.5.5 - ARTIFICIAL LIGHTING

- (a) LAMP POWER DENSITY OR ILLUMINATION POWER DENSITY OF AN ARTIFICIAL LIGHT, EXCLUDING HEATING THAT EMITS LIGHT, MUST NOT EXCEED THE ALLOWANCE OF
- (i) 5W/m2 IN A CLASS 1 BUILDING
- (ii) 4W/m² ON A VERANDAH, BALCONY OR THE LIKE ATTACHED TO A CLASS 1 BUILDING (NOT EXCLUDING EAVE PERIMETER LIGHTS);
- (iii) 3W/m2 IN A CLASS 10A BUILDING ASSOCIATED WITH A CLASS 1 BUILDING.
- (b) THE ILLUMINATION POWER DENSITY ALLOWANCE IN (a) MAY BE INCREASED BY DIVIDING IT BY THE ILLUMINATION POWER DENSITY ADJUSTMENT FACTOR FOR A CONTROL DEVICE AS PER N.C.C TABLE 3.12.5.3

#### SUBJECT TO NCC 2022 (1 MAY 2023)

WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER					
SIGNATURE:	DATE:	1.JOB\714520			
SIGNATURE:	DATE:	D:WILSON/1			
		<u>.</u>			
PLEASE NOTE THAT VARIATION AFTER THIS PLAN ACCEPTA		ocation:			
/ II I LIX II IIIO I LAIV AGOLI IA	THOSE THE DELETE GIGINED				

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HOUSE CODE DO NOT SCALE DRAWINGS, USE REVISION IGURED DIMENSIONS ONLY, CHEC DESIGNER MLG 10/10/2025 SOPHIE LOUISE EAMES & ISAAC ETHAN ALEXANDE OBYRNE ASCOT 12 H-WDCASC10SA DRAFT SALES PLAN - CP1 AND VERIFY DIMENSIONS AND I EVELS PRIOR TO THE MLG 17/10/2025 ADDRESS: FACADE DESIGN FACADE CODE: 2 DRAFT SALES PLAN - CP2 MLG 23/10/2025 8 CAPSTONE RISE, BLACKSTONE HEIGHTS TAS 7250 **CLASSIC** F-WDCASC10CLASA 3 PLANS UPDATE TO THE DRAFTING OFFICE. LTR 07/11/2025 LOT / SECTION / CT: SHEET TITLE: SHEET No : 4 PRELIM PLANS - INITIAL ISSUE COUNCIL: SCALES: 714520 26 / - / 184991 **MEANDER VALLEY** WET AREA & ENERGY EFFICIENCY NOTES 19 / 19

**WET AREA NOTES** 

FLOORS AND

HORIZONTAL SURFACES

WATERPROOF ENTIRE ENCLOSED

WATERPROOF ENTIRE ENCLOSED

WATERPROOF ENTIRE ENCLOSED

WATERPROOF ENTIRE UNCLOSED

WATER RESISTANT TO ENTIRE FLOOR.

WATER RESISTANT TO ENTIRE FLOOR

N/A FOR FLOOR LINDER BATH, ANY

SPA MUST BE WATERPROOF AND

VESSEL LIP

N/A

SHELF AREA ADJOINING THE BATH OR

INCLUDE A WATERSTOP UNDER THE

WATER RESISTANT TO ENTIRE FLOOR.

ACCORDANCE WITH AS3740 PART 10.2 OF N.C.C. AND TO NOTIFY THE RUIL DING SURVEYOR FOR INSPECTION ARRANGEMENTS DURING INSTALLATION.

WATERPROOF ENTIRE FLOOR.

SHOWER AREA INCLUDING THE

STEPDOWN

SHOWER AREA

N/A

SHOWER AREA INCLUDING

SHOWER AREA INCLUDING HOR

WALLS

WATERPROOF TO NOT LESS THAN 150mm ABOVE THE

ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH

WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mn

WATERPROOF TO NOT LESS THAN 150mm ABOVE THE

SHOWER FLOOR SUBSTRATE WITH THE REMAINDER

1800mm ABOVE THE FINISHED FLOOR LEVEL

ABOVE THE MAXIMUM RETAINED WATER LEVEL

1800mm ABOVE THE FINISHED FLOOR LEVEL

ABOVE FINISHED FLOOR LEVEL.

N/A

THE WALL

SEALED TO FLOOR.

BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN

WATERPROOF TO NOT LESS THAN 150mm ABOVE THE

WHICHEVER IS THE GREATER WITH THE REMAINDER

BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN

WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm

WATERPROOF TO NOT LESS THAN 150mm ABOVE THE

SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm

ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH

WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.

WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm

ABOVE THE VESSEL AND EXPOSED SURFACES BELOW

WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm

ABOVE THE VESSEL AND EXPOSED SURFACES BELOW

N/A FOR WALL LINDER BATH, WATERPROOF TO NOT

WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm

ABOVE THE VESSEL IF THE VESSEL IS WITHIN 75mm OF

WATERPROOF ALL WALL/FLOOR JUNCTIONS TO NOT

THE ABOVE INFORMATION IS FOR GENERAL GUIDANCE AND IS INDICATIVE ONLY. WATERPROOFING INSTALLERS TO COMPLY WITH ALL CURRENT CODES OF LEGISLATION WHICH TAKE PRECEDENCE OVER THIS SPECIFICATION.

WET AREA WAERPROOFING BY LICENSED AND ACCREDITED INSTALLER. CERTIFICATION TO BE PROVIDED TO BUILDING SURVEYOR. CONTRACTOR OR BUILDER TO DETERMINE THE APPROPRIATE WATERPROOFING IN

LESS THAN 25mm ABOVE THE FINISHED FLOOR LEVEL,

LESS THAN 150mm ABOVE THE LIP OF THE BATH.

THE VESSEL LIP TO FLOOR LEVEL

THE VESSEL LIP TO FLOOR LEVEL.

EVER IS THE GREATER WITH THE REMAINDER BEING

SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm

EVER IS THE GREATER WITH THE REMAINDER BEING

ABOVE THE FINISHED FLOOR LEVEL

SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm

WALL JUNCTIONS AND JOINTS

SIDE OF THE JUNCTION.

WATERPROOF INTERNAL AND EXTERNAL

CORNERS AND HORIZONTAL JOINTS WITHIN A

HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL

WITH NOT LESS THAN 40mm WIDTH EITHER

WATERPROOF INTERNAL AND EXTERNAL

CORNERS AND HORIZONTAL JOINTS WITHIN A

HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL

CORNERS AND HORIZONTAL JOINTS WITHIN A

HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL

WITH NOT LESS THAN 40mm WIDTH EITHER

WATERPROOF INTERNAL AND EXTERNAL

WATERPROOF INTERNAL AND EXTERNAL

CORNERS AND HORIZONTAL JOINTS WITHIN A

HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL

WITH NOT LESS THAN 40mm WIDTH EITHER

WATERPROOF ALL WALL/FLOOR JUNCTIONS.

WATERPROOF ALL WALL/FLOOR JUNCTIONS.

WATERPROOF EDGES OF THE VESSEL AND

JUNCTION OF BATH ENCLOSURE WITH FLOOR.

WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE

WATERPROOF FOR SHOWERS OVER BATH AND

WATER RESISTANT FOR ALL OTHER CASES.

WATERPROOF EDGES OF THE VESSEL AND

JUNCTION OF BATH ENCLOSURE WITH FLOOR.

WHERE THE LIP OF THE BATH IS SUPPORTED

BY A HORIZONTAL SURFACE, THIS MUST BE

WATER RESISTANT FOR ALL OTHER CASES

WATERPROOF FOR SHOWERS OVER BATH AND

N/A FOR WALL LINDER BATH WATERPRROF TO

NOT LESS THAN 150 mm ABOVE THE LIP OF A

WHERE THE VESSEL IS FIXED TO A WALL

WATERPROOF EDGES FOR EXTENT OF VESSEL

WATERPROOF ALL WALL/FLOOR JUNCTIONS.

LEG MUST BE NOT LESS THAN 40mm

WHERE A FLASHING IS USED THE HORIZONTAL

BATH OR SPA.

WHERE A FLASHING IS USED THE HORIZONTAL

LEG MUST BE NOT LESS THAN 40mm

LEG MUST BE NOT LESS THAN 40mm

WHERE A FLASHING IS USED THE HORIZONTAL

CORNERS AND HORIZONTAL JOINTS WITHIN A

HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER

WITH NOT LESS THAN 40mm WIDTH EITHER

WATERPROOF INTERNAL AND EXTERNAL

PENETRATIONS

PENETRATIONS

WATERPROOF ALL

WATERPROOF ALL

WATERPROOF ALL

WATERPROOF ALL

ENETRATIONS.

WATERPROOF ALL

WATERPROOF ALL TAP AND

SPOUT PENETRATIONS

HORIZONTAL SURFACE

VHERE THEY OCCUR IN A

WATERPROOF ALL TAP AND SPOUT PENETRATIONS

WHERE THEY OCCUR IN A

WATERPROOF ALL TAP AND

SPOUT PENETRATIONS

HORIZONTAL SURFACE.

POUT PENETRATIONS

HORIZONTAL SURFACE

WHERE THEY OCCUR IN A

WHERE THEY OCCUR IN A

WATERPROOF ALL TAP AND

IORIZONTAL SURFACE.

PENETRATIONS

N/A

N/A

PENETRATIONS.

PENETRATIONS

VESSELS OR AREA WHERE

THE FIXTURE IS INSTALLED

ENCLOSED SHOWER WITH HOB

ENCLOSED SHOWER WITHOUT HOB

ENCLOSED SHOWER WITH STEPDOWN

ENCLOSED SHOWER WITH PRE-FORMED

AREAS OUTSIDE THE SHOWER AREA FOR

AREAS OUTSIDE THE SHOWER AREA FOR

PARTICLEBOARD, PLYWOOD AND OTHER

AREAS ADJACENT TO BATHS AND SPAS FOR

AREAS ADJACENT TO BATHS AND SPAS (SEE | WATERPROOF ENTIRE FLOOR.

TIMBER BASED EL CORING MATERIALS

CONCRETE AND COMPRESSED FIBRE

NOTE 1) FOR TIMBER FLOORS INCLUDING

PARTICLEBOARD, PLYWOOD AND OTHER

WALLS ADJOINING OTHER VESSELS (EG.

SINKS, LAUNDRY TUBS AND BASINS)

TIMBER BASED FLOORING MATERIALS.

CONCRETE AND COMPRESSED FIBRE

CEMENT SHEET FLOORING

TIMBER FLOORS INCLUDING

CEMENT SHEET FLOORING.

INSERTED BATHS

LAUNDRIES AND WCS

SHOWER BASE

UNENCLOSED SHOWERS



25/11/2025

#### Council

#### **Building & Plumbing Permit Authority**

Pursuant to **Section 166 of the Building Act 2016**, I write to confirm that; due to the presence of highly reactive soils identified in the geotechnical report, the proposed hydraulic drainage works required at 8 Capstone Rise, Blackstone Heights TAS 7250 have been designed and assessed as a 'performance solution' in meeting the requirements within NCC 2022.

We, Sophie Eames and Isaac Obyrne, owners of at 8 Capstone Rise, Blackstone Heights TAS 7250, acknowledge that the design and associated proposed hydraulic drainage works are an alternative design that meets requirements within the NCC as 'performance solution'.

Sincerely,

Sophie Eames and Isaac Obyrne

Signed: Service Statement

Date: 25/11/25



1300 595 050 wilsonhomes.com.au

Southern Head Office 250 Murray Street, Hobart Tasmania
Northern Head Office 117-119 Elizabeth St, Launceston Tasmania





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Our Ref: L251211 X Ref: 714520

MVC ref: PA\26\0151

17 December 2025

Planning Department

Meander Valley Council

By email planning@mvc.tas.gov.au

Dear Planning

# Response to Further Information Request – PA\26\0151 – 8 Capstone Rise BLACKSTONE HEIGHTS

The following is provided in response to the RFI for the development application for a single dwelling with outbuilding at the abovementioned address.

#### 10.4 Development Standards for Dwellings

#### 10.4.3 Setback

Objective						
That the siting of dwellings is compatible with the streetscape and does not cause an unreasonable loss of amenity for						
adjoining properties.						
Acceptable Solutions		Performance Criteria				
A1	Dwellings, excluding protrusions that extend not	P1	The siting of a dwelling must be compatible with the			
	more than 0.9m into the frontage setback, must		streetscape and character of development existing			
	have a setback from a frontage not less than 8m.		on established properties in the area, having regard			
			to:			
			a) the topography of the site;			
			b) the setbacks of surrounding buildings;			
			c) the height, bulk and form of existing and			
			proposed buildings;			





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			d) the appearance when viewed from roads and
			public open space adjacent to the site; and
			e) (e) the safety of road users.
A2	Dwellings, excluding outbuildings with a building	P2	The siting of a dwelling must not cause an
	height of not more than 2.4m and protrusions that		unreasonable loss of amenity to adjoining
	extend not more than 0.9m horizontally from the		properties, having regard to:
	building, must have a setback from side and rear		a) the topography of the site;
	boundaries of not less than 5m.		b) the size, shape and orientation of the site;
			c) the setbacks of surrounding buildings;
			d) the height, bulk and form of existing and
			proposed buildings;
			e) the existing buildings and private open space
			areas on the site;
			f) sunlight to private open space and windows of
			habitable rooms on adjoining properties; and
			g) the character of development existing on
			established properties in the area.

#### Response

- P1 The performance criteria are addressed. The dwelling has a reduced setback to the frontage of 4.5m for part of the dwelling facade, and 6.1m for the remainder. The front door is inset to the façade. The garage, as proposed will have a setback of 4.9m-5.1m against the variation in the frontage.

  The criteria asks that the siting of a dwelling be compatible with the streetscape and character of development existing on established properties in the area. At the time of application, there are five properties developed to single dwellings and another partially completed (information taken from recent aerial imagery). The majority of lots are vacant. Earthworks to some lots is evident. The proposed dwelling will have a reduced setback in comparison to the established properties at 10 and 14 Capstone Rise, but comparable (in measurement) to the recently developed land at 5 Capstone Rise.
  - a. The established dwellings (at 10 and 14) have a different topography to the proposed. 10 Capstone Rise is the neighbouring lot to the subject site. The lot shares a part of the steep rise at the rear but has a far greater proportion of flatter land at the front, though it is evident that some earthworks have also been undertaken. Imagery with contours that has been provided from site inspections shows that the land at 10 Capstone has a steep rise in the northern corner, whereas the subject site carries this steep rise across the width of the lot with the highest part of this rise located at the rear of the site. Evidence of this is also shown by the retaining structure at the rear of 10 Capstone Rise. Although adjoining, the topographies between these two lots is varied, and they require different consideration for development.





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The dwelling at 14 Capstone Rise has a very different topography, with the land sloping down to the south west. The dwelling can achieve frontage setbacks as it's slope compensation is to the side boundary without challenge from the front or rear of the lot.



Figure 1 Showing steep variation in site topography and evidence of rocky soil type.





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Figure 2 Provided to illustrate contours together with neighbouring contours over the site and neighbouring site as a whole, highlighting the variations between the two lots.

The dwelling at 5 Capstone Rise has similar topography to the subject site, having a steep and rocky section of hill at the rear of the lot. Excavation has been made to allow for the dwelling and it is clear that what can be levelled has compelled a reduced setback to the frontage and side boundary, with the front setback estimated at 5m. It is likely that any dwelling at 1 River Mint View will have similar constraints and result in similar reduced setbacks.

The development at 2 River Mint View also appears to compensate for the slope of the land by including a building (possibly an outbuilding) within the primary frontage setback, and the dwelling being much further set back, but nearer to the secondary frontage. This is possibly to allow for safe vehicle access to the site.

As such, the proposed achieves compatibility with the existing dwellings in the area, as the proposed dwelling compensates for the topography of the site, as other dwellings have been





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built for the context of their sites. Each is in context of the overriding topography of the area, characterised by the steep rises in the area (peaking on the subject site) and the reasonably sharp slope to the west.



Figure 3 Setback at 5 Capstone Rise estimated at 5m.

Further, future development will be subject to each lot's topography. The area is well known for being rocky and with boulders, making site preparation challenging.

- b. The setbacks of the surrounding buildings are discussed in (a) in discussing the topography.
- c. The proposed building is single storey, modest in built form and has a staggered façade, reducing, or mitigating effects of the reduced setback. Surrounding buildings are similar in that they are single storey, but they are somewhat varied in size, or proportion of the lot.
- d. The dwelling will appear as typical for a residential area. The façade is well provisioned with large windows and visible front entrance. The dwelling presentation provides a sense of address to the site and the open visage will encourage levels of passive social interaction and surveillance. The built form will be set against the backdrop of the steep rise of the land. The topography gives the built form context in the overall street character; retaining the varied topography (the rise in the landscape) retains the essential character of the place and area.





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e. There is no apparent risk to road safety. The setback is not so reduced as to cause issues in sight lines. The vehicle crossings for the neighbouring dwellings are all separated, providing distance between built form on lots and vehicle access.

Within the streetscape, the setback is compatible. It should be recognised that the topography of the land is a significant factor of the streetscape character and that buildings will need to be adaptive to this. The topography is a determining factor in the presentation of the street, and the siting of dwellings and is also a significant factor in characterising the streetscape. Building to the landscape features, rather than modifying them helps to maintain the streetscape character.

- P2 The performance criteria apply; the side boundary setbacks are reduced.
  - a. As discussed at P1, the topography of the site is a determining factor in the siting of the dwelling. Rocky ground and boulders are a known issue and the site includes a steep rise at the rear. This has compelled the buildings to be sited more forward and utilise the width of the lot, rather than the depth.
  - b. The site is rectangular (in general) with the long axis running northwest to south east. The site is 1515m<sup>2</sup> with a width of 26m at the front boundary. Given the soil type and topography of the site the lot presents limited area within for building.
  - c. The setback of the proposed to the southwest boundary is 3m. The dwelling is single storey and separated from the neighbouring dwelling by their driveway. Any overshadowing will be confined to the am hours and unlikely to be unreasonable considering the separation of dwellings.
  - d. Existing and proposed buildings are typical for low density residential development in height, bulk and form.
  - e. The proposed building is set forward on the lot, overlooking potential is minimal.
  - f. Any overshadowing is expected to be minimal in effect.
  - g. The character of development is discussed at P1. Reductions in side boundary setbacks are evident in established properties, especially where topography is a determining factor.

With regards

Michelle Schleiger BUrbRegEnvPlan Town Planner

Woolcott Land Services





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