

PLANNING NOTICE

An application has been received for a Permit under s.57 of the Land Use Planning Approvals Act 1993:

APPLICANT:	Wilson Homes Tasmania Pty Ltd - PA\26\0151
PROPERTY ADDRESS:	8 Capstone Rise BLACKSTONE HEIGHTS (CT: 184991/26)
DEVELOPMENT:	Single dwelling & Residential outbuilding (garage) - setbacks.

The application can be inspected until **Wednesday, 14 January 2026**, at www.meander.tas.gov.au or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to planning@mvc.tas.gov.au. Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Dated at Westbury on 20 December 2025.

Jonathan Harmey
GENERAL MANAGER

APPLICATION FORM

PLANNING PERMIT

Land Use Planning and Approvals Act 1993

- Application form & details **MUST** be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work? ☐ Yes ☐ No Indicate by ✓ box
- Have you already received a Planning Review for this proposal? ☐ Yes ☐ No
- Is a new vehicle access or crossover required? ☐ Yes ☐ No

PROPERTY DETAILS:

Address:	<input type="text" value="8 CAPSTONE RISE"/>	Certificate of Title:	<input type="text" value="184991"/>
Suburb:	<input type="text" value="BLACKSTONE HEIGHTS, TAS"/>	<input type="text" value="7250"/>	Lot No: <input type="text" value="26"/>
Land area:	<input type="text" value="1515m2"/>	<i>m² / ha</i>	
Present use of land/building:	<input type="text" value="Vacant Land"/>	<i>(vacant, residential, rural, industrial, commercial or forestry)</i>	

- Does the application involve Crown Land or Private access via a Crown Access Licence: ☐ Yes ☒ No
- Heritage Listed Property: ☐ Yes ☒ No

DETAILS OF USE OR DEVELOPMENT:

- Indicate by ✓ box
- | | | | |
|---|--|--------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> Building work | <input type="checkbox"/> Change of use | <input type="checkbox"/> Subdivision | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> Forestry | <input type="checkbox"/> Other | | |

Total cost of development (inclusive of GST): Includes total cost of building work, landscaping, road works and infrastructure

Description of work:

Use of building: (main use of proposed building – dwelling, garage, farm building, factory, office, shop)

New floor area: m² New building height: m

Materials: External walls: Colour:
Roof cladding: Colour:

SEARCH OF TORRENS TITLE

VOLUME 184991	FOLIO 26
EDITION 1	DATE OF ISSUE 10-Jul-2023

SEARCH DATE : 01-Dec-2025

SEARCH TIME : 11.19 AM

DESCRIPTION OF LAND

Parish of LAUNCESTON Land District of CORNWALL
Lot 26 on Sealed Plan 184991
Derivation : Part of 500 Acres Loc. to Patrick Dalrymple
Prior CT 173550/1

SCHEDULE 1

M725563 TRANSFER to BASS STRAIT 8 PTY LTD Registered
27-Nov-2018 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP184991 FENCING PROVISION in Schedule of Easements
E345310 AGREEMENT pursuant to Section 78 of the Land Use
Planning and Approvals Act 1993 Registered
10-Jul-2023 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

N292947 PRIORITY NOTICE reserving priority for 90 days
TRANSFER BASS STRAIT 8 PTY LTD TO ISAAC ETHAN
ALEXANDER O'BYRNE AND SOPHIE LOUISE EAMES
MORTGAGE ISAAC ETHAN ALEXANDER O'BYRNE AND SOPHIE
LOUISE EAMES TO MYSTATE BANK LIMITED Lodged by PAGE
SEAGER on 13-Oct-2025 BP: N292947
E442010 MORTGAGE to MyState Bank Limited Lodged by WALLACE
WILK & WEB on 18-Nov-2025 BP: N292946
N292946 TRANSFER to ISAAC ETHAN ALEXANDER O'BYRNE and SOPHIE
LOUISE EAMES Lodged by WALLACE WILK & WEB on
18-Nov-2025 BP: N292946

[illegible]

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 184991

PAGE 1 OF 4 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lots 1-3 are each subject to a right of drainage in gross (in favour of Meander Valley Council) over the land marked PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE passing through such lot on the plan

Lots 1-3 are each subject to a pipeline and services easement in gross as defined herein (in favour of the TasWater) over the land marked PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE ("the Easement Land") passing through such lot on the plan

Lot 3 is subject to a right of drainage in gross (in favour of Meander Valley Council) over the land marked PIPELINE & SERVICES & DRAINAGE EASEMENT 3.00 WIDE passing through that lot on the plan

Lot 3 is subject to a pipeline and services easement in gross as defined herein (in favour of the TasWater) over the land marked PIPELINE & SERVICES & DRAINAGE EASEMENT 3.00 WIDE ("the Easement Land") passing through that lot on the plan

Lot 29 is subject to a right of drainage in gross (in favour of Meander Valley Council) over the land marked PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE passing through that lot on the plan

Lot 29 is subject to a pipeline and services easement in gross as defined herein (in favour of the TasWater) over the land marked PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE ("the Easement Land") passing through that lot on the plan



(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: BASS STRAIT 8 P/L FOLIO REF: 173550-1 SOLICITOR: RAE & PARTNERS (MLK)	PLAN SEALED BY: MEANDER VALLEY COUNCIL DATE: 18 May 2023 J. Jordan MVC-20-0030 REF NO. PA2010030 GENERAL MANAGER Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 4 PAGES	Registered Number SP 184991
SUBDIVIDER: BASS STRAIT 8 P/L FOLIO REFERENCE: 173550-1	

Lot 31 is subject to a right of drainage in gross (in favour of Meander Valley Council) over the land marked PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE passing through that lot on the plan

Lot 31 is subject to a pipeline and services easement in gross as defined herein (in favour of the TasWater) over the land marked PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE ("the Easement Land") passing through that lot on the plan

Lots 40-42 are each subject to a right of drainage in gross (in favour of Meander Valley Council) over the land marked PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE passing through such lot on the plan

Lots 40-42 are each subject to a pipeline and services easement in gross as defined herein (in favour of the TasWater) over the land marked PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE ("the Easement Land") passing through such lot on the plan

Lot 901 is together with a right of drainage over the land marked DRAINAGE EASEMENT "DC-DE" & DG-DF" 3.00 WIDE on the plan

Lot 901 is subject to a right of drainage (appurtenant to lots 8-11 on Sealed Plan 49821) over the land marked DRAINAGE EASEMENT "DI-DH" 5.00 WIDE passing through that lot on the plan

FENCING PROVISION

In respect to the lots on the plan the vendor (Bass Strait 8 Pty Ltd) shall not be required to fence

INTERPRETATION

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653) its successors and assigns

"Pipeline and Services Easement" means-

FIRSTLY, the full and free right and liberty for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

Sole Director and Sole Secretary:



NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.


ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 4 PAGES	Registered Number SP 18 4 99 1
SUBDIVIDER: BASS STRAIT 8 P/L FOLIO REFERENCE: 173550-1	

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;

Sole Director and Sole Secretary: 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p align="center">ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p align="center">PAGE 4 OF 4 PAGES</p>	<p align="center">Registered Number</p> <p align="center">SP 18 4 9 9 1</p>
<p>SUBDIVIDER: BASS STRAIT 8 P/L FOLIO REFERENCE: 173550-1</p>	

- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

Executed by BASS STRAIT 8 PTY LTD (ACN 629 016 968) pursuant to

section 127(1) Corporations Act 2001 (Cth) by-

signature: 

Aaron Winnell

Sole Director and Sole Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

DA
TASMANIAN PLANNING SCHEME

SHEET INDEX

1	COVER SHEET
2	SITE PLAN
3	SOIL & WATER MANAGEMENT PLAN
4	GROUND FLOOR PLAN
5	ELEVATIONS / SECTION
6	ELEVATIONS
7	SHED ELEVATIONS
8	WINDOW & DOOR SCHEDULES
9	CALCULATIONS
10	DETAILS (FACE BRICKWORK)
11	ROOF DRAINAGE PLAN
12	FLOOR COVERINGS
13	KITCHEN DETAILS
14	BATHROOM DETAILS
15	ENSUITE DETAILS
16	LAUNDRY DETAILS
17	3D VIEWS
18	GENERAL NOTES
19	WET AREA & ENERGY EFFICIENCY NOTES

TOTAL FLOOR AREAS

MAIN DWELLING, GROUND FLOOR

ALFRESCO	13.45
LIVING	113.52
PORCH	1.37
	128.34 m²

HIGHLY REACTIVE /
PROBLEMATIC SOIL TYPE.
REFER TO HYDRAULICS PLANS
AND DETAILS PREPARED BY
GANDY AND ROBERTS

AS & NCC COMPLIANCE

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL.
- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS.
 - BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022.
 - ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018.
 - INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
 - TERMITE PROTECTION IN ACCORDANCE WITH AS 3660 AND NCC 2022.
 - GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
 - SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022.
 - INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.2.
 - EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS 4654.
 - WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX. 1:50 GRADE (IF APPLICABLE).
 - CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2019.
 - BUILDING SEALING IN ACCORDANCE WITH NCC 2022.
 - SERVICES IN ACCORDANCE WITH NCC 2022.
 - EARTHWORKS IN ACCORDANCE WITH AS 3798-2007.
 - EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF APPLICABLE).
 - EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

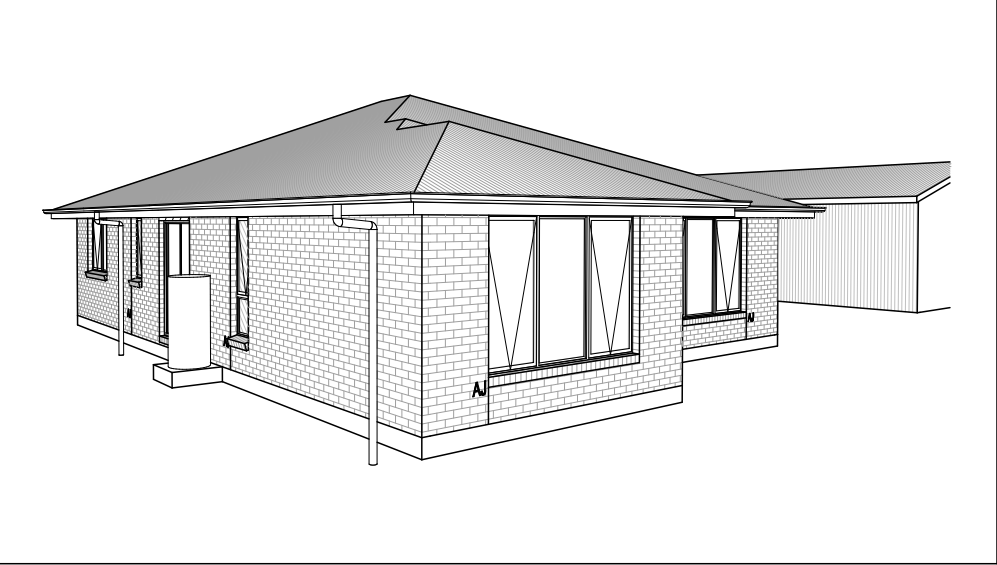
SITE SPECIFIC CONTROLS

CONTROL	DETAILS
ACID SULPHATE SOIL	NO
BIODIVERSITY	NO
BUILDING ENVELOPE	NO
BUSHFIRE	BAL-LOW
CLIMATE ZONE (NCC)	ZONE 7 - COOL TEMPERATE
DESIGN WIND CLASSIFICATION	N3 (NOT EXPOSED)
ESTATE/DEVELOPER GUIDELINES	NO
FLOOD OVERLAY	NO
HERITAGE	NO
LANDSLIP HAZARD	NO
MINIMUM FLOOR LEVEL	NO
NATURAL ASSET CODE	NO
NOISE ATTENUATION	NO
SALINE SOIL	NO
SHIELDING FACTOR	NS - NO SHIELDING
SITE CLASSIFICATION	P
SPECIFIC AREA PLAN OVERLAY	NO
TERRAIN CATEGORY	TC2
TOPOGRAPHIC CLASSIFICATION	T1
WATERWAY & COASTAL OVERLAY	NO
WIND REGION	A - NORMAL
WITHIN 1km CALM SALT WATER	NO
WITHIN 50km BREAKING SURF	NO
ZONING	LOW DENSITY RESIDENTIAL

BUILDING CONTROLS & COMPLIANCE

CONTROL	REQUIRED	PROPOSED
SETBACKS		
FRONT	MIN. 8,000mm	4,500mm
SIDE A	MIN. 5,000mm	3,000mm
SIDE B	MIN. 5,000mm	12,950mm
REAR	MIN. 5,000mm	38,775mm
BULK & SCALE		
SITE AREA	1,515m²	
SITE COVERAGE	MAX. 30%	8.47%
LANDSCAPE		
NO APPLICABLE CONTROLS		
EARTHWORKS		
CUT DEPTH	MAX. 2,000mm	432mm
FILL DEPTH	MAX. 1,000mm	200mm
ACCESS & AMENITY		
PARKING SPACES	MIN. 2 SPACES	2 SPACES
PRIVATE OPEN SPACE	MIN. 24m²	24m²

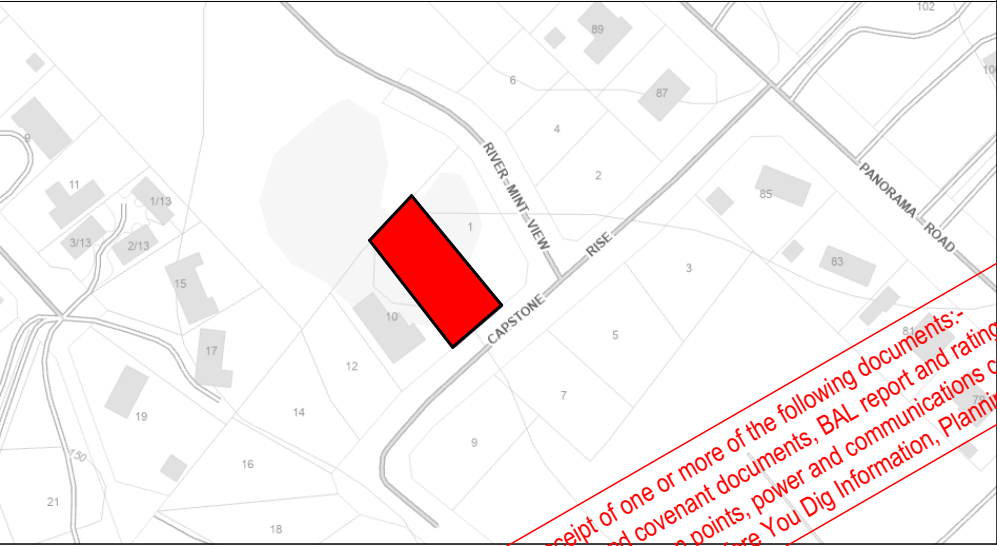
3D PERSPECTIVE



NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

LOCATION MAP



This Plan has been prepared prior to the receipt of one or more of the following documents:-
Certificate of Title inclusive of lot specific zoning, easement and covenant documents, BAL report and rating, approved
subdivision plans providing crossover locations and service connection points, power and communications connection point
information, Geotechnical Site Investigation, Contour Survey. Dial Before You Dig information, Planning Approval.

BUILDING INFORMATION	
GROUND FLOOR TOP OF WALL HEIGHT(S) 2445mm	
NOTE: CEILING HEIGHT 45mm LOWER THAN TOP OF WALL	
ROOF PITCH (U.N.O.)	23.0°
ELECTRICITY SUPPLY	SINGLE PHASE
GAS SUPPLY	NONE
ROOF MATERIAL	SHEET METAL
ROOF COLOUR	N/A
WALL MATERIAL	BRICK VENEER
SLAB CLASSIFICATION	TBC

INSULATION

ROOF	NO ADDITIONAL INSULATION
CEILING	R4.1 BATTS (EXCL. GARAGE & ALFRESCO)
EXT. WALLS	R2.0 BATTS (EXCL. GARAGE) WALL WRAP TO ENTIRE HOUSE
INT. WALLS	R2.0 BATTS ADJACENT TO GARAGE AND AS PER PLAN
FLOOR	BIAX SLAB R0.60

NCC 2022 LIVABLE HOUSING COMPLIANCE

ACCESSIBLE SANITARY COMPARTMENT: BATH WC
ACCESSIBLE SHOWER LOCATION: BATH

GENERAL NOTES:

- THRESHOLD OF ACCESSIBLE SHOWER ENTRY TO BE MAX. 5MM
- 1 EXTERIOR DOOR NOMINATED AS 870 OR GREATER TO ACHIEVE MIN 820MM CLEAR OPENING
- REFER TO APPLICABLE WET AREA PLANS AND INTERIOR ELEVATIONS OR LOCATIONS OF REQUIRED WALL REINFORCEMENT FOR FUTURE GRAB RAIL INSTALLATION.

THE OWNERS ACKNOWLEDGE THAT THESE CONTRACT PLANS MAY NOT REFLECT ALL THE SELECTIONS THAT HAVE BEEN MADE OR CHANGES REQUESTED. THE OWNERS AGREE THAT FOLLOWING THE COLOUR SELECTIONS VARIATION OR UPDATING OF PLANS, THEY WILL BE PROVIDED WITH CONSTRUCTION PLANS FOR SIGNATURE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SIGNATURE:

DATE:

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

PRELIMINARY PLAN SET

4	PRELIMINARY PLAN SET - INITIAL ISSUE	ALL	2025.11.10	LTR	-
No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK

© 2025 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.



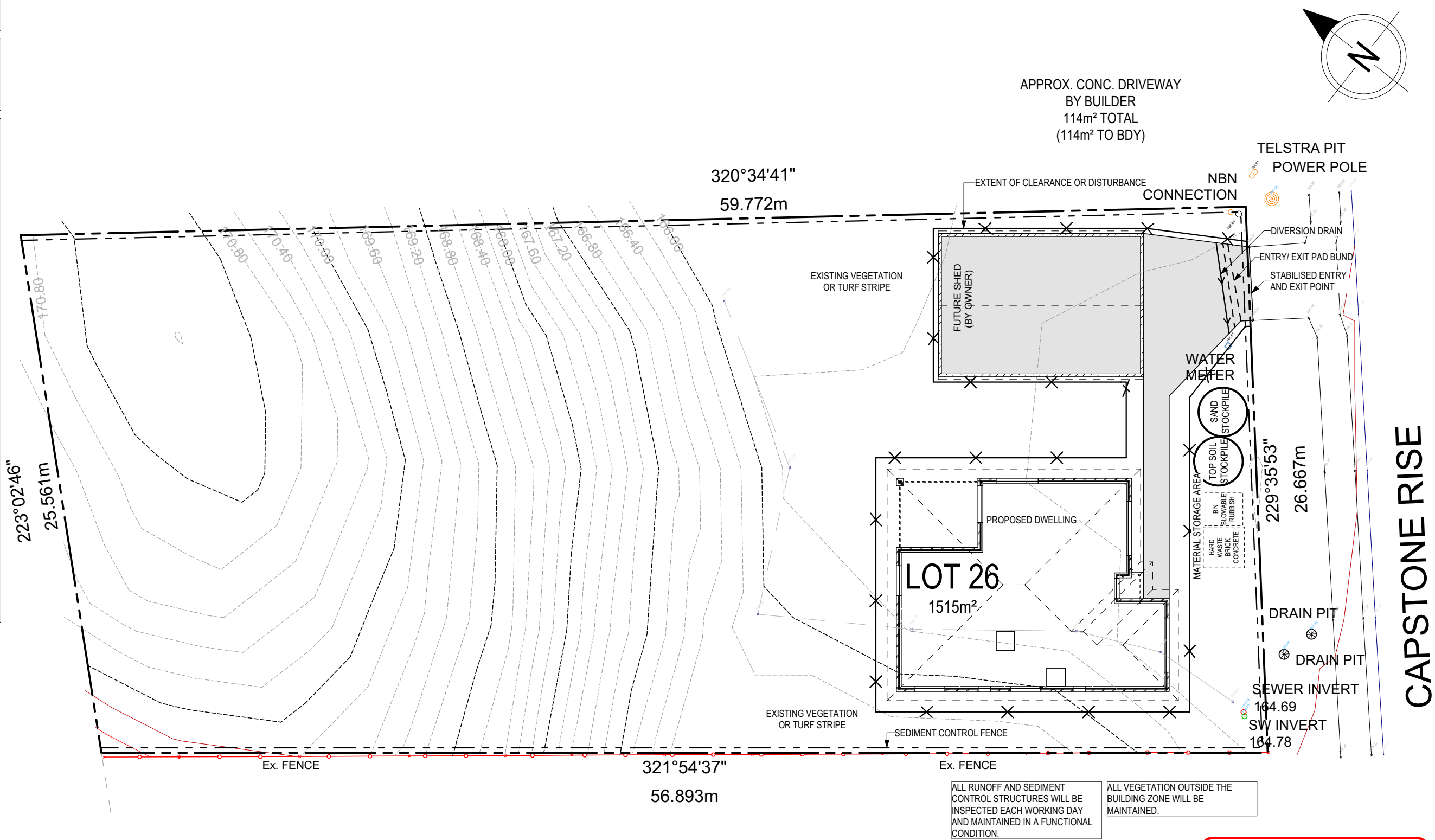
SPECIFICATION:		REVISION		DRAWN		CLIENT:		HOUSE DESIGN:		HOUSE CODE:		DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.		
DESIGNER	1	DRAFT SALES PLAN - CP1		MLG	10/10/2025	SOPHIE LOUISE EAMES & ISAAC ETHAN ALEXANDE OBYRNE		ASCOT 12		H-WDCASC10SA				
COPYRIGHT:	2	DRAFT SALES PLAN - CP2		MLG	17/10/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:				
© 2025	3	PLANS UPDATE		MLG	23/10/2025	8 CAPSTONE RISE, BLACKSTONE HEIGHTS TAS 7250		CLASSIC		F-WDCASC10CLASA				
	4	PRELIM PLANS - INITIAL ISSUE		LTR	07/11/2025	LOT / SECTION / CT:		SHEET TITLE:		SHEET No.:				
						26 / - / 184991		MEANDER VALLEY		COVER SHEET		1 / 19	SCALES:	714520

ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

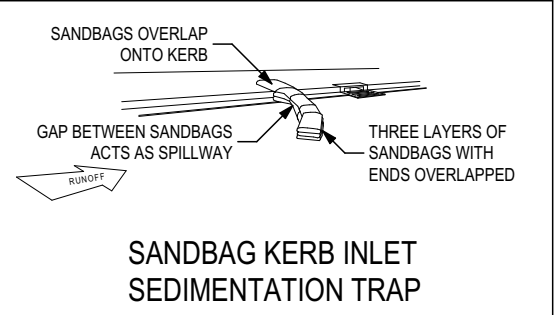
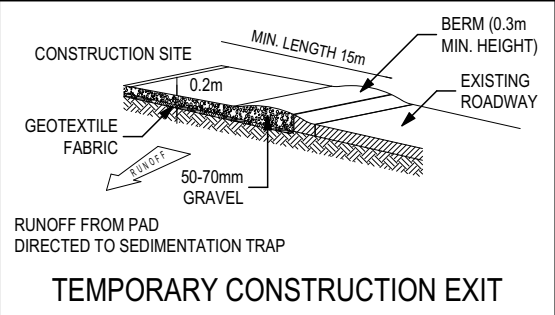
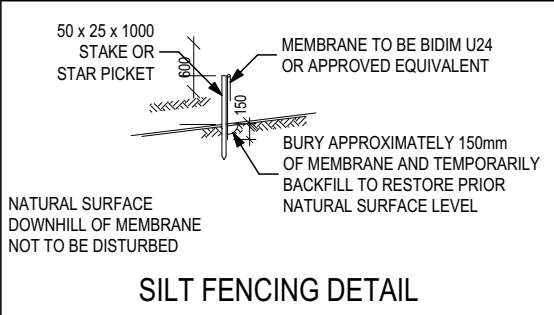
THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

- NOTES:
1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
 2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
 3. ALL EROSION AND SEDIMENT CONROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
 4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
 5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.
 6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEAGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
 7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.



ALL RUNOFF AND SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED EACH WORKING DAY AND MAINTAINED IN A FUNCTIONAL CONDITION.

ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.



SUBJECT TO NCC 2022 (1 MAY 2023) WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED



SPECIFICATION:	DESIGNER	REVISION	DRAWN	CLIENT:	HOUSE DESIGN:	HOUSE CODE:	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
COPYRIGHT:	© 2025	1 DRAFT SALES PLAN - CP1	MLG 10/10/2025	SOPHIE LOUISE EAMES & ISAAC ETHAN ALEXANDE OBYRNE	ASCOT 12	H-WDCASC10SA	
		2 DRAFT SALES PLAN - CP2	MLG 17/10/2025	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
		3 PLANS UPDATE	MLG 23/10/2025	8 CAPSTONE RISE, BLACKSTONE HEIGHTS TAS 7250	CLASSIC	F-WDCASC10CLASA	
		4 PRELIM PLANS - INITIAL ISSUE	LTR 07/11/2025	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	
				26 / - / 184991	SOIL & WATER MANAGEMENT PLAN	3 / 19	
				COUNCIL:		SCALES:	
				MEANDER VALLEY		1:200	
							714520

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



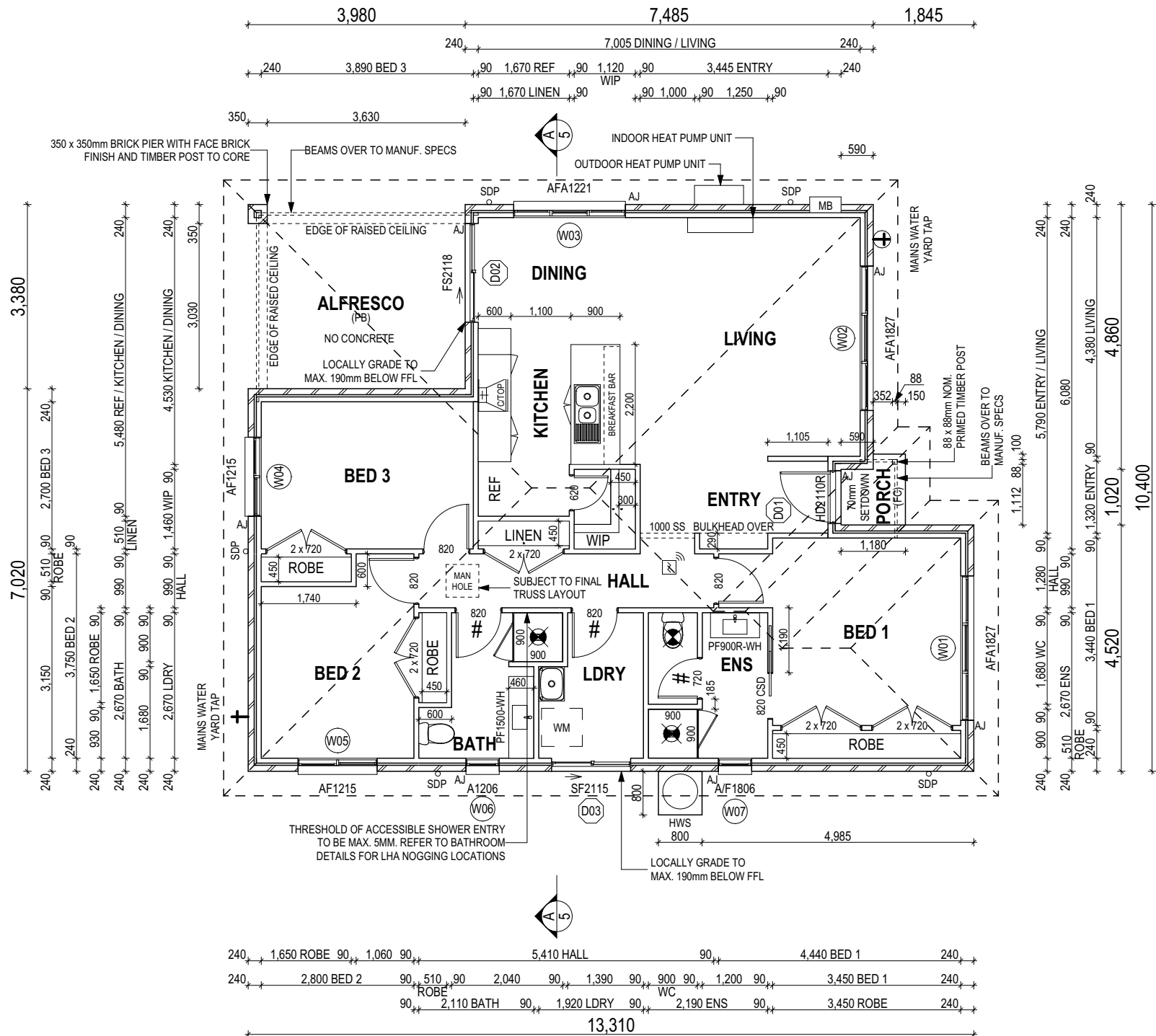
LEGEND

HS / WS	HOB SPOUT / WALL SPOUT
	FACE BRICK / COMMON BRICK
	RENDER
	SOUND INSULATION
AJ	BRICK ARTICULATION JOINT
SDP	STANDARD DOWNSPIPE
CDP	CHARGED DOWNSPIPE
3D	DENOTES DRAWER SIDE
	MECHANICAL VENTILATION
L.B.W	LOAD BEARING WALL
PB	PLASTERBOARD
FC	FIBRE CEMENT
	THIS DOOR OPENS FIRST
	SMOKE ALARM
#	LIFT OFF HINGE
+	WATER POINT
	FLOOR WASTE
	GAS BAYONET

MAIN DWELLING, GROUND FLOOR		
ALFRESCO		13.45
LIVING		113.52
PORCH		1.37
		128.34 m²

ANY PART OF THE FASCIA, GUTTERING OR DOWNSPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETE TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



ALL DIMENSIONS ARE FRAME DIMENSIONS

© 2025 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED



SPECIFICATION:

DESIGNER

COPYRIGHT:

© 2025

REVISION

1 DRAFT SALES PLAN - CP1

2 DRAFT SALES PLAN - CP2

3 PLANS UPDATE

4 PRELIM PLANS - INITIAL ISSUE

DRAWN

MLG 10/10/2025

MLG 17/10/2025

MLG 23/10/2025

LTR 07/11/2025

CLIENT:

SOPHIE LOUISE EAMES & ISAAC ETHAN ALEXANDE OBYRNE

ADDRESS:

8 CAPSTONE RISE, BLACKSTONE HEIGHTS TAS 7250

LOT / SECTION / CT:

26 / - / 184991

COUNCIL:

MEANDER VALLEY

HOUSE DESIGN:

ASCOT 12

FACADE DESIGN:

CLASSIC

SHEET TITLE:

GROUND FLOOR PLAN

SHEET No.:

4 / 19

HOUSE CODE:

H-WDCASC10SA

FACADE CODE:

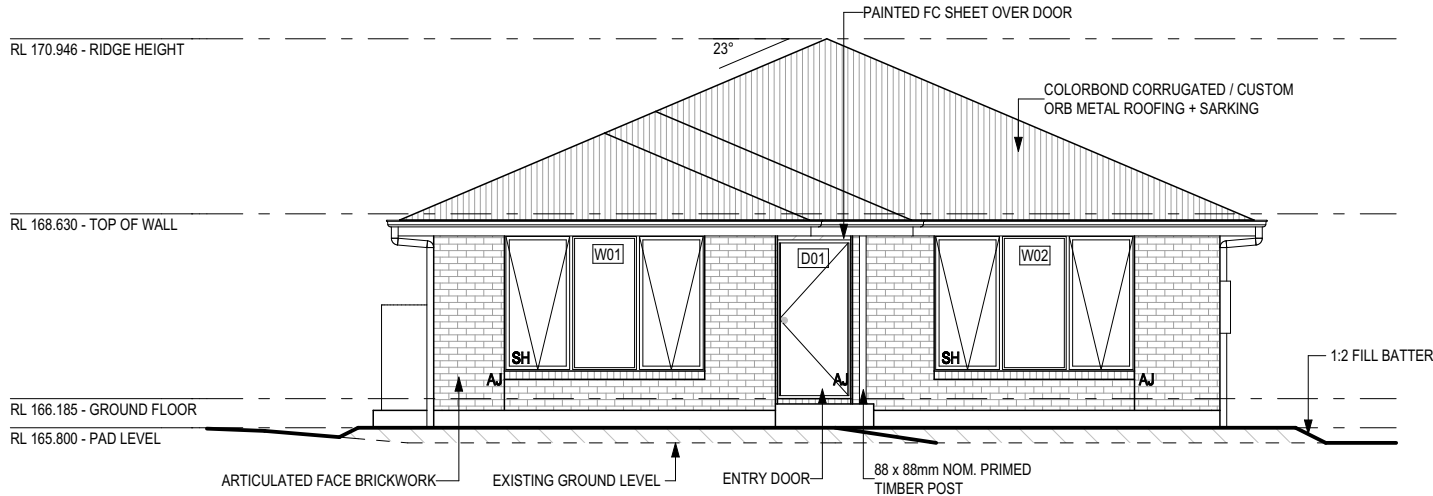
F-WDCASC10CLASA

SCALES:

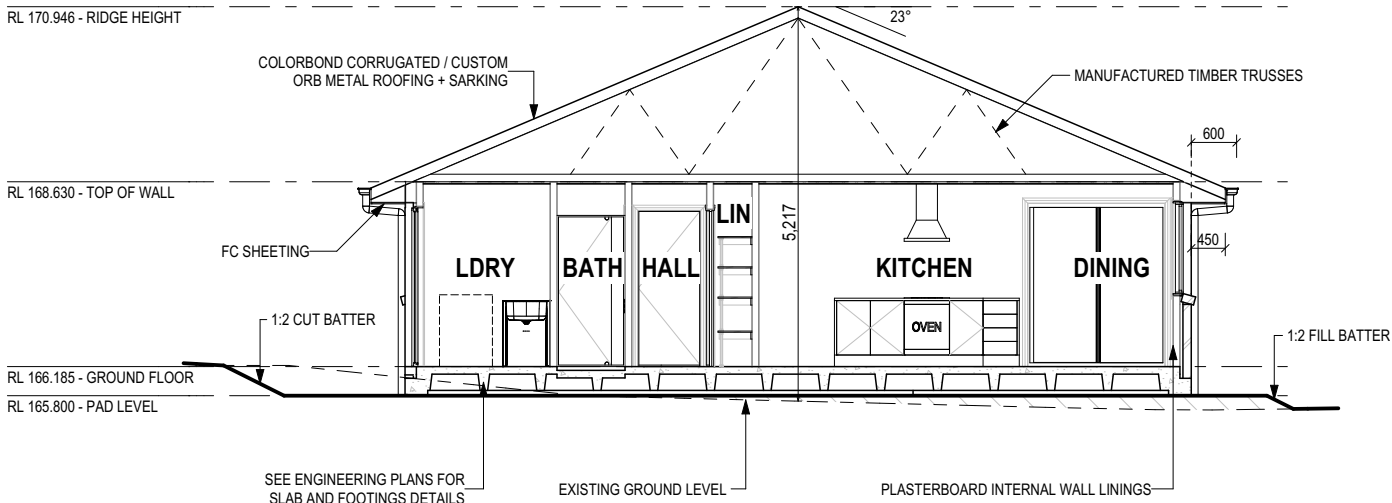
1:100

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

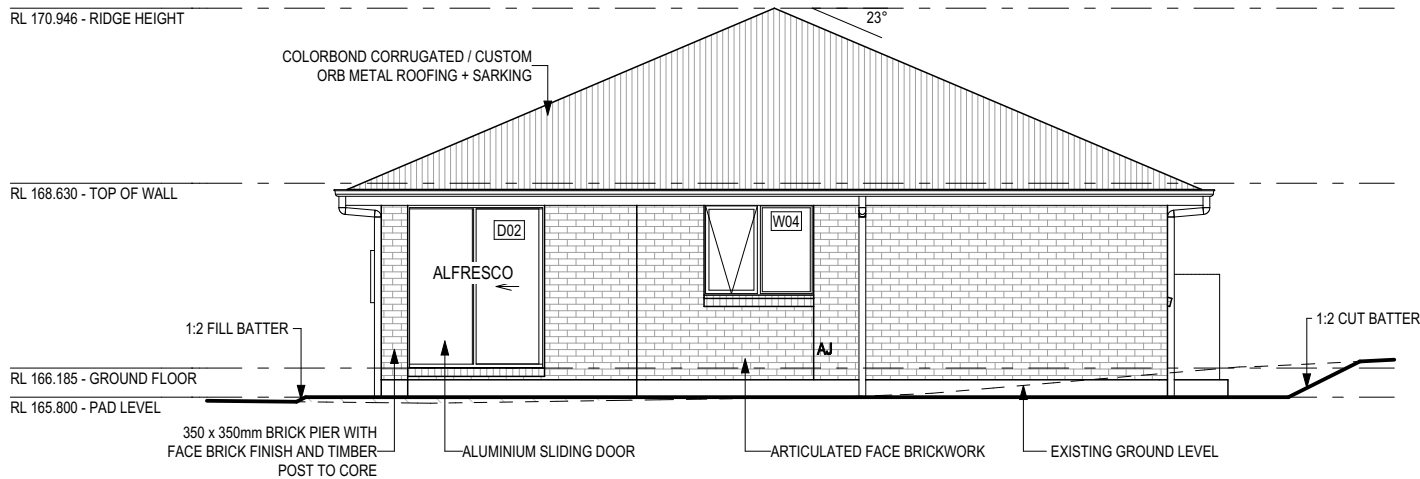
714520



SOUTH EAST ELEVATION
SCALE: 1:100



SECTION A-A
SCALE: 1:100



NORTH WEST ELEVATION
SCALE: 1:100

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

SOME DETAILS ON THIS SHEET ARE INDICATIVE ONLY FOR EXAMPLE BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

SH = SNAP HEADER SILL

BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS:
BRICK COURSING W-BRIC-001

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

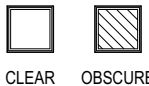
PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

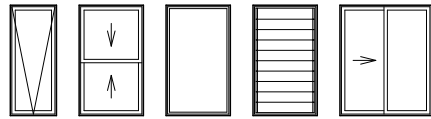
PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

GLASS TYPE LEGEND



CLEAR OBSCURE

WINDOW TYPE LEGEND



AWNING DOUBLE HUNG FIXED LOUVRE SLIDING

© 2025 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.



SPECIFICATION:

DESIGNER

COPYRIGHT:

© 2025

REVISION

1	DRAFT SALES PLAN - CP1	MLG	10/10/2025
2	DRAFT SALES PLAN - CP2	MLG	17/10/2025
3	PLANS UPDATE	MLG	23/10/2025
4	PRELIM PLANS - INITIAL ISSUE	LTR	07/11/2025

DRAWN

MLG	10/10/2025
MLG	17/10/2025
MLG	23/10/2025
LTR	07/11/2025

CLIENT:

SOPHIE LOUISE EAMES & ISAAC ETHAN ALEXANDE OBYRNE

ADDRESS:

8 CAPSTONE RISE, BLACKSTONE HEIGHTS TAS 7250

LOT / SECTION / CT:

26 / - / 184991

COUNCIL:

MEANDER VALLEY

HOUSE DESIGN:

ASCOT 12

FACADE DESIGN:

CLASSIC

SHEET TITLE:

ELEVATIONS / SECTION

SHEET No.:

5 / 19

HOUSE CODE:

H-WDCASC10SA

FACADE CODE:

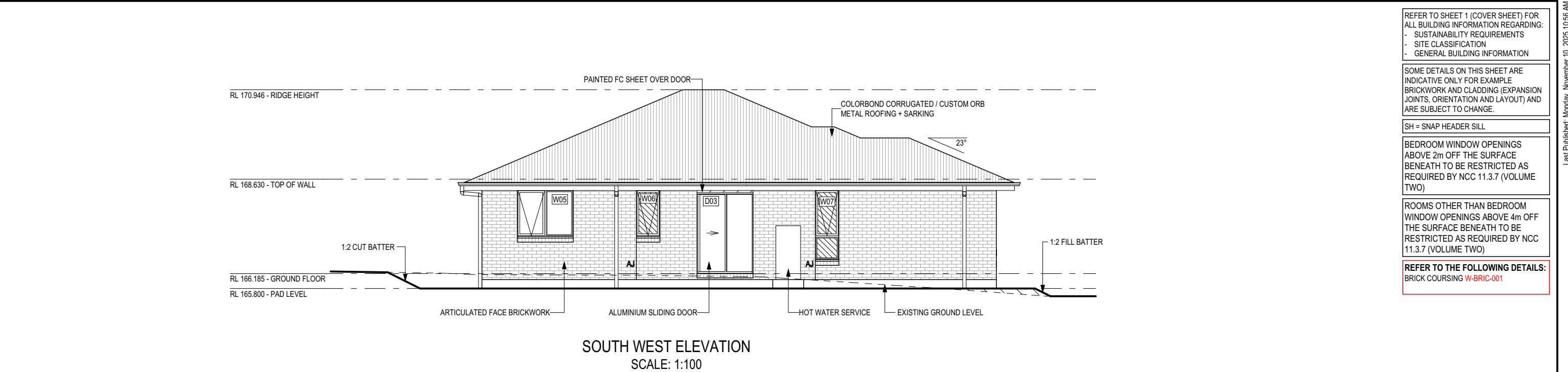
F-WDCASC10CLASA

SCALES:

1:100

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

714520



REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

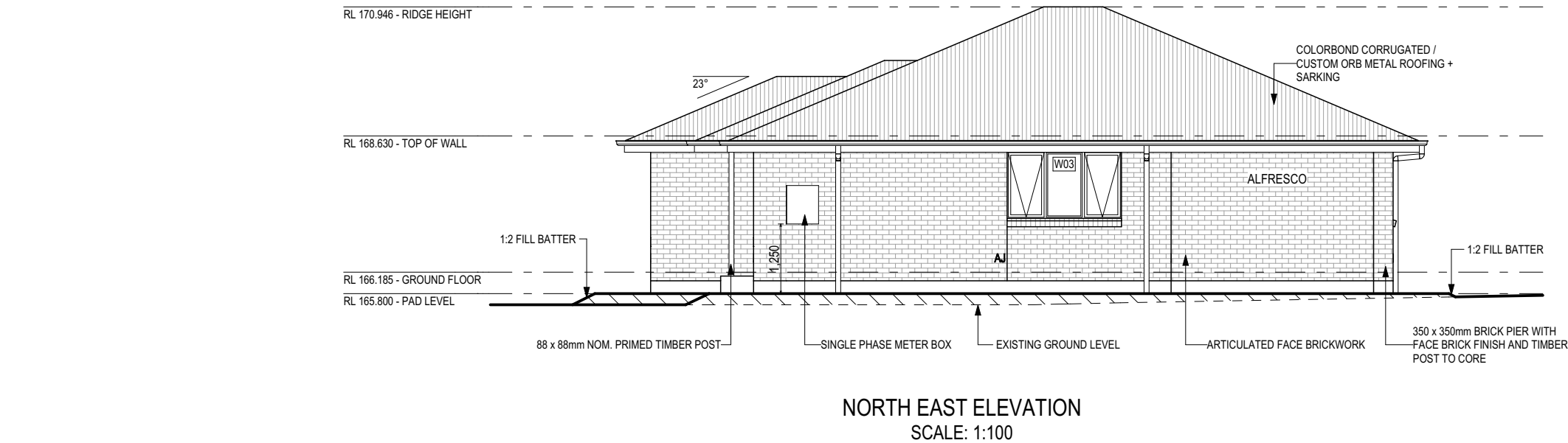
SOME DETAILS ON THIS SHEET ARE INDICATIVE ONLY FOR EXAMPLE BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

SH = SNAP HEADER SILL

BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

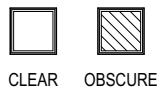
ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS:
BRICK COURSING **W-BRIC-001**

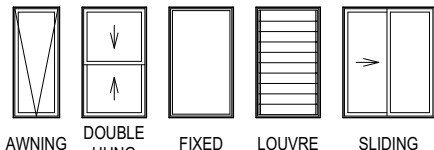


**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

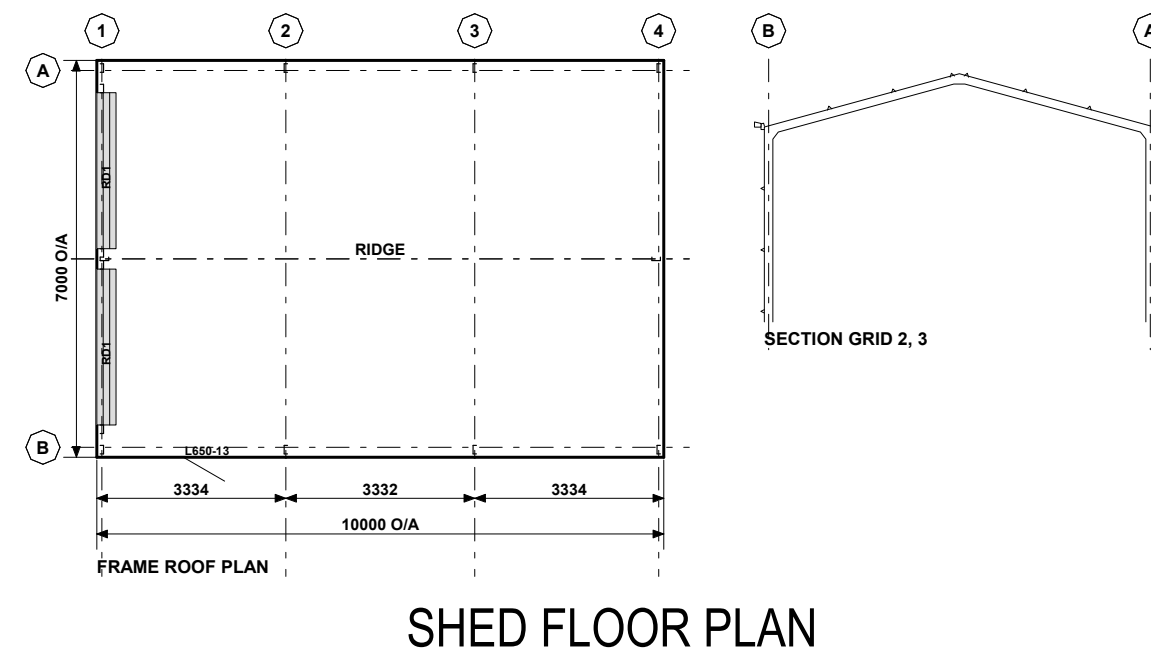
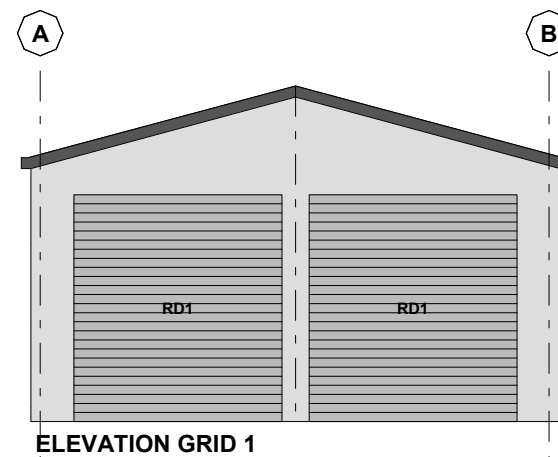
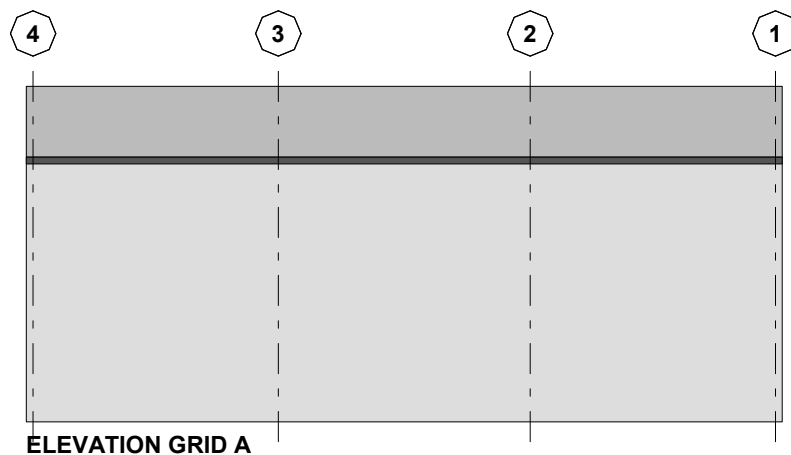
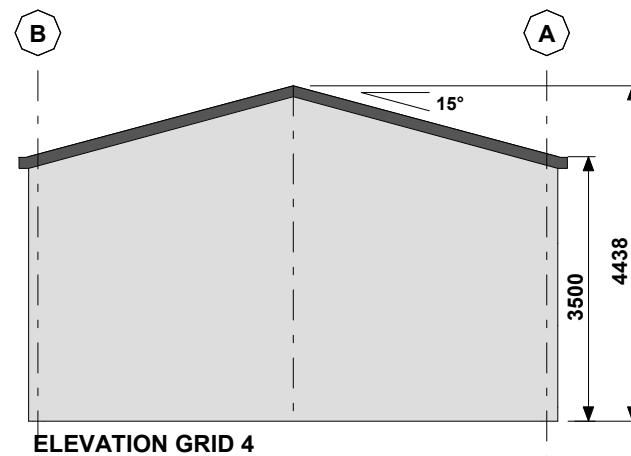
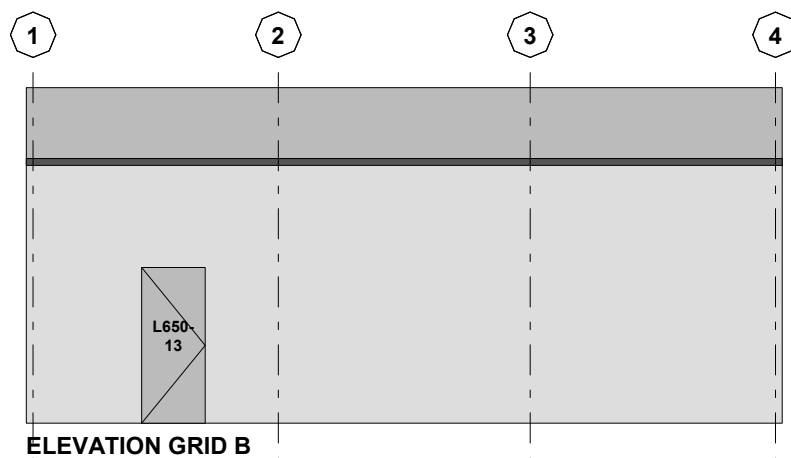
SIGNATURE: _____ DATE: _____

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED


© 2025 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.



SPECIFICATION:		REVISION		DRAWN		CLIENT:		HOUSE DESIGN:		HOUSE CODE:		DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
DESIGNER	1	DRAFT SALES PLAN - CP1		MLG	10/10/2025	SOPHIE LOUISE EAMES & ISAAC ETHAN ALEXANDE OBYRNE		ASCOT 12		H-WDCASC10SA		
COPYRIGHT: © 2025	2	DRAFT SALES PLAN - CP2		MLG	17/10/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:		
	3	PLANS UPDATE		MLG	23/10/2025	8 CAPSTONE RISE, BLACKSTONE HEIGHTS TAS 7250		CLASSIC		F-WDCASC10CLASA		
	4	PRELIM PLANS - INITIAL ISSUE		LTR	07/11/2025	LOT / SECTION / CT:		SHEET TITLE:		SHEET No.:	SCALES:	
						26 / - / 184991		MEANDER VALLEY		6 / 19	1:100	



File Location: D:\Will\SON11 IQBI7414520 Envars & OIBurns AQ24 Decim 2005 11 07 a/c

	SPECIFICATION:		REVISION		DRAWN		CLIENT:		HOUSE DESIGN:		HOUSE CODE:		DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	DESIGNER		1	DRAFT SALES PLAN - CP1	MLG	10/10/2025	SOPHIE LOUISE EAMES & ISAAC ETHAN ALEXANDE OBYRNE		ASCOT 12		H-WDCASC10SA		
	COPYRIGHT:		2	DRAFT SALES PLAN - CP2	MLG	17/10/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:		
	© 2025		3	PLANS UPDATE	MLG	23/10/2025	8 CAPSTONE RISE, BLACKSTONE HEIGHTS TAS 7250		CLASSIC		F-WDCASC10CLASA		
			4	PRELIM PLANS - INITIAL ISSUE	LTR	07/11/2025	LOT / SECTION / CT:		SHEET TITLE:		SHEET No.:		
						26 / - / 184991		MEANDER VALLEY		SHED ELEVATIONS		7 / 19	714520

EXTERIOR WINDOW & DOOR SCHEDULE <small>1,2 ASSUME LOOKING FROM OUTSIDE</small>																
	STOREY	ID	CODE¹	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE <small>(SINGLE GLAZING U.N.O.)</small>	ADDITIONAL INFORMATION²
WINDOW																
	GROUND FLOOR	W01	AFA1827	AWNING	BED 1	1,800	2,650	8,900	4.77	ALUMINIUM	BAL-LOW	SNAP HEADER	SE	3.93	CLEAR, DOUBLE GLAZED	MP 883-883
	GROUND FLOOR	W02	AFA1827	AWNING	LIVING	1,800	2,650	8,900	4.77	ALUMINIUM	BAL-LOW	SNAP HEADER	SE	3.93	CLEAR, DOUBLE GLAZED	MP 883-883
	GROUND FLOOR	W03	AFA1221	AWNING	DINING	1,200	2,050	6,500	2.46	ALUMINIUM	BAL-LOW	ANGLED	NE	1.88	CLEAR, DOUBLE GLAZED	MP 683-683
	GROUND FLOOR	W04	AF1215	AWNING	BED 3	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-LOW	ANGLED	NW	1.38	CLEAR, DOUBLE GLAZED	MP 725
	GROUND FLOOR	W05	AF1215	AWNING	BED 2	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-LOW	ANGLED	SW	1.38	CLEAR, DOUBLE GLAZED	MP 725
	GROUND FLOOR	W06	A1206	AWNING	BATH	1,200	610	3,620	0.73	ALUMINIUM	BAL-LOW	ANGLED	SW	0.52	OBSCURE, DOUBLE GLAZED, TOUGHENED	
	GROUND FLOOR	W07	A/F1806	AWNING	ENS	1,800	610	4,820	1.10	ALUMINIUM	BAL-LOW	ANGLED	SW	0.80	OBSCURE, DOUBLE GLAZED, TOUGHENED	BP 600
								43,340 mm	17.31					13.83		
DOOR																
	GROUND FLOOR	D01	HD2110R	SWINGING	ENTRY	2,100	970	6,140	2.04	ALUMINIUM	BAL-LOW	SNAP HEADER	SE	1.41	N/A	
	GROUND FLOOR	D02	FS2118	SLIDING	DINING	2,158	1,810	7,936	3.91	ALUMINIUM	BAL-LOW	SNAP HEADER	NW	3.41	CLEAR, DOUBLE GLAZED, TOUGHENED	
	GROUND FLOOR	D03	SF2115	SLIDING	LDRY	2,100	1,450	7,100	3.05	ALUMINIUM	BAL-LOW	SNAP HEADER	SW	2.59	CLEAR, DOUBLE GLAZED, TOUGHENED	
								21,176 mm	8.99					7.41		
								64,516 mm	26.30					21.24		

Last Published: Monday, November 10, 2025 10:56 AM

Window Manufacturer: Dowell Windows

No BAL / BAL 12.5 Window Type Sliding Window Awning Window Fixed External Window Sliding Door Stacking Door Hinged Door Bi-Fold Door	WERS Code	U Value	SHGC
	DOW-022-003	2.9	0.64
	DOW-005-001	3.9	0.58
	DOW-038-001	3.03	0.71
	DAR-034-001	3.97	0.63
	DAR-034-001	3.97	0.63
	DOW-017-001	4.1	0.55
	DOW-020-001	4.1	0.54
BAL 19 Window Type Sliding Window Awning Window Fixed External Window Sliding Door Stacking Door Hinged Door Bi-Fold Door	WERS Code	U Value	SHGC
	TND-034-001	3.1	0.61
	STG-001-066	3.91	0.54
	DOW-038-005	3.02	0.66
	AUW-009-009	4.03	0.58
	AUW-009-009	4.03	0.58
	GRN-009-001	4.25	0.53
	DOW-020-001	4.1	0.54
BAL 29 Window Type Sliding Window Awning Window Fixed External Window Sliding Door Stacking Door Hinged Door	WERS Code	U Value	SHGC
	TND-034-001	3.1	0.61
	STG-001-066	3.91	0.54
	DOW-038-005	3.02	0.66
	AMJ-007-005	4.03	0.59
	AMJ-007-005	4.03	0.59
	GRN-009-001	4.29	0.53

NOTE:
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED


INTERIOR WINDOW & DOOR SCHEDULE							
STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
DOOR							
GROUND FLOOR	1	1000 SS	SQUARE SET OPENING	2,155	1,000	N/A	
GROUND FLOOR	5	2 x 720	SWINGING	2,040	1,440	N/A	
GROUND FLOOR	1	620	SWINGING	2,040	620	N/A	
GROUND FLOOR	1	720	SWINGING	2,040	720	N/A	LIFT-OFF HINGES
GROUND FLOOR	3	820	SWINGING	2,040	820	N/A	
GROUND FLOOR	2	820	SWINGING	2,040	820	N/A	LIFT-OFF HINGES
GROUND FLOOR	1	820 CSD	CAVITY SLIDING	2,040	820	N/A	

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

© 2025 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.

PICTURE, TV RECESS AND SS WINDOW OPENINGS				
QTY	TYPE	HEIGHT	WIDTH	AREA (m²)

 document Set ID: 2350034	SPECIFICATION:		REVISION		DRAWN		CLIENT:			HOUSE DESIGN:			HOUSE CODE:		DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	DESIGNER	1	DRAFT SALES PLAN - CP1		MLG	10/10/2025	SOPHIE LOUISE EAMES & ISAAC ETHAN ALEXANDE OBYRNE			ASCOT 12			H-WDCASC10SA		
	COPYRIGHT:	2	DRAFT SALES PLAN - CP2		MLG	17/10/2025	ADDRESS:			FACADE DESIGN:			FACADE CODE:		
	© 2025	3	PLANS UPDATE		MLG	23/10/2025	8 CAPSTONE RISE, BLACKSTONE HEIGHTS TAS 7250			CLASSIC			F-WDCASC10CLASA		
		4	PRELIM PLANS - INITIAL ISSUE		LTR	07/11/2025	LOT / SECTION / CT:		COUNCIL:		SHEET TITLE:		SHEET No.:	SCALES:	
							26 / - / 184991		MEANDER VALLEY		WINDOW & DOOR SCHEDULES		8 / 19		714520

Template Version: 24/04

NATURAL LIGHT AND VENTILATION

ROOM	AREA (m2)	WINDOW ID	LIGHT REQUIRED (m2)	LIGHT ACHIEVED (m2)	VENTILATION REQ'D (m2)	VENTILATION ACH'D (m2)
OPEN KITCHEN/ LIVING/ DINING	32.71 m²	W02, W03, D02	3.27 m²	9.22 m²	1.64 m²	6.28 m²
BED 1	14.61 m²	W01	1.46 m²	3.93 m²	0.73 m²	2.96 m²
BED 2	10.30 m²	W05	1.03 m²	1.38 m²	0.52 m²	0.79 m²
BED 3	11.34 m²	W04	1.13 m²	1.38 m²	0.57 m²	0.79 m²

PART 10.5.1 LIGHT: Minimum 10% of the floor area of a habitable room required (natural light)

PART 10.6 VENTILATION: Minimum 5% of the floor area of a habitable room required. (An exhaust fan may be used for sanitary compartment, laundry or bathroom provided contaminated air discharges directly to the outside of the building by way of ducts).

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

© 2025 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

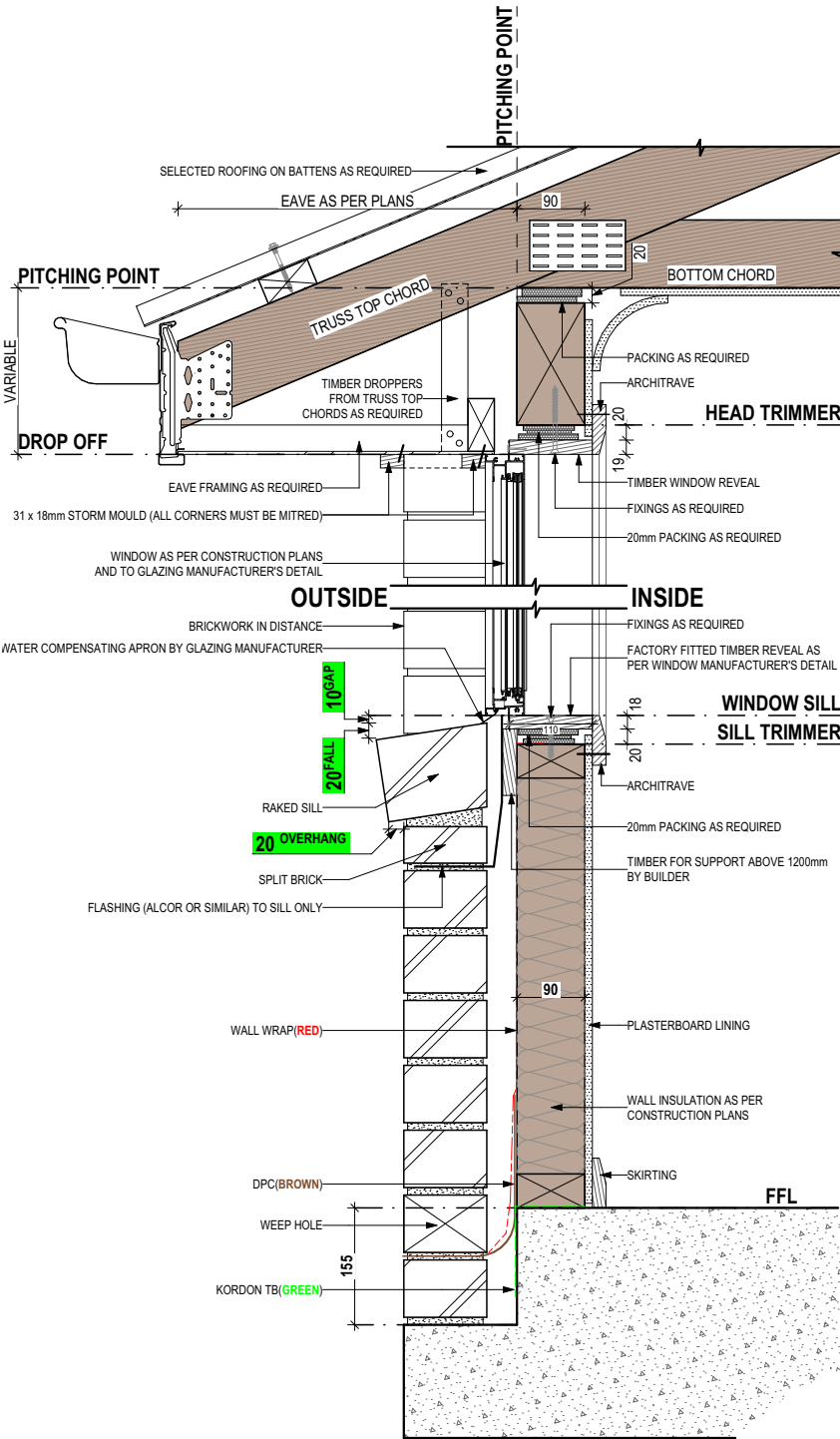
PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____	DATE: _____
SIGNATURE: _____	DATE: _____

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED



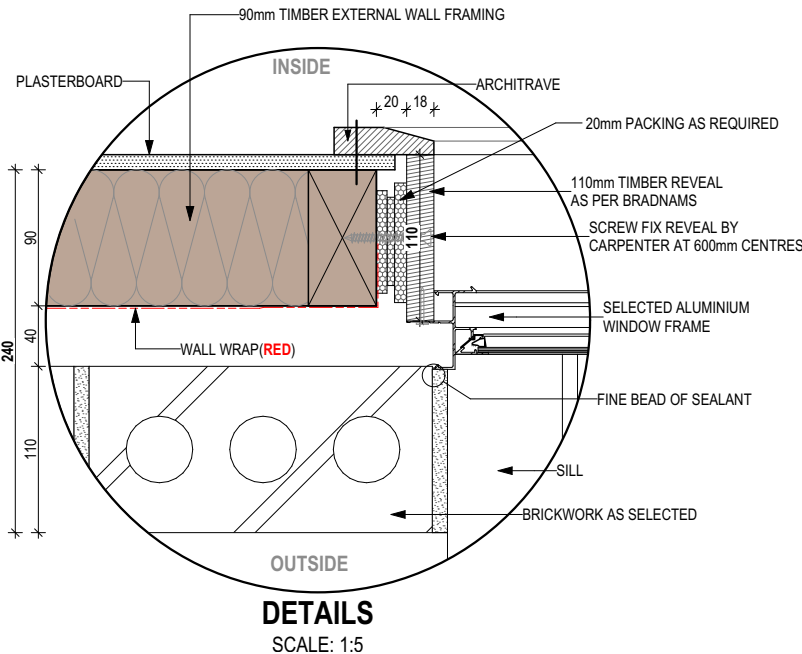
SPECIFICATION: DESIGNER		REVISION		DRAWN		CLIENT:		HOUSE DESIGN:		HOUSE CODE:		DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	1	DRAFT SALES PLAN - CP1		MLG	10/10/2025	SOPHIE LOUISE EAMES & ISAAC ETHAN ALEXANDE OBYRNE		ASCOT 12		H-WDCASC10SA		
COPYRIGHT: © 2025	2	DRAFT SALES PLAN - CP2		MLG	17/10/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:		
	3	PLANS UPDATE		MLG	23/10/2025	8 CAPSTONE RISE, BLACKSTONE HEIGHTS TAS 7250		CLASSIC		F-WDCASC10CLASA		
	4	PRELIM PLANS - INITIAL ISSUE		LTR	07/11/2025	LOT / SECTION / CT:		SHEET TITLE:		SHEET No.:	SCALES:	714520
						26 / - / 184991		MEANDER VALLEY		CALCULATIONS	9 / 19	



STANDARD BRICK								STANDARD BRICK																	
BRICKWORK DIMENSIONS				Bricks per m ² in wall = 48.5 approx.				all dimensions in mm				BRICKWORK DIMENSIONS				Bricks per m ² in wall = 48.5 approx.				all dimensions in mm					
FORMAT SIZE: 240x120x86mm		MANUFACTURING SIZE: 230x110x76mm		VERTICAL GAUGE: 7 Courses to 600mm				FORMAT SIZE: 240x120x86mm		MANUFACTURING SIZE: 230x110x76mm		VERTICAL GAUGE: 7 Courses to 600mm													
NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT		
1	230	250	86	26	6230	6250	2229	11	2630	2650	943	36 ¹ / ₂	8630										3086		
1 ¹ / ₂	350	370		26 ¹ / ₂	6350	6370		11 ¹ / ₂	2750	2770		36 ¹ / ₂	8750												
2	470	490	172	27	6470	6490	2314	12	2870	2890	1029	37	8870										3172		
2 ¹ / ₂	590	610		27 ¹ / ₂	6590	6610		12 ¹ / ₂	2990	3010		37 ¹ / ₂	8990												
3	710	730	257	28	6710	6730	2400	13	3110	3130	1114	38	9110										3257		
3 ¹ / ₂	830	850		28 ¹ / ₂	6830	6850		13 ¹ / ₂	3230	3250		38 ¹ / ₂	9230												
4	950	970	343	29	6950	6970	2486	14	3350	3370	1200	39	9350										3343		
4 ¹ / ₂	1070	1090		29 ¹ / ₂	7070	7090		14 ¹ / ₂	3470	3490		39 ¹ / ₂	9470												
5	1190	1210	429	30	7190	7210	2572	15	3590	3610	1286	40	9590										3429		
5 ¹ / ₂	1310	1330		30 ¹ / ₂	7310	7330		15 ¹ / ₂	3710	3730		40 ¹ / ₂	9710												
6	1430	1450	514	31	7430	7450	2657	16	3830	3850	1372	41	9830										3514		
6 ¹ / ₂	1550	1570		31 ¹ / ₂	7550	7570		16 ¹ / ₂	3950	3970		41 ¹ / ₂	9950												
7	1670	1690	600	32	7670	7690	2743	17	4070	4090	1457	42	10070										3600		
7 ¹ / ₂	1790	1810		32 ¹ / ₂	7790	7810		17 ¹ / ₂	4190	4210		42 ¹ / ₂	10190												
8	1910	1930	686	33	7910	7930	2829	18	4310	4330	1543	43	10310										3686		
8 ¹ / ₂	2030	2050		33 ¹ / ₂	8030	8050		18 ¹ / ₂	4430	4450		43 ¹ / ₂	10430												
9	2150	2170	772	34	8150	8170	2914	19	4550	4570	1629	44	10550										3772		
9 ¹ / ₂	2270	2290		34 ¹ / ₂	8270	8290		19 ¹ / ₂	4670	4690		44 ¹ / ₂	10670												
10	2390	2410	857	35	8390	8400	3000	20	4790	4810	1714	45	10790										3857		
								20 ¹ / ₂	4910	4930		45 ¹ / ₂	10910												
								21	5030	5050	1800	46	11030												3943
								21 ¹ / ₂	5150	5170		46 ¹ / ₂	11150												
								22	5270	5290	1886	47	11270												4029
								22 ¹ / ₂	5390	5410		47 ¹ / ₂	11390												
								23	5510	5530	1972	48	11510												4114
								23 ¹ / ₂	5630	5650		48 ¹ / ₂	11630												
								24	5750	5770	2057	49	11750												4200
								24 ¹ / ₂	5870	5890		49 ¹ / ₂	11870												
								25	5990	6010	2143	50	11990												4286
								25 ¹ / ₂	6110	6130		100	23990								8572				

NOT OFTEN REQUIRED. IF NEEDED ADD 20 TO LENGTH.

NOT OFTEN REQUIRED. IF NEEDED ADD 20 TO LENGTH.



SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

© 2025 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT
IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.



SPECIFICATION:		REVISION		DRAWN		CLIENT:		HOUSE DESIGN:		HOUSE CODE:		DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	
DESIGNER		1	DRAFT SALES PLAN - CP1	MLG	10/10/2025	SOPHIE LOUISE EAMES & ISAAC ETHAN ALEXANDE OBYRNE		ASCOT 12		H-WDCASC10SA		714520	
COPYRIGHT:		2	DRAFT SALES PLAN - CP2	MLG	17/10/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:			
© 2025		3	PLANS UPDATE	MLG	23/10/2025	8 CAPSTONE RISE, BLACKSTONE HEIGHTS TAS 7250		CLASSIC		F-WDCASC10CLASA			
		4	PRELIM PLANS - INITIAL ISSUE	LTR	07/11/2025	LOT / SECTION / CT:		SHEET TITLE:		SHEET No.:			
						26 / - / 184991		COUNCIL:		DETAILS (FACE BRICKWORK)		10 / 19	
						MEANDER VALLEY							

WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

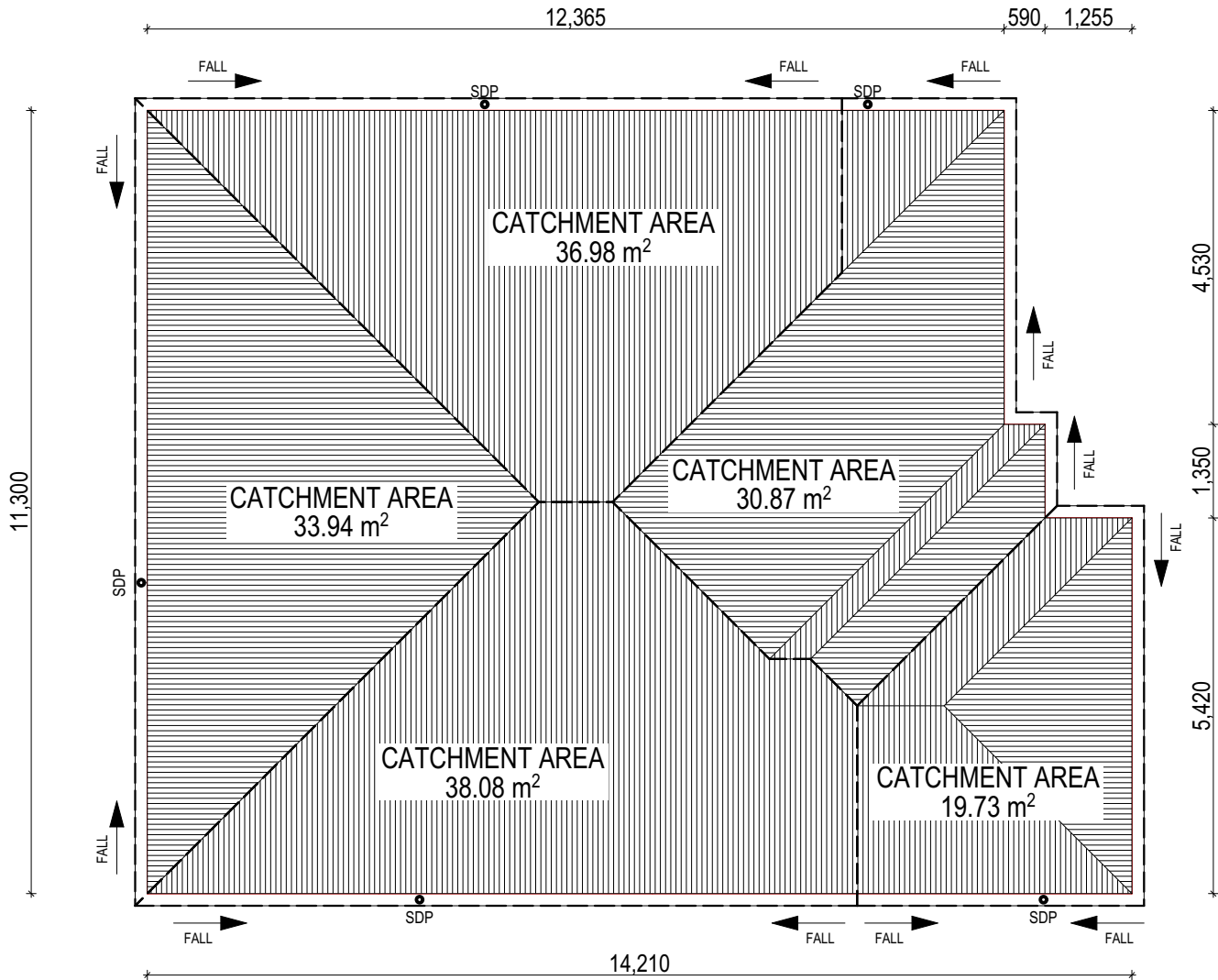
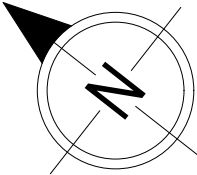
AREA'S SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

Roofing Data		
	150.52	Flat Roof Area (excluding gutter and slope factor) (m²)
	75.24	Roof Surface Area (includes slope factor, excludes gutter) (m²)
Downpipe roof calculations (as per AS/NZA3500.3:2021)		
Ah	159.61	Area of roof catchment (including 115mm Slotted Quad Gutter) (m²)
Ac	193.13	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.21 for 23° pitch) (m²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm²)
DRI	91	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m²)
Required Downpipes	3.02	Ac / Acdp
Downpipes Provided	5	

© 2025 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.



SPECIFICATION:		REVISION		DRAWN		CLIENT:		HOUSE DESIGN:		HOUSE CODE:		DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.		
DESIGNER		1	DRAFT SALES PLAN - CP1	MLG	10/10/2025	SOPHIE LOUISE EAMES & ISAAC ETHAN ALEXANDE OBYRNE		ASCOT 12		H-WDCASC10SA				
COPYRIGHT:		2	DRAFT SALES PLAN - CP2	MLG	17/10/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:				
© 2025		3	PLANS UPDATE	MLG	23/10/2025	8 CAPSTONE RISE, BLACKSTONE HEIGHTS TAS 7250		CLASSIC		F-WDCASC10CLASA				
		4	PRELIM PLANS - INITIAL ISSUE	LTR	07/11/2025	LOT / SECTION / CT:		COUNCIL:		SHEET TITLE:		SHEET No.:	SCALES:	714520
						26 / - / 184991		MEANDER VALLEY		ROOF DRAINAGE PLAN		11 / 19	1:100	



EV SOFFIT EAVE VENT PROPOSED LOCATION TO BE MIN. 1M FROM CORNER JOINT

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

	NO COVERING
	COVER GRADE CONCRETE
	CARPET
	LAMINATE
	TILE (STANDARD WET AREAS)
	TILE (UPGRADED AREAS)
	DECKING



SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

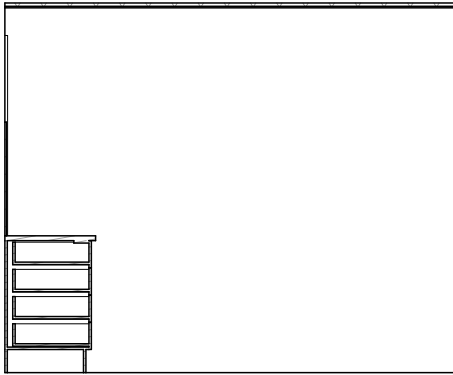
SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

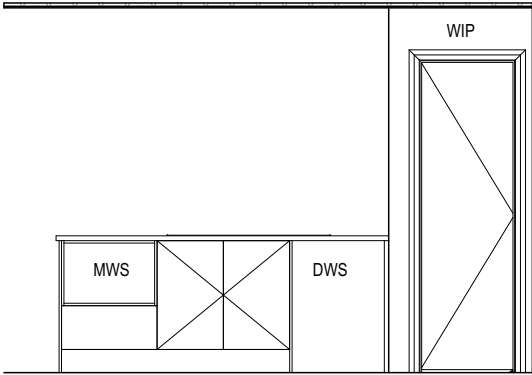
© 2025 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.



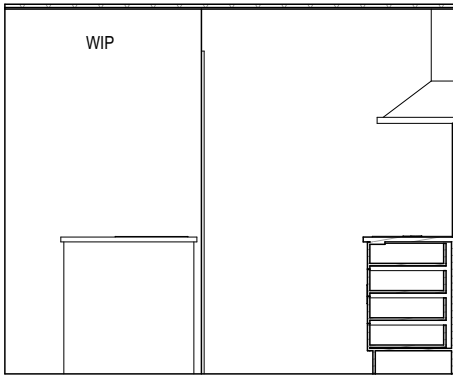
SPECIFICATION:	DESIGNER	REVISION	DRAWN	CLIENT:	HOUSE DESIGN:	HOUSE CODE:	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
COPYRIGHT:	© 2025	1 DRAFT SALES PLAN - CP1	MLG 10/10/2025	SOPHIE LOUISE EAMES & ISAAC ETHAN ALEXANDE OBYRNE	ASCOT 12	H-WDCASC10SA	
		2 DRAFT SALES PLAN - CP2	MLG 17/10/2025	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
		3 PLANS UPDATE	MLG 23/10/2025	8 CAPSTONE RISE, BLACKSTONE HEIGHTS TAS 7250	CLASSIC	F-WDCASC10CLASA	
		4 PRELIM PLANS - INITIAL ISSUE	LTR 07/11/2025	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	714520
				26 / - / 184991	FLOOR COVERINGS	12 / 19	
				COUNCIL:		SCALES:	
				MEANDER VALLEY		1:100	



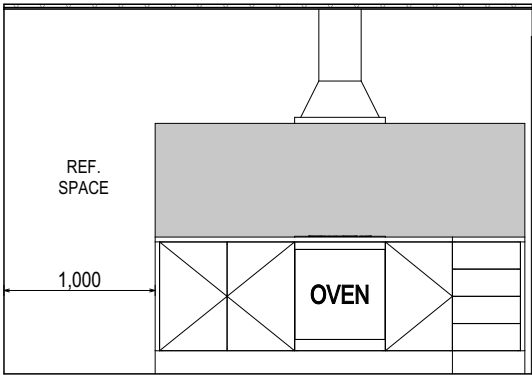
ELEVATION A
SCALE: 1:50



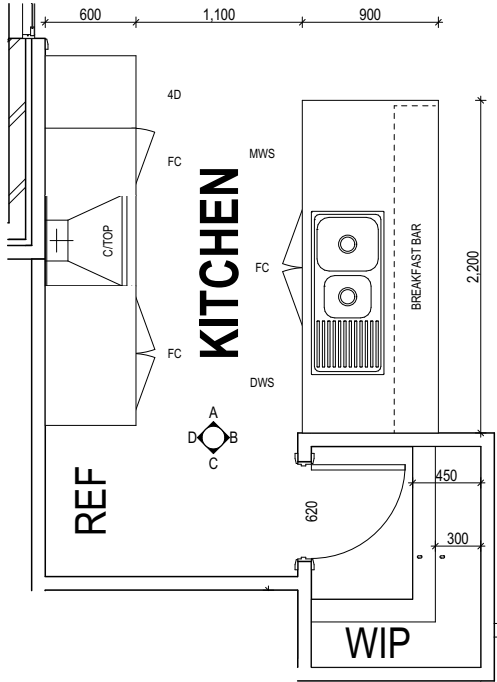
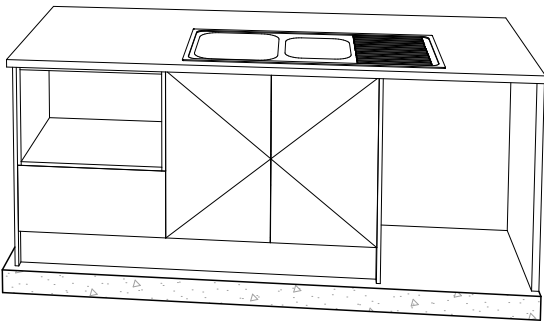
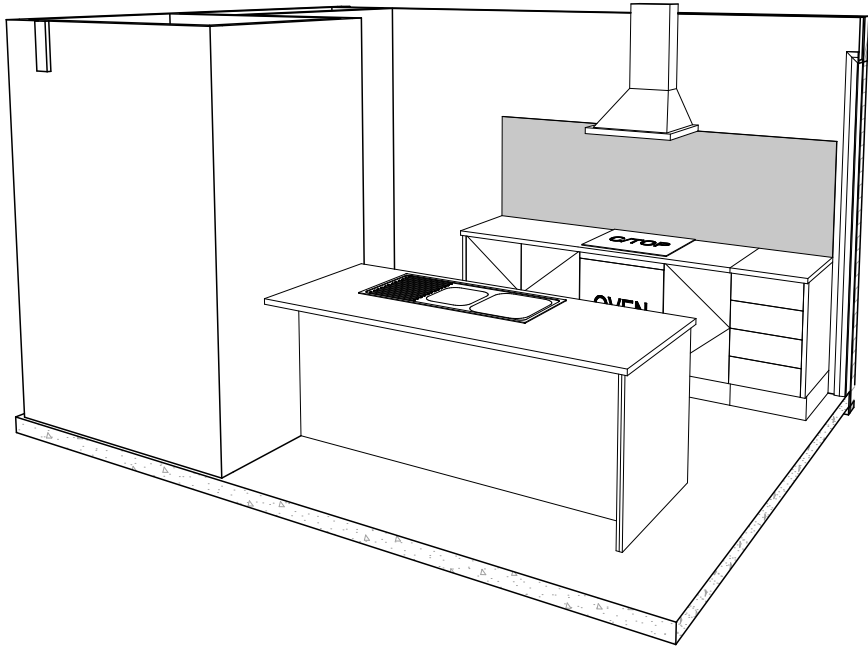
ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



KITCHEN PLAN
SCALE: 1:50

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY. JOINER MAY ADJUST CABINETS AS REQUIRED.

ALL DIMENSIONS ARE FRAME DIMENSIONS

© 2025 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.



SPECIFICATION: DESIGNER COPYRIGHT: © 2025	REVISION		DRAWN		CLIENT: SOPHIE LOUISE EAMES & ISAAC ETHAN ALEXANDE OBYRNE ADDRESS: 8 CAPSTONE RISE, BLACKSTONE HEIGHTS TAS 7250 LOT / SECTION / CT: 26 / - / 184991 COUNCIL: MEANDER VALLEY	HOUSE DESIGN: ASCOT 12 FACADE DESIGN: CLASSIC SHEET TITLE: KITCHEN DETAILS	HOUSE CODE: H-WDCASC10SA FACADE CODE: F-WDCASC10CLASA SHEET No.: 13 / 19	SCALES: 1:50	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714520
	1	DRAFT SALES PLAN - CP1	MLG	10/10/2025					
	2	DRAFT SALES PLAN - CP2	MLG	17/10/2025					
	3	PLANS UPDATE	MLG	23/10/2025					
	4	PRELIM PLANS - INITIAL ISSUE	LTR	07/11/2025					

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

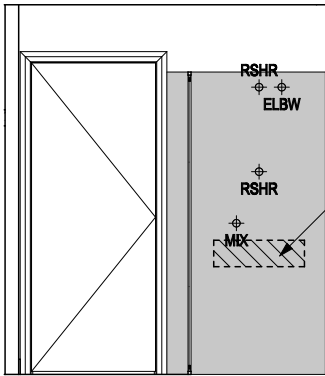
REFER TO THE FOLLOWING DETAILS:
VANITY DETAILS G-VANI-001
WINDOW OVER BATH HOB D-WIND-ALU001
STANDARD BATH HOB D-WETA-BATH003
WET AREA TILING LAYOUTS D-WETA-TILE002
SQUARE SET WINDOWS G-WIND-SSET02
FULL HEIGHT TILING D-LINI-WETA

REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

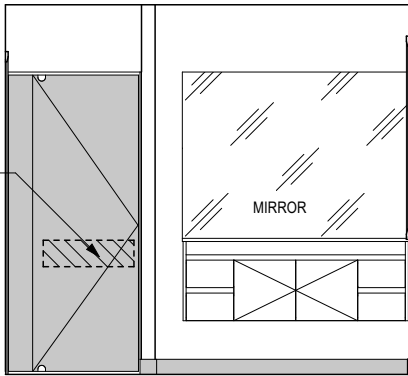
DETAILS DEPICTED ON THIS SHEET ARE A
REPRESENTATION ONLY

LEGEND

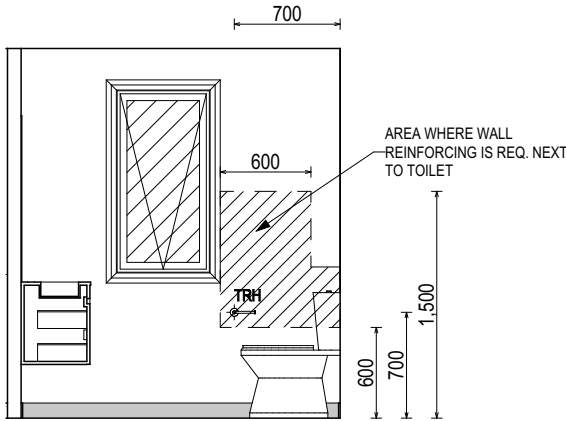
- RSHR RAIL SHOWER
ROSE SHOWER ROSE
ELBW SHOWER ELBOW
CONNECTION
MIX MIXER TAP
HT HOT TAP
CT COLD TAP
HS HOB SPOUT
WS WALL SPOUT
SC STOP COCK
TRH TOILET ROLL HOLDER
TR-S TOWEL RAIL - SINGLE
TR-D TOWEL RAIL - DOUBLE
TL TOWEL LADDER
TH TOWEL HOLDER
TR TOWEL RACK
TMB TUMBLER HOLDER
RNG TOWEL RING
RH ROBE HOOK
SHLF SHELF
SR SHAMPOO RECESS
SOAP SOAP HOLDER



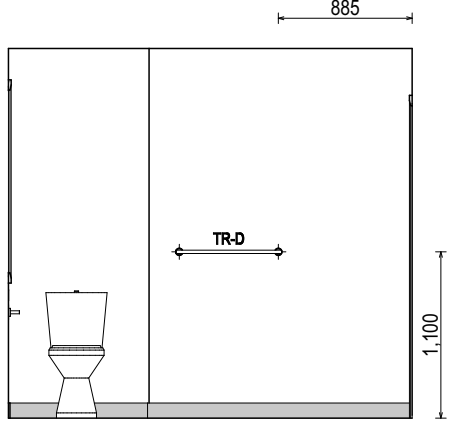
ELEVATION A
SCALE: 1:50



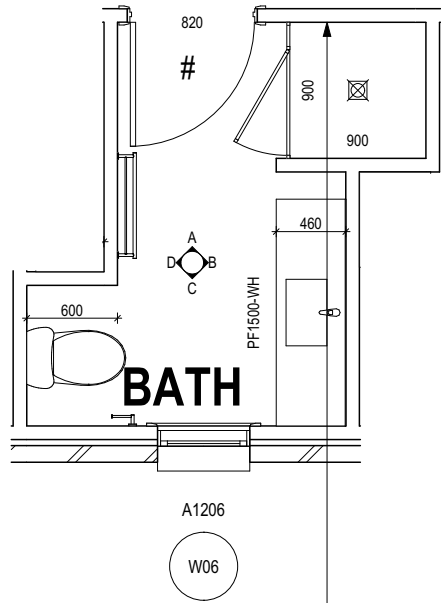
ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



BATHROOM PLAN
SCALE: 1:50

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

ALL DIMENSIONS ARE FRAME DIMENSIONS

© 2025 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.



SPECIFICATION:	DESIGNER
COPYRIGHT:	© 2025

REVISION	DRAWN
1 DRAFT SALES PLAN - CP1	MLG 10/10/2025
2 DRAFT SALES PLAN - CP2	MLG 17/10/2025
3 PLANS UPDATE	MLG 23/10/2025
4 PRELIM PLANS - INITIAL ISSUE	LTR 07/11/2025

CLIENT:	SOPHIE LOUISE EAMES & ISAAC ETHAN ALEXANDE OBYRNE
ADDRESS:	8 CAPSTONE RISE, BLACKSTONE HEIGHTS TAS 7250
LOT / SECTION / CT:	26 / - / 184991
COUNCIL:	MEANDER VALLEY

HOUSE DESIGN:	ASCOT 12
FACADE DESIGN:	CLASSIC
SHEET TITLE:	BATHROOM DETAILS

SHEET No.:
14 / 19

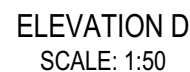
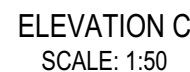
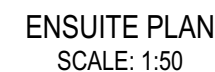
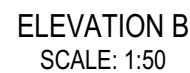
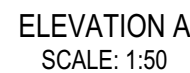
HOUSE CODE:	H-WDCASC10SA
FACADE CODE:	F-WDCASC10CLASA
SCALES:	1:50

DO NOT SCALE DRAWINGS. USE
FIGURED DIMENSIONS ONLY. CHECK
AND VERIFY DIMENSIONS AND
LEVELS PRIOR TO THE
COMMENCEMENT OF ANY WORK. ALL
DISCREPANCIES TO BE REPORTED
TO THE DRAFTING OFFICE.

714520

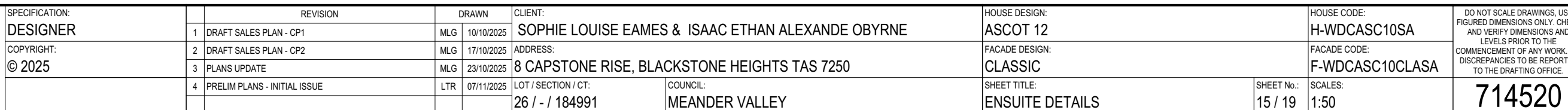
DETAILS DEPICTED ON THIS SHEET ARE A
REPRESENTATION ONLY

RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER



© 2025 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.

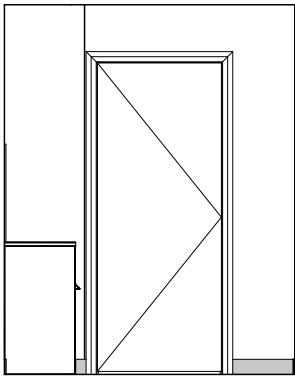
PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED



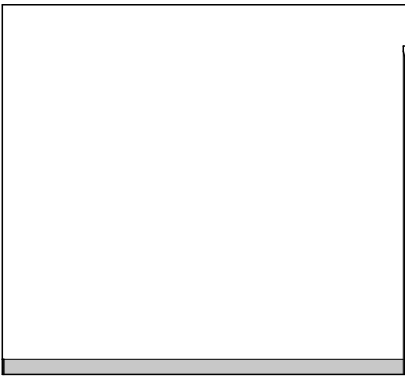
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

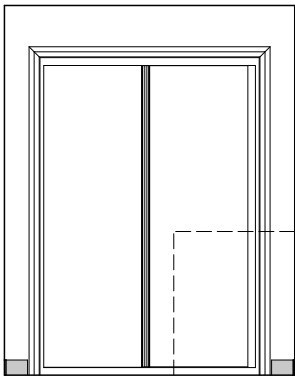
DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY



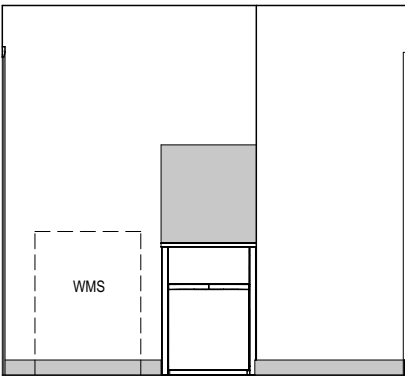
ELEVATION A
SCALE: 1:50



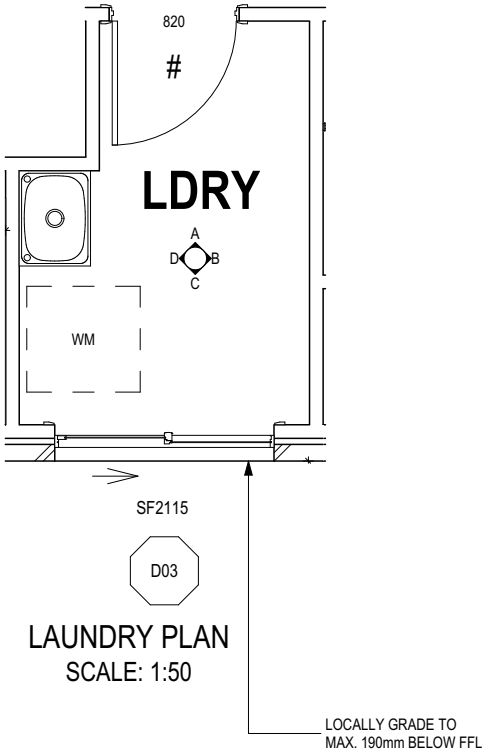
ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50




LAUNDRY PLAN
SCALE: 1:50

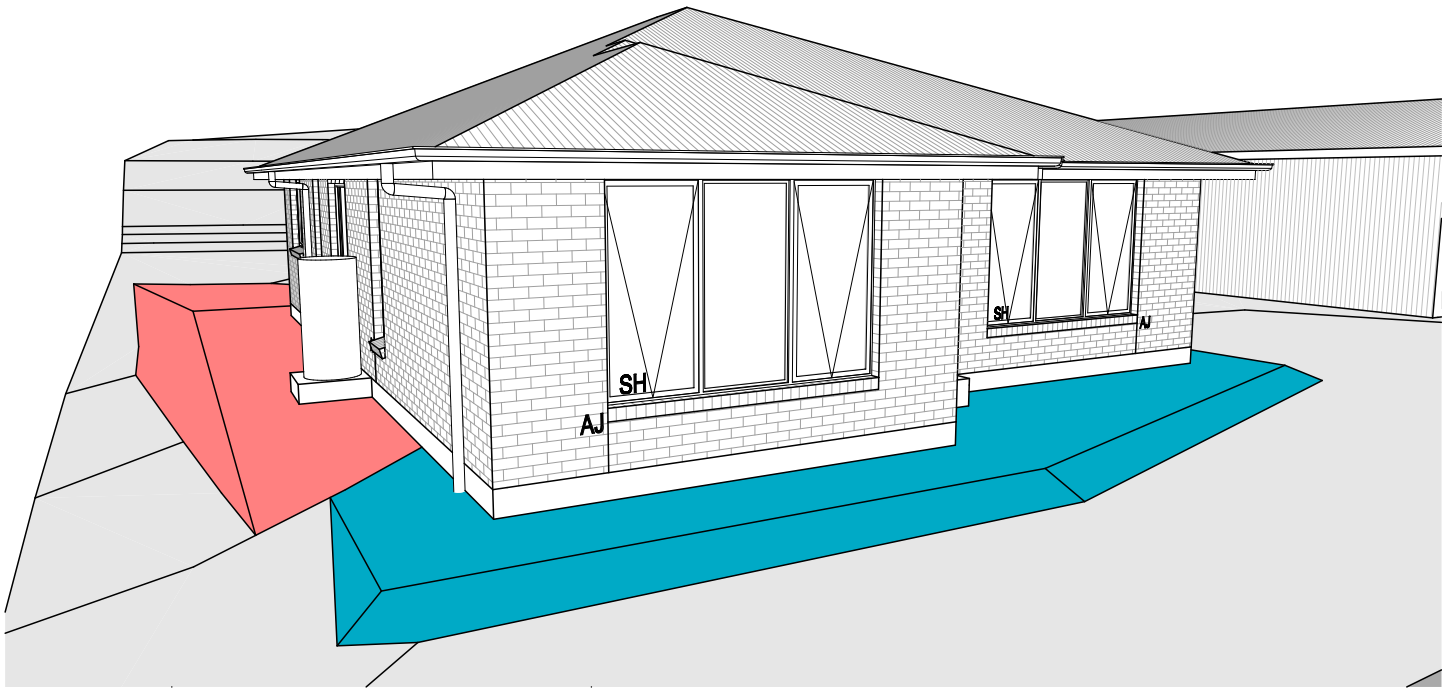
**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER	
SIGNATURE:	DATE:
SIGNATURE:	DATE:
PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED	

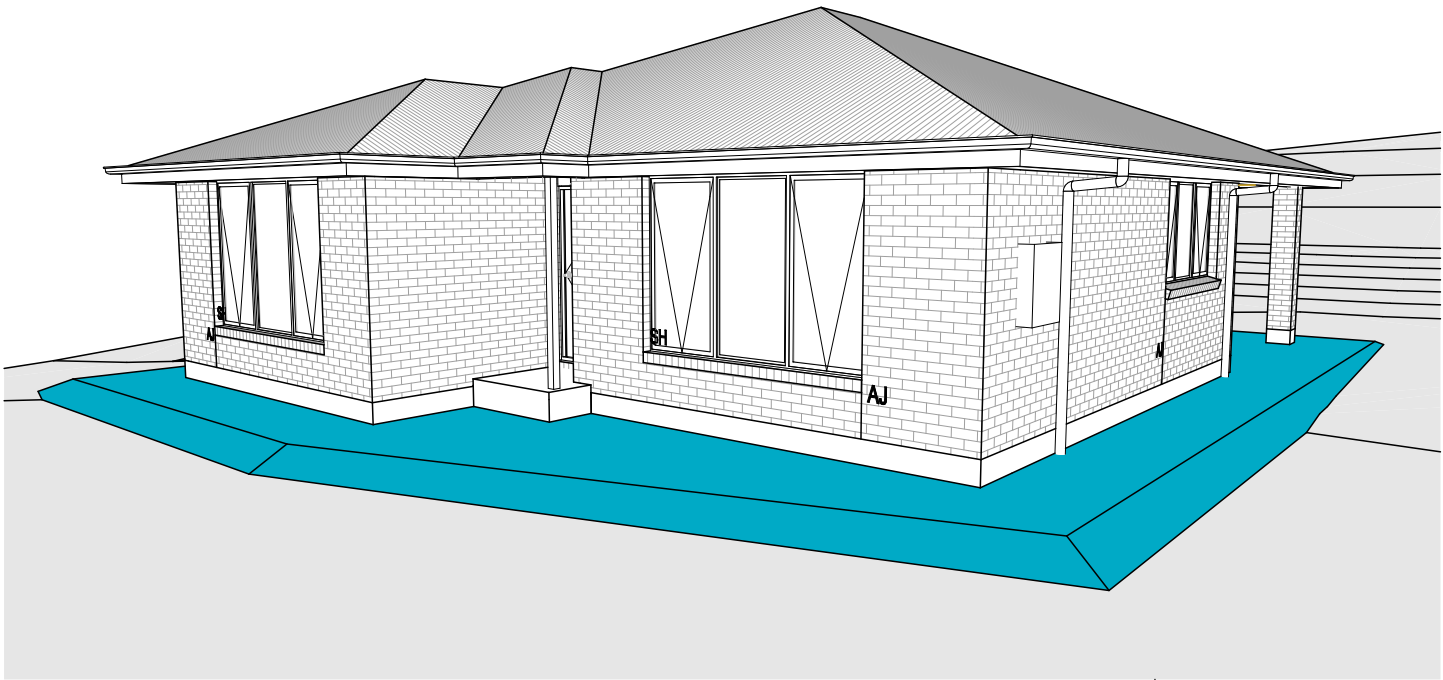
ALL DIMENSIONS ARE FRAME DIMENSIONS

© 2025 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.

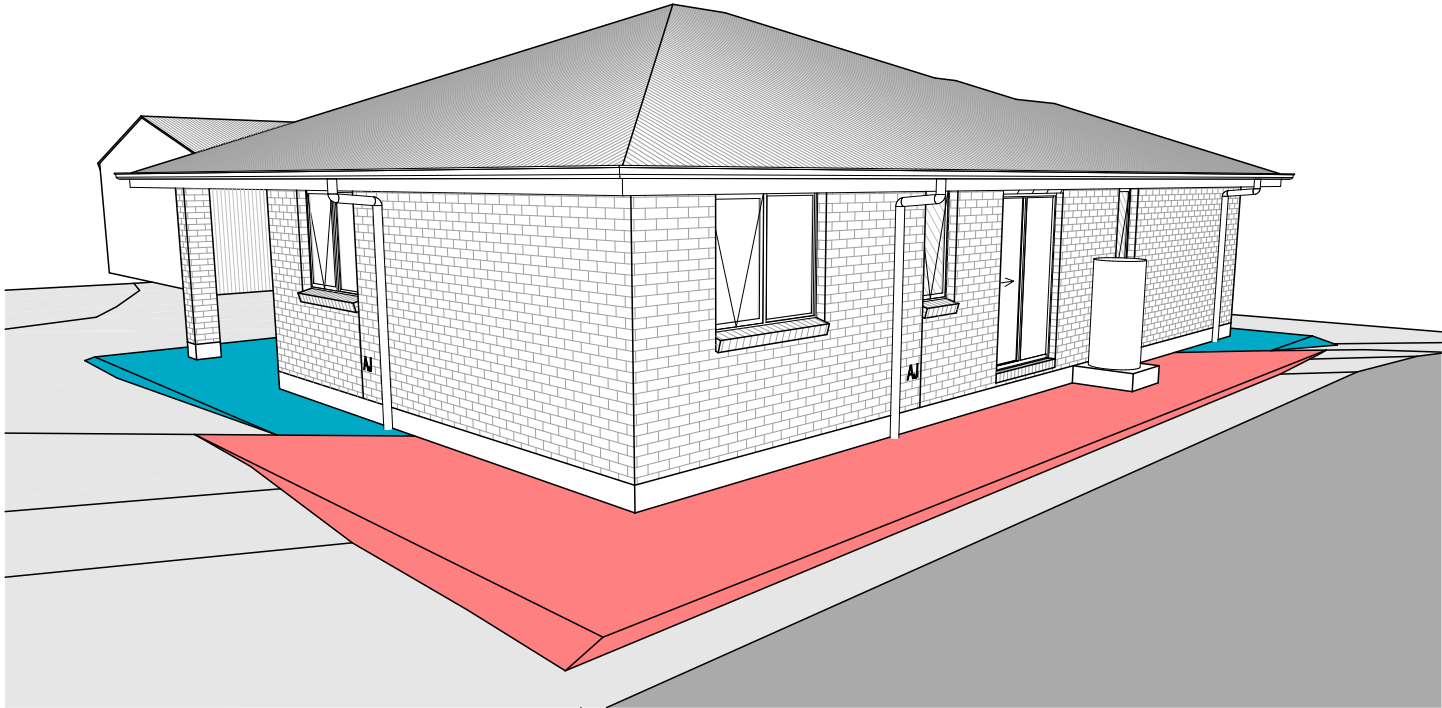
	SPECIFICATION:		REVISION		DRAWN		CLIENT:		HOUSE DESIGN:		HOUSE CODE:		DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	DESIGNER	1	DRAFT SALES PLAN - CP1		MLG	10/10/2025	SOPHIE LOUISE EAMES & ISAAC ETHAN ALEXANDE OBYRNE		ASCOT 12		H-WDCASC10SA		
	COPYRIGHT:	2	DRAFT SALES PLAN - CP2		MLG	17/10/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:		
	© 2025	3	PLANS UPDATE		MLG	23/10/2025	8 CAPSTONE RISE, BLACKSTONE HEIGHTS TAS 7250		CLASSIC		F-WDCASC10CLASA		
		4	PRELIM PLANS - INITIAL ISSUE		LTR	07/11/2025	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:		SHEET No.:	SCALES:	
						26 / - / 184991	MEANDER VALLEY	LAUNDRY DETAILS		16 / 19	1:50	714520	



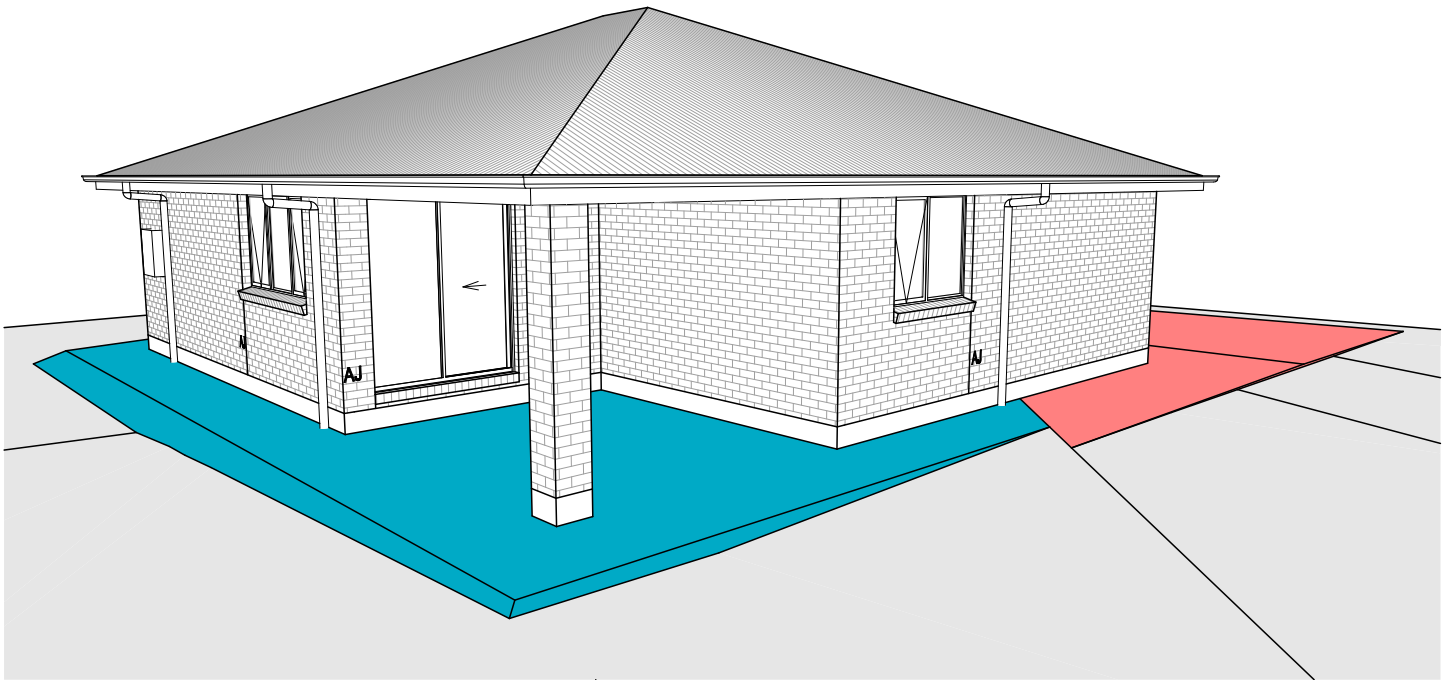
FRONT LEFT



FRONT RIGHT



REAR LEFT



REAR RIGHT

NOTE: SITE LEVELS AND SETBACKS SHOWN ARE INDICATIVE ONLY AND SUBJECT TO A FINAL CONTOUR SURVEY AND REGISTERED REPORTS BEING COMPLETED. 3D IMAGES ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE.

© 2025 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.


SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE:DATE:

SIGNATURE:DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

 <div>Document Set ID: 2350034</div>	SPECIFICATION:		REVISION		DRAWN		CLIENT:				HOUSE DESIGN:				HOUSE CODE:		DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	DESIGNER	1	DRAFT SALES PLAN - CP1		MLG	10/10/2025	SOPHIE LOUISE EAMES & ISAAC ETHAN ALEXANDE OBYRNE				ASCOT 12				H-WDCASC10SA		
	COPYRIGHT:	2	DRAFT SALES PLAN - CP2		MLG	17/10/2025	ADDRESS:				FACADE DESIGN:				FACADE CODE:		
	© 2025	3	PLANS UPDATE		MLG	23/10/2025	8 CAPSTONE RISE, BLACKSTONE HEIGHTS TAS 7250				CLASSIC				F-WDCASC10CLASA		
		4	PRELIM PLANS - INITIAL ISSUE		LTR	07/11/2025	LOT / SECTION / CT:		COUNCIL:		SHEET TITLE:		SHEET No.:		SCALES:		
						26 / - / 184991		MEANDER VALLEY		3D VIEWS		17 / 19		714520			

Template Version: 24/041

WET AREA NOTES

VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTIONS AND JOINTS	PENETRATIONS
ENCLOSED SHOWER WITH HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING HOB.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITHOUT HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA, INCLUDING WATERSTOP.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH STEPDOWN	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING THE STEPDOWN.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICHEVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH PRE-FORMED SHOWER BASE	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
UNENCLOSED SHOWERS	WATERPROOF ENTIRE UNCLOSED SHOWER AREA.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
AREAS OUTSIDE THE SHOWER AREA FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING	WATER RESISTANT TO ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS OUTSIDE THE SHOWER AREA FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS	WATERPROOF ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS ADJACENT TO BATHS AND SPAS FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING.	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
AREAS ADJACENT TO BATHS AND SPAS (SEE NOTE 1) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS.	WATERPROOF ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
INSERTED BATHS	N/A FOR FLOOR UNDER BATH. ANY SHELF AREA ADJOINING THE BATH OR SPA MUST BE WATERPROOF AND INCLUDE A WATERSTOP UNDER THE VESSEL LIP.	N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF THE BATH.	N/A FOR WALL UNDER BATH. WATERPRROF TO NOT LESS THAN 150 mm ABOVE THE LIP OF A BATH OR SPA.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
WALLS ADJOINING OTHER VESSELS (EG. SINKS, LAUNDRY TUBS AND BASINS)	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL IF THE VESSEL IS WITHIN 75mm OF THE WALL.	WHERE THE VESSEL IS FIXED TO A WALL, WATERPROOF EDGES FOR EXTENT OF VESSEL.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
LAUNDRIES AND WCS	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS TO NOT LESS THAN 25mm ABOVE THE FINISHED FLOOR LEVEL, SEALED TO FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A

THE ABOVE INFORMATION IS FOR GENERAL GUIDANCE AND IS INDICATIVE ONLY. WATERPROOFING INSTALLERS TO COMPLY WITH ALL CURRENT CODES OF LEGISLATION WHICH TAKE PRECEDENCE OVER THIS SPECIFICATION.

WET AREA WAERPROOFING BY LICENSED AND ACCREDITED INSTALLER. CERTIFICATION TO BE PROVIDED TO BUILDING SURVEYOR. CONTRACTOR OR BUILDER TO DETERMINE THE APPROPRIATE WATERPROOFING IN ACCORDANCE WITH AS3740 PART 10.2 OF N.C.C AND TO NOTIFY THE BUILDING SURVEYOR FOR INSPECTION ARRANGEMENTS DURING INSTALLATION.

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE:DATE:

SIGNATURE:DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

ENERGY EFFICIENCY - GENERAL

STATED R VALUES ARE FOR ADDITIONAL INSULATION REQUIRED AND ARE NOT RT VALUES (TOTAL SYSTEM VALUE)

INSULATION TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND ANY RELEVANT STANDARDS

BULK INSULATION IS NOT TO BE COMPRESSED AS THIS REDUCES THE EFFECTIVE R RATING

N.C.C 2022 TAS PART H6

IN TASMANIA, FOR NCC PART H6 REFER TO NCC 2019 AMENDMENT 1 PART 2.6; FOR NCC PART 13.1 REFER TO NCC 2019 PART 3.12

N.C.C 2019 3.12.0 (A)

PERFORMANCE REQUIREMENT P2.6.1 FOR THE THERMAL PERFORMANCE OF THE BUILDING IS SATISFIED BY COMPLYING WITH:

3.12.0.1 - FOR REDUCING THE HEATING AND COOLING LOADS

TO REDUCE HEATING AND COOLING LOADS MUST ACHIEVE AN ENERGY RATING USING HOUSING ENERGY RATING SOFTWARE OF NOT LESS THAN 6 STARS.

3.12.1.1 - FOR BUILDING FABRIC THERMAL INSULATION

BUILDER TO ENSURE THAT ALL INSULATION COMPLIES WITH AS/NZS 4859.1 AND BE INSTALLED TO N.C.C 3.12.1.1.

3.12.1.2(e) - FOR COMPENSATING FOR A LOSS OF CEILING INSULATION

REFER TO ATTACHED THERMAL PERFORMANCE CERTIFICATE

(i) IF ALLOWANCE HAS BEEN MADE FOR CEILING PENERATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN NO FURTHER ACTION REQUIRED.

(ii) IF NO ALLOWANCE HAS BEEN MADE FOR CEILING PENETRATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN CEILING PENETRATION AREA MUST BE CALCULATED AND THE NECESSARY ADJUSTMENT MADE TO THE SPECIFIED INSULATION AS PER TABLE 3.12.1.1B OF NCC

3.12.1.5(c) AND 3.12.1.5(d) - FOR FLOOR EDGE INSULATION

FOR CONCRETE SLAB ON GROUND WITH IN SLAB HEATING OR COOLING.

3.12.3 - FOR BUILDING SEALING

3.12.3.1 - CHIMNEYS AND FLUES

THE CHIMNEY OR FLUE OF AN OPEN SOLID FUEL BURNING APPLIANCE MUST BE PROVIDED WITH A DAMPER OR FLAP THAT CAN BE CLOSED TO SEAL THE CHIMNEY OR FLUE.

3.12.3.2 - ROOF LIGHTS

(a) A ROOF LIGHT MUST BE SEALED, OR CAPABLE OF BEING SEALED WHEN SERVING:

(i) A CONDITIONED SPACE; OR

(ii) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8

(b) A ROOF LIGHT REQUIRED BY (a) TO BE SEALED, OR CAPABLE OF BEING SEALED MUST BE CONSTRUCTED WITH:

(i) AN IMPERFORATE CEILING DIFFUSER OR THE LIKE INSTALLED AT A CEILING OR INTERNAL LINING LEVEL; OR

(ii) A WATERPROOF SEAL; OR

(iii) A SHUTTER SYSTEM READILY OPERATED MANUALLY, MECHANICALLY OR ELECTRONICALLY BY THE OCCUPANT.

3.12.3.5 - CONSTRUCTION OF ROOF, WALLS AND FLOORS

(a) ROOFS, EXTERNAL WALLS, EXTERNAL FLOORS AND AN OPENING SUCH AS A WINDOW FRAME, DOOR FRAME, ROOF LIGHT FRAME OR THE LIKE MUST BE CONSTRUCTED TO MINIMISE AIR LEAKAGE IN ACCORDANCE WITH (b) WHEN FORMING PART OF THE EXTERNAL FABRIC OF:

(i) A CONDITIONED SPACE; OR

(ii) A HABITABLE ROOM IN CLIMATE ZONE 4, 5, 6, 7 OR 8.

(b) CONSTRUCTION REQUIRED BY (a) MUST BE:

(i) ENCLOSED BY AN INTERNAL LINING SYSTEM THAT ARE CLOSE FITTING AT CEILING, WALL AND FLOOR JUNCTIONS; OR

(ii) SEALED BY CAULKING, SKIRTING, ARCHITRAVES, CORNICES OR THE LIKE.

3.12.3.6 - EVAPORATIVE COOLERS

AN EVAPORATIVE COOLER MUST BE FITTED WITH A SELF CLOSING DAMPER OR THE LIKE WHEN SERVING:

(a) A HEATED SPACE; OR

(b) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8.

3.12.5.5 - ARTIFICIAL LIGHTING

(a) LAMP POWER DENSITY OR ILLUMINATION POWER DENSITY OF AN ARTIFICIAL LIGHT, EXCLUDING HEATING THAT EMITS LIGHT, MUST NOT EXCEED THE ALLOWANCE OF:

(i) 5W/m² IN A CLASS 1 BUILDING

(ii) 4W/m² ON A VERANDAH, BALCONY OR THE LIKE ATTACHED TO A CLASS 1 BUILDING (NOT EXCLUDING EAVE PERIMETER LIGHTS);

(iii) 3W/m² IN A CLASS 10A BUILDING ASSOCIATED WITH A CLASS 1 BUILDING.

(b) THE ILLUMINATION POWER DENSITY ALLOWANCE IN (a) MAY BE INCREASED BY DIVIDING IT BY THE ILLUMINATION POWER DENSITY ADJUSTMENT FACTOR FOR A CONTROL DEVICE AS PER N.C.C TABLE 3.12.5.3.

WAFFLE POD ALLOWANCES:

- R0.6 - 175mm DEEP

- R0.7 - 225mm DEEP

- R0.8 - 300mm DEEP

- R0.9 - 375mm DEEP

© 2025 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.

WILSON HOMES

SPECIFICATION:

DESIGNER

COPYRIGHT:

© 2025

1

DRAFT SALES PLAN - CP1

MLG

10/10/2025

2

DRAFT SALES PLAN - CP2

MLG

17/10/2025

3

PLANS UPDATE

MLG

23/10/2025

4

PRELIM PLANS - INITIAL ISSUE

LTR

07/11/2025

REVISION

DRAWN

CLIENT:

SOPHIE LOUISE EAMES & ISAAC ETHAN ALEXANDE OBYRNE

ADDRESS:

8 CAPSTONE RISE, BLACKSTONE HEIGHTS TAS 7250

LOT / SECTION / CT:

26 / - / 184991

COUNCIL:

MEANDER VALLEY

HOUSE DESIGN:

ASCOT 12

FACADE DESIGN:

CLASSIC

SHEET TITLE:

WET AREA & ENERGY EFFICIENCY NOTES

SHEET No.:

19 / 19

HOUSE CODE:

H-WDCASC10SA

FACADE CODE:

F-WDCASC10CLASA

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

714520

Document Set ID: 2259934

Version: 1, Version Date: 01/12/2025

File Location: D:\WILSON\1_JOB\714520 - Eames & O'Byrne\MTek_Issue\714520 Eames & O'Byrne - AC24 - Prelim - 2025.11.07.pn

Template Version: 24.041



WILSON
HOMES

25/11/2025

Council

Building & Plumbing Permit Authority

Pursuant to **Section 166 of the Building Act 2016**, I write to confirm that; due to the presence of highly reactive soils identified in the geotechnical report, the proposed hydraulic drainage works required at 8 Capstone Rise, Blackstone Heights TAS 7250 have been designed and assessed as a '*performance solution*' in meeting the requirements within NCC 2022.

We, Sophie Eames and Isaac Obyrne, owners of at 8 Capstone Rise, Blackstone Heights TAS 7250, acknowledge that the design and associated proposed hydraulic drainage works are an alternative design that meets requirements within the NCC as '*performance solution*'.

Sincerely,

Sophie Eames and Isaac Obyrne

Signed: Sophie Eames Isaac Obyrne

Date: 25/11/25

LOVE
BEING
home

1300 595 050
wilsonhomes.com.au

Southern Head Office 250 Murray Street, Hobart Tasmania
Northern Head Office 117-119 Elizabeth St, Launceston Tasmania

Wilson Homes Tasmania Pty Ltd. ABN: 96 126 636 897. BLN: 248660581. TAS Architect Registration No: 1036



Our Ref: L251211
X Ref: 714520
MVC ref: PA\26\0151

17 December 2025

Planning Department
Meander Valley Council
By email planning@mvc.tas.gov.au

Dear Planning

Response to Further Information Request – PA\26\0151 – 8 Capstone Rise BLACKSTONE HEIGHTS

The following is provided in response to the RFI for the development application for a single dwelling with outbuilding at the abovementioned address.

10.4 Development Standards for Dwellings

10.4.3 Setback

Objective	
That the siting of dwellings is compatible with the streetscape and does not cause an unreasonable loss of amenity for adjoining properties.	
Acceptable Solutions	Performance Criteria
A1 Dwellings, excluding protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage not less than 8m.	P1 The siting of a dwelling must be compatible with the streetscape and character of development existing on established properties in the area, having regard to: <ul style="list-style-type: none">a) the topography of the site;b) the setbacks of surrounding buildings;c) the height, bulk and form of existing and proposed buildings;



		<p>d) the appearance when viewed from roads and public open space adjacent to the site; and</p> <p>e) (e) the safety of road users.</p>
A2	Dwellings, excluding outbuildings with a building height of not more than 2.4m and protrusions that extend not more than 0.9m horizontally from the building, must have a setback from side and rear boundaries of not less than 5m.	<p>P2 The siting of a dwelling must not cause an unreasonable loss of amenity to adjoining properties, having regard to:</p> <p>a) the topography of the site;</p> <p>b) the size, shape and orientation of the site;</p> <p>c) the setbacks of surrounding buildings;</p> <p>d) the height, bulk and form of existing and proposed buildings;</p> <p>e) the existing buildings and private open space areas on the site;</p> <p>f) sunlight to private open space and windows of habitable rooms on adjoining properties; and</p> <p>g) the character of development existing on established properties in the area.</p>

Response

- P1 The performance criteria are addressed. The dwelling has a reduced setback to the frontage of 4.5m for part of the dwelling facade, and 6.1m for the remainder. The front door is inset to the façade. The garage, as proposed will have a setback of 4.9m-5.1m against the variation in the frontage.
- The criteria asks that the siting of a dwelling be compatible with the streetscape and character of development existing on established properties in the area. At the time of application, there are five properties developed to single dwellings and another partially completed (information taken from recent aerial imagery). The majority of lots are vacant. Earthworks to some lots is evident. The proposed dwelling will have a reduced setback in comparison to the established properties at 10 and 14 Capstone Rise, but comparable (in measurement) to the recently developed land at 5 Capstone Rise.
- a. The established dwellings (at 10 and 14) have a different topography to the proposed. 10 Capstone Rise is the neighbouring lot to the subject site. The lot shares a part of the steep rise at the rear but has a far greater proportion of flatter land at the front, though it is evident that some earthworks have also been undertaken. Imagery with contours that has been provided from site inspections shows that the land at 10 Capstone has a steep rise in the northern corner, whereas the subject site carries this steep rise across the width of the lot with the highest part of this rise located at the rear of the site. Evidence of this is also shown by the retaining structure at the rear of 10 Capstone Rise. Although adjoining, the topographies between these two lots is varied, and they require different consideration for development.



Woolcott
LAND SERVICES



Launceston

P 03 6332 3760
E enquiries@woolcott.au
A 10 Goodman Court Invermay TAS 7248
W woolcottland.au

St Helens

P 03 6376 1972
E admin@ecosurv.com.au
A Cecilia Street, St Helens TAS 7216
W woolcottland.au

The dwelling at 14 Capstone Rise has a very different topography, with the land sloping down to the south west. The dwelling can achieve frontage setbacks as it's slope compensation is to the side boundary without challenge from the front or rear of the lot.



Figure 1 Showing steep variation in site topography and evidence of rocky soil type.



Woolcott
LAND SERVICES



Launceston

P 03 6332 3760
E enquiries@woolcott.au
A 10 Goodman Court Invermay TAS 7248
W woolcottland.au

St Helens

P 03 6376 1972
E admin@ecosurv.com.au
A Cecilia Street, St Helens TAS 7216
W woolcottland.au



Figure 2 Provided to illustrate contours together with neighbouring contours over the site and neighbouring site as a whole, highlighting the variations between the two lots.

The dwelling at 5 Capstone Rise has similar topography to the subject site, having a steep and rocky section of hill at the rear of the lot. Excavation has been made to allow for the dwelling and it is clear that what can be levelled has compelled a reduced setback to the frontage and side boundary, with the front setback estimated at 5m. It is likely that any dwelling at 1 River Mint View will have similar constraints and result in similar reduced setbacks.

The development at 2 River Mint View also appears to compensate for the slope of the land by including a building (possibly an outbuilding) within the primary frontage setback, and the dwelling being much further set back, but nearer to the secondary frontage. This is possibly to allow for safe vehicle access to the site.

As such, the proposed achieves compatibility with the existing dwellings in the area, as the proposed dwelling compensates for the topography of the site, as other dwellings have been



built for the context of their sites. Each is in context of the overriding topography of the area, characterised by the steep rises in the area (peaking on the subject site) and the reasonably sharp slope to the west.



Figure 3 Setback at 5 Capstone Rise estimated at 5m.

Further, future development will be subject to each lot's topography. The area is well known for being rocky and with boulders, making site preparation challenging.

- b. The setbacks of the surrounding buildings are discussed in (a) in discussing the topography.
- c. The proposed building is single storey, modest in built form and has a staggered façade, reducing, or mitigating effects of the reduced setback. Surrounding buildings are similar in that they are single storey, but they are somewhat varied in size, or proportion of the lot.
- d. The dwelling will appear as typical for a residential area. The façade is well provisioned with large windows and visible front entrance. The dwelling presentation provides a sense of address to the site and the open visage will encourage levels of passive social interaction and surveillance. The built form will be set against the backdrop of the steep rise of the land. The topography gives the built form context in the overall street character; retaining the varied topography (the rise in the landscape) retains the essential character of the place and area.



- e. There is no apparent risk to road safety. The setback is not so reduced as to cause issues in sight lines. The vehicle crossings for the neighbouring dwellings are all separated, providing distance between built form on lots and vehicle access.

Within the streetscape, the setback is compatible. It should be recognised that the topography of the land is a significant factor of the streetscape character and that buildings will need to be adaptive to this. The topography is a determining factor in the presentation of the street, and the siting of dwellings and is also a significant factor in characterising the streetscape. Building to the landscape features, rather than modifying them helps to maintain the streetscape character.

- P2 The performance criteria apply; the side boundary setbacks are reduced.
- a. As discussed at P1, the topography of the site is a determining factor in the siting of the dwelling. Rocky ground and boulders are a known issue and the site includes a steep rise at the rear. This has compelled the buildings to be sited more forward and utilise the width of the lot, rather than the depth.
 - b. The site is rectangular (in general) with the long axis running northwest to south east. The site is 1515m² with a width of 26m at the front boundary. Given the soil type and topography of the site the lot presents limited area within for building.
 - c. The setback of the proposed to the southwest boundary is 3m. The dwelling is single storey and separated from the neighbouring dwelling by their driveway. Any overshadowing will be confined to the am hours and unlikely to be unreasonable considering the separation of dwellings.
 - d. Existing and proposed buildings are typical for low density residential development in height, bulk and form.
 - e. The proposed building is set forward on the lot, overlooking potential is minimal.
 - f. Any overshadowing is expected to be minimal in effect.
 - g. The character of development is discussed at P1. Reductions in side boundary setbacks are evident in established properties, especially where topography is a determining factor.

With regards

Michelle Schleiger
BUrbRegEnvPlan
Town Planner



Woolcott
LAND SERVICES



Launceston

P 03 6332 3760
E enquiries@woolcott.au
A 10 Goodman Court Invermay TAS 7248
W woolcottland.au

St Helens

P 03 6376 1972
E admin@ecosurv.com.au
A Cecilia Street, St Helens TAS 7216
W woolcottland.au