

PLANNING NOTICE

An application has been received for a Permit under s.57 of the Land Use Planning Approvals Act 1993:

APPLICANT:	BVZ Designs - PA\26\0135
PROPERTY ADDRESS:	20 Daytona Rise PROSPECT VALE (CT: 183008/13)
DEVELOPMENT:	Multiple dwellings (x2) & Retaining walls - setbacks, building envelope, private open space, frontage fence, parking, attenuation

The application can be inspected until **Thursday, 8 January 2026**, at www.meander.tas.gov.au or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to planning@mvc.tas.gov.au. Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Dated at Westbury on 13 December 2025.

Jonathan Harmey
GENERAL MANAGER

APPLICATION FORM

PLANNING PERMIT

Land Use Planning and Approvals Act 1993



Meander Valley Council
Working Together

- Application form & details MUST be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work? ☐ Yes ☐ No Indicate by ✓ box
- Have you already received a Planning Review for this proposal? ☐ Yes ☐ No
- Is a new vehicle access or crossover required? ☐ Yes ☐ No

PROPERTY DETAILS:

Address:	<input type="text" value="20 DAYTUNA RISE"/>	Certificate of Title:	<input type="text" value="183008/13"/>	
Suburb:	<input type="text" value="PROSPECT VAGE"/>	<input type="text" value="7250"/>	Lot No:	<input type="text"/>
Land area:	<input type="text" value="719"/>	<input type="text" value="m² / ha"/>		
Present use of land/building:	<input type="text" value="VACANT LAND"/>			

(vacant, residential, rural, industrial, commercial or forestry)

- Does the application involve Crown Land or Private access via a Crown Access Licence: ☐ Yes ☒ No
- Heritage Listed Property: ☐ Yes ☒ No

DETAILS OF USE OR DEVELOPMENT:

- Indicate by ✓ box
- | | | | |
|---|--|--------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> Building work | <input type="checkbox"/> Change of use | <input type="checkbox"/> Subdivision | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> Forestry | <input type="checkbox"/> Other | | |

Total cost of development (inclusive of GST): Includes total cost of building work, landscaping, road works and infrastructure

Description of work:

Use of building: (main use of proposed building – dwelling, garage, farm building, factory, office, shop)

New floor area: m² New building height: m

Materials:

External walls:	<input type="text" value="BRICK"/>	Colour:	<input type="text" value="NEUTRAL GREY"/>
Roof cladding:	<input type="text" value="COLORBOND"/>	Colour:	<input type="text" value=""/>

SEARCH OF TORRENS TITLE

VOLUME 183008	FOLIO 13
EDITION 2	DATE OF ISSUE 30-Oct-2023

SEARCH DATE : 12-Nov-2025

SEARCH TIME : 01.59 PM

DESCRIPTION OF LAND

Town of PROSPECT VALE

Lot 13 on Sealed Plan 183008

Derivation : Part of 251 Acres Gtd. to John Fawns

Prior CT 176277/100

SCHEDULE 1

N160230 TRANSFER to JOHN TRISTAN POLICARPIO LIM and BELLATRIX
ANN MONTINOLA VIZCARRA Registered 30-Oct-2023 at
noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

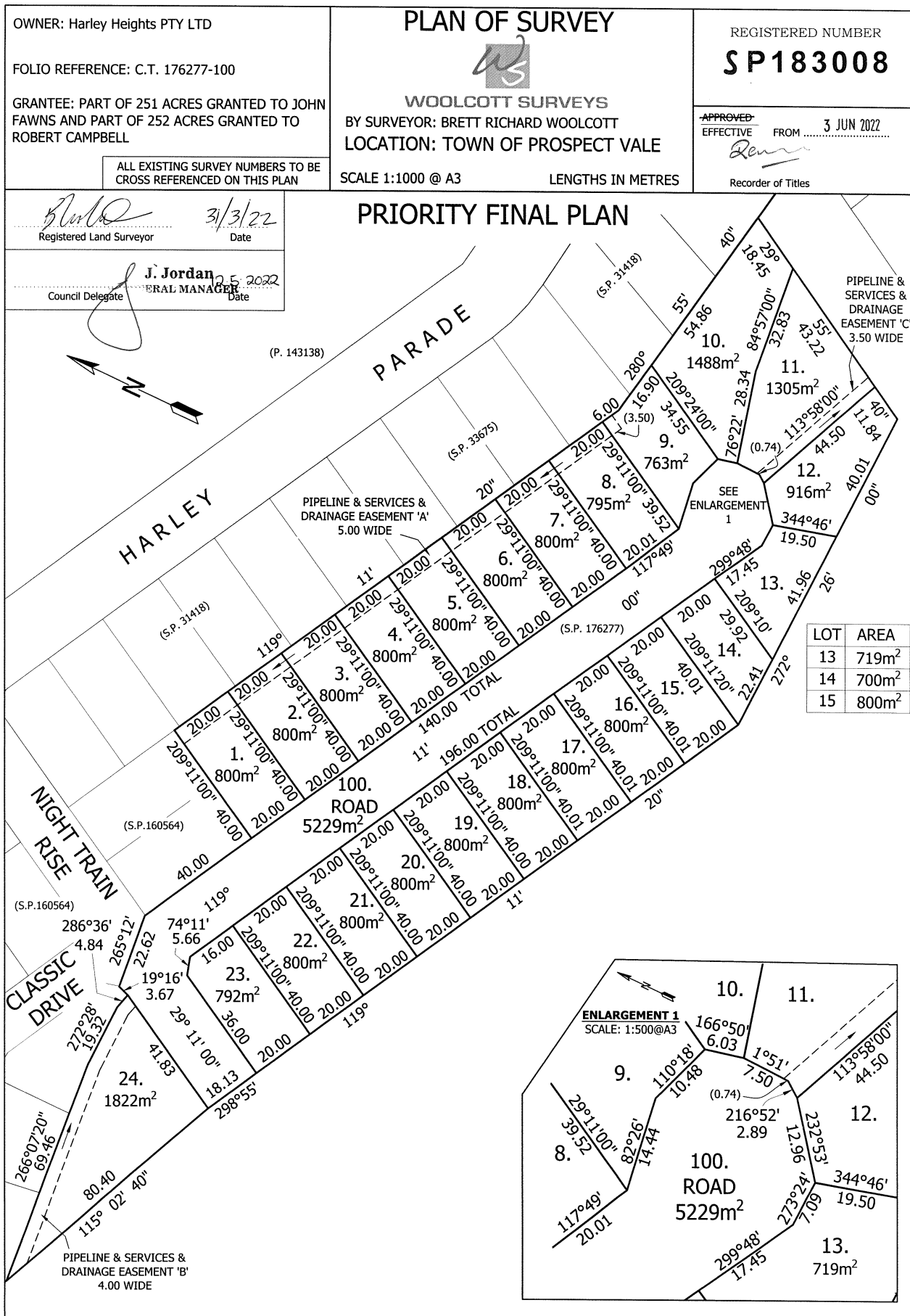
SP183008 FENCING COVENANT in Schedule of Easements

B738897 PROCLAMATION under Section 52A of the Roads and
Jetties Act 1935 Registered 10-May-1995 at noon

E366219 MORTGAGE to Westpac Banking Corporation Registered
30-Oct-2023 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

N291965 PRIORITY NOTICE reserving priority for 90 days
D/MORTGAGE WESTPAC BANKING CORPORATION TO JOHN
TRISTAN POLICARPIO LIM AND BELLATRIX ANN MONTINOLA
VIZCARRA
TRANSFER JOHN TRISTAN POLICARPIO LIM AND BELLATRIX
ANN MONTINOLA VIZCARRA TO AMIRREZA ZOBDEH
MORTGAGE AMIRREZA ZOBDEH TO NATIONAL AUSTRALIA BANK
LIMITED Lodged by RAE & PARTNERS(L) on 07-Oct-2025
BP: N291965



And SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP183008

PAGE 1 OF 4 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

DEFINITIONS

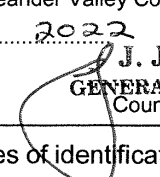
In this Schedule:

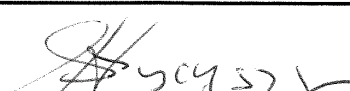
“TasWater” means Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns.

“Infrastructure” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) anything reasonably required to support, protect or cover any of the Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Harley Heights Pty Ltd FOLIO REF: 176277/100 SOLICITOR & REFERENCE: Douglas & Collins (G.W. Arnott)	PLAN SEALED BY: Meander Valley Council DATE: 12 May 2022 PA/16/0196 REF NO.  J. Jordan GENERAL MANAGER Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	



ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 4 PAGES	Registered Number SP183008
SUBDIVIDER: Harley Heights Pty Ltd FOLIO REFERENCE: C/T 176277/100	

The Pipeline & Services & Drainage Easement is defined as follows:-

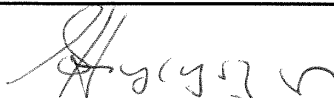
THE FULL RIGHT AND LIBERTY for TasWater at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (1) without doing unnecessary damage to the Easement Land; and
 - (2) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and
- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lot in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
 - (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 4 PAGES	Registered Number SP 183008
SUBDIVIDER: Harley Heights Pty Ltd FOLIO REFERENCE: C/T 176277/100	

- (d) do anything which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lot.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
- (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
- (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace anything that supported, protected or covered the Infrastructure.

EASEMENTS

Lots 1, 2, 3, 4, 5, 6, 7, 8 and 9 on the Plan are subject to a Pipeline & Services & Drainage Easement in favour of TasWater over the area marked "Pipeline & Services ~~Easement~~ & Drainage 'A' 5.00 wide" shown on the Plan ("the Easement Land").

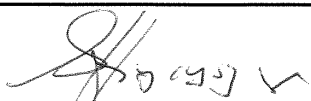
(as defined herein)

Easement

Lots 1, 2, 3, 4, 5, 6, 7, 8 and 9 on the Plan are subject to a ~~drainage easement~~ in favour of Meander Valley Council over the area marked "Pipeline & Services & Drainage Easement 'A' 5.00 Wide" as shown on the Plan.

right of drainage

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 4 PAGES	Registered Number SP183008
SUBDIVIDER: Harley Heights Pty Ltd FOLIO REFERENCE: C/T 176277/100	

Lot 11 on the Plan is subject to a Pipeline & Services & Drainage Easement in favour of TasWater over the area marked "Pipeline & Services ~~Easement~~ & Drainage 'C' 3.50 wide" shown on the Plan ("the Easement Land"). —

Lot 11 on the Plan is subject to a ^{right of drainage} ~~drainage easement~~ in favour of Meander Valley Council over the area marked "Pipeline & Services & Drainage Easement 'C' 3.50 Wide" as shown on the Plan. —

Lot 24 on the Plan is subject to a Pipeline & Services & Drainage Easement in favour of TasWater over the area marked "Pipeline & Services & Drainage Easement 'B' 4.00 Wide" as shown on the Plan ("the Easement Land"). —

Lots 24 on the Plan is subject to a ^{right of drainage} ~~drainage easement~~ in favour of Meander Valley Council over the area marked "Pipeline & Services & Drainage Easement 'B' (4.00 Wide)" as shown on the Plan. —

FENCING COVENANT

The owners of each lot on the plan covenant with the Vendor (Harley Heights Pty Ltd) that the Vendor shall not be required to fence.

EXECUTED by HARLEY HEIGHTS PTY LTD
 (ACN 112 270 336) the registered proprietor of
 Certificate of Title Volume 176277 Folio 100
 pursuant to Section 127 of the Corporations Act

.....
 Sole Director/Sole Secretary
 (Simon Marian Hryczyn)

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

LEGEND
PAGE 1# COVER PAGE
PAGE 2# LOCALITY PLAN
PAGE 3# EXISTING SITE SURVEY PLAN
PAGE 4# SITE PLAN
PAGE 5# LANDSCAPING PLAN
PAGE 6# STRATA/ STAGE PLAN
PAGE 7# SITE PLUMBING PLAN
PAGE 8# CAR PARKING PLAN
PAGE 9# SOIL AND WATER MANAGEMENT PLAN
PAGE 10# FLOOR PLAN – UNIT 1
PAGE 11# FLOOR PLAN WITH DIMENSIONS – UNIT 1
PAGE 12# ROOF PLAN – UNIT 1
PAGE 13# FLOOR PLAN – UNIT 2
PAGE 14# FLOOR PLAN WITH DIMENSIONS – UNIT 2
PAGE 15# ROOF PLAN – UNIT 2
PAGE 16# ELEVATIONS
PAGE 17# ELEVATIONS
PAGE 18# ELEVATIONS

COUNCIL – MEANDER VALLEY COUNCIL
ZONE – GENERAL RESIDENTIAL
CODE – PRIORITY VEGETATION AREA
– BUSHFIRE PRONE AREA
MEA–S4.0 HARLEY PARADE SPECIFIC AREA PLAN
LANDSLIDE BAND – NIL

TITLE REFERENCE – 183008/13
PROPERTY ID – 9398801

CORROSION ENVIRONMENT – MEDIUM

CLIMATE ZONE FOR THERMAL DESIGN = 7
REFER TO ENERGY REPORT BY 2DR

ALPINE AREA – N/A LESS THAN 900m AHD

OTHER HAZARDS – N/A

ALL DIMENSIONS SHOWN ARE TO OUTSIDE OF
BRICKWORK CLADDING OR TIMBER FRAMING ON CLAD
HOUSES UNLESS NOTED OTHERWISE

CONFIRM ALL DIMENSIONS AND SERVICES ON SITE
PRIOR TO COMMENCEMENT OF WORKS

IF IN ANY DOUBT ABOUT BEARING AND BOUNDARIES
THEN THESE MUST BE CONFIRMED ONSITE BY A
SURVEYOR PRIOR TO SETOUT

ENSURE DRAWINGS USED ONSITE ARE STAMPED
'APPROVED' PLANS BY BUILDING SURVEYOR AND
PERMIT AUTHORITY

H4D9 CONDENSATION MANAGEMENT TO BE
COMPLIANT WITH NCC PART 10.8 CONDENSATION
MANAGEMENT.

NOTES
(1)REFER TO THE GUIDANCE IN THE "CONDENSATION IN
BUILDINGS TASMANIAN DESIGNERS' GUIDE" – CURRENT VERSION
AVAILABLE AT WWW.CBOS.TAS.GOV.AU. THIS GUIDE MUST BE
READ IN CONJUNCTION WITH THE NCC.

IF ANY DISCREPANCIES, APPARENT ERROR,
ANOMALY OR AMBIGUITY WITHIN THE
DOCUMENTATION IS FOUND. THE DESIGNER IS TO BE
CONTACTED PRIOR TO ANY MORE CONSTRUCTION
CONTINUING.

ENSURE THAT DRAWINGS ARE NOT SCALED AND
THAT THE NOTED DIMENSIONS ARE USED FOR
ACCURACY. IF IN ANY DOUBT CONTACT DESIGNER

PROPOSED STAGED
RESIDENTIAL UNIT
DEVELOPMENT
FOR A ZOBDEH
AT 20 DAYTONA RISE
PROSPECT VALE 7250

©

BRADLEY VAN ZETTEN 2025

THE DESIGN, DETAILS AND SPECIFICATIONS ON THIS PLAN ARE PROJECT SPECIFIC AND MUST NOT BE USED ON ANY OTHER WITHOUT EXPRESS PERMISSION OF THE AUTHOR.

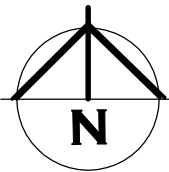
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REVISION 5	23 / 11 / 2025
REVISION 6	05 / 12 / 2025

BVZ


DESIGNS

BRADLEY
VAN ZETTEN

4 EDEN HILLS DRIVE
RIVERSIDE 7250
P. 0407 272 381
E. BVZDESIGNS@GMAIL.COM
LICENCE NUMBER 957699796



BASE IMAGE OBTAINED FROM WWW.THELIST.TAS.GOV.AU
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"THE LIST" (LAND INFORMATION SYSTEM TASMANIA)
COPYRIGHT TO LAND TASMANIA AS THE CREATOR



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PROJECT: PROPOSED UNIT DEVELOPMENT
FOR A ZOBDEH
AT 20 DAYTONA RISE
PROSPECT VALE 7250

DRAWING: LOCALITY PLAN

DESIGNED: B. v. Z.	APPROVED.
DRAWN: B. v. Z.	DATE: 05 / 12 / 25

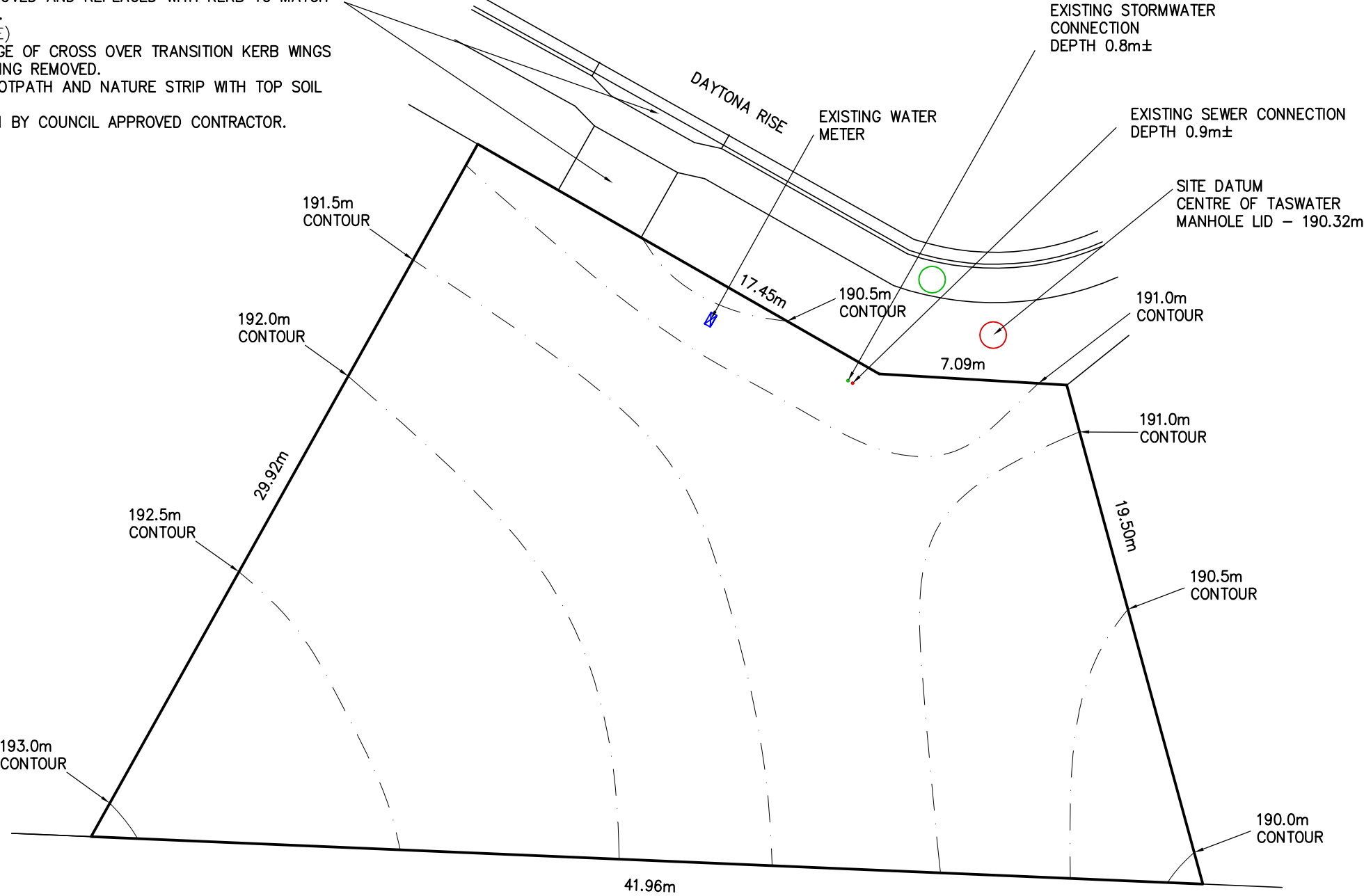
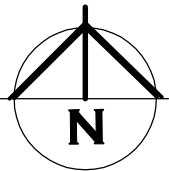
SCALE – A3 – 1:1000.	DRAWING No.: ZOB1025 – 2/18
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LOCALITY PLAN

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REVISION 6	05 / 12 / 2025

THIS PAGE FEATURES COLORED LINES
AND SHOULD ONLY BE PRINTED IN
COLOR. GREEN TEXT IN THE NOTE
SECTION SERVES AS A REFERENCE

EXISTING DRIVEWAY CROSS OVER AND VEHICULAR CROSSING KERB
TYPE KCM. TO BE REMOVED AND REPLACED WITH KERB TO MATCH
EXISTING STREET KERB.
TYPE KCM (MOUNTABLE)
NEAT SAW CUT AT EDGE OF CROSS OVER TRANSITION KERB WINGS
WHERE KERB IS TO BEING REMOVED.
REINSTATEMENT OF FOOTPATH AND NATURE STRIP WITH TOP SOIL
AND GRASS.
TO LGAT SPECIFICATION BY COUNCIL APPROVED CONTRACTOR.



EXISTING SITE SURVEY PLAN



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LICENCE NUMBER 957699796

PROJECT: PROPOSED UNIT DEVELOPMENT
FOR A ZOBDEH
AT 20 DAYTONA RISE
PROSPECT VALE 7250

DRAWING: EXISTING SITE SURVEY PLAN

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED.
DATE: 05 / 12 / 25

SCALE - A3 - 1:200.

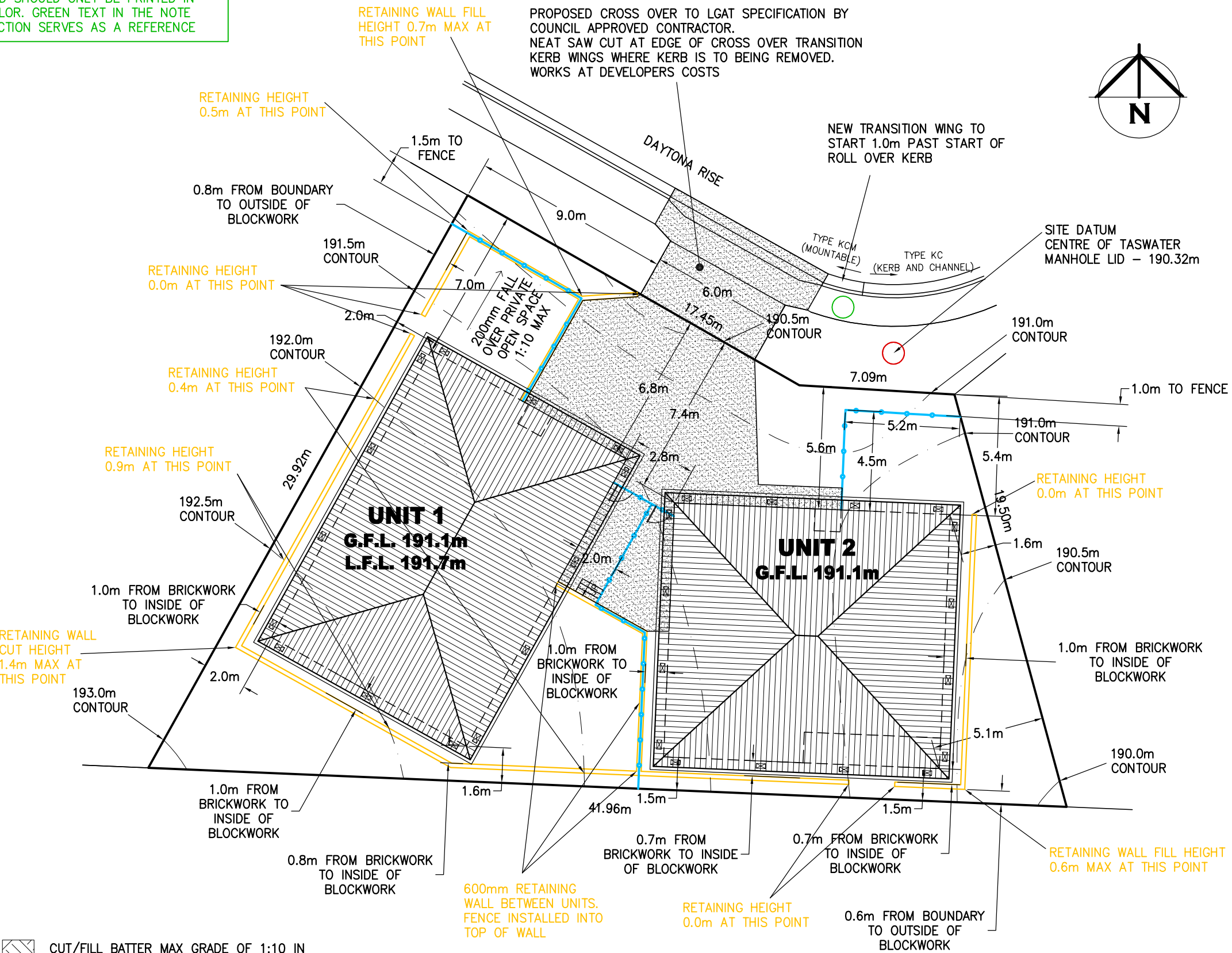
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- CUT/FILL BATTER MAX GRADE OF 1:10 IN PRIVATE OPEN SPACE
- 1:10 DRIVEWAY TURNING AREA
- 1:4 DRIVEWAY NON-TURNING AREA
- SEALED DRIVEWAY TO FALL TO PITS. ASPHALT OR CONCRETE.
- 1:10 DRIVEWAY TURNING AREA
- 1:4 DRIVEWAY NON-TURNING AREA
- CHANGE IN GRADES IN EXCESS OF UP TO 12.5% (1:8) TO HAVE GRADE TRANSITION OF 2.0m IN LENGTH TO BE PROVIDED AT GRADE CHANGES UP TO 18% (1:5.5).
- TRANSITION GRADE TO BE HALF THE SUM OF THE TWO ADJACENT GRADES.
- CHANGE IN GRADES OVER 18% (1:5.5) UP TO 25% (1:4) TO HAVE MULTIPLE 2m TRANSITION AS ABOVE WITH A MAXIMUM CHANGE IN GRADE OF 10% PER 2m TRANSITION.

SITE PLAN

- 1800mm HIGH LAPPED PAILING FENCE OR SOLID COLORBOND FENCE.
- ALL BOUNDARY FENCES TO TITLE BOUNDARY THAT ARE PART OF THE PRIVATE YARD OF THE UNITS TO BE SOLID 1800mm HIGH MINIMUM. EXISTING FENCES UPGRADED AS REQUIRED.
- "ORANGE" COLORED LINES FOR ISLAND BLOCK AND PAVING RETAINING WALL UP TO 1.4m HIGH

UN-RETAINED BULK EARTHWORKS - SITE CUT AND FILL PART 3.2.1

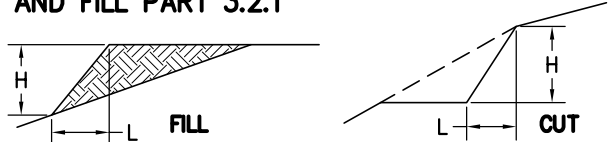


TABLE 3.2.1: SOIL TYPE		EMBANKMENT SLOPES H:L	
		COMPACTED FILL	CUT
STABLE ROCK		3:3	8:1
SAND		1:2	1:2
CLAY	FIRM CLAY	1:2	1:1
	SOFT CLAY	NOT SUITABLE	2:3
SOFT SOILS		NOT SUITABLE	NOT SUITABLE

EMBANKMENTS THAT ARE TO BE LEFT EXPOSED AT THE END OF THE CONSTRUCTION WORKS MUST BE STABILISED BY VEGETATION OR SIMILAR TO PREVENT SOIL EROSION

- (1)A SITE CUT USING AN UN-RETAINED EMBANKMENT MUST BE--
- (A)WITHIN THE ALLOTMENT; AND
 - (B)NOT WITHIN THE ZONE OF INFLUENCE OF ANY EXISTING STRUCTURE ON THE PROPERTY, OR THE ALLOTMENT BOUNDARY AS DEFINED IN TABLE 3.2.1 AND FIGURE 3.2.1A; AND
 - (C)NOT DEEPER THAN 2 M FROM THE NATURAL GROUND LEVEL AT ANY POINT.

- (2)FILL, USING AN UN-RETAINED EMBANKMENT MUST--
- (A)BE PLACED WITHIN THE ALLOTMENT; AND
 - (B)BE PLACED AT A GRADIENT WHICH COMPLIES WITH TABLE 3.2.1 AND FIGURE 3.2.1B; AND
 - (C)BE PLACED AND MECHANICALLY COMPACTED IN LAYERS NOT MORE THAN 150 MM; AND
 - (D)BE NOT MORE THAN 2 M IN HEIGHT FROM THE NATURAL GROUND LEVEL AT ANY POINT; AND
 - (E)WHERE USED TO SUPPORT FOOTINGS OR SLABS, BE PLACED AND COMPACTED IN ACCORDANCE WITH PART 4.2; AND
 - (F)HAVE SURFACE WATER DIVERTED AWAY FROM ANY EXISTING STRUCTURE ON THE PROPERTY OR ADJOINING ALLOTMENT IN ACCORDANCE WITH 3.3.3.

SITE AREA TABLE		
	SQUARE METER	PERCENTAGE OF LOT
SITE AREA	719	
BUILDING AREA EXCLUDING EAVES UP TO 0.6m WIDE (AS PER PLANNING SCHEME)	299	41.6
SEALED GROUND AREA (INCLUDING UNDER EAVES, EXCLUDING AREA INCLUDED IN CELL ABOVE)	96	13.4
AREA FREE FROM IMPERVIOUS SURFACES	324	45.1

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BORONIA ANEMONIFOLIA
STICKY BORONIA
MATURE HEIGHT APPROX. 1.5m

LEUCOPYHTA BROWNII
CUSHION BUSH
MATURE HEIGHT APPROX. 1.0m

SEDUM SPECTABILE
ICE PLANT
MATURE HEIGHT APPROX. 0.7m

DIANELLA TASMANICA
(TASMANIAN FLAX LILY)
MATURE HEIGHT APPROX. 1.0m

PLANS SHOWN INDICATE TYPE AND HEIGHT
TO BE PLANTED SIMILAR VARIATIONS MAY
BE INSTALLED AT TIME OF PLANING

SIR WALTER BUFFALO OR
SIMILAR GRASS

15mm–20mm 'NO FINES'
DECORATIVE STONE OR MULCH
TO ALL GARDEN BEDS.

SEALED DRIVEWAY TO FALL
TO PITS

PRIVATE OPEN SPACE
6x4m OR 5x5m
MAX GRADE 1:10

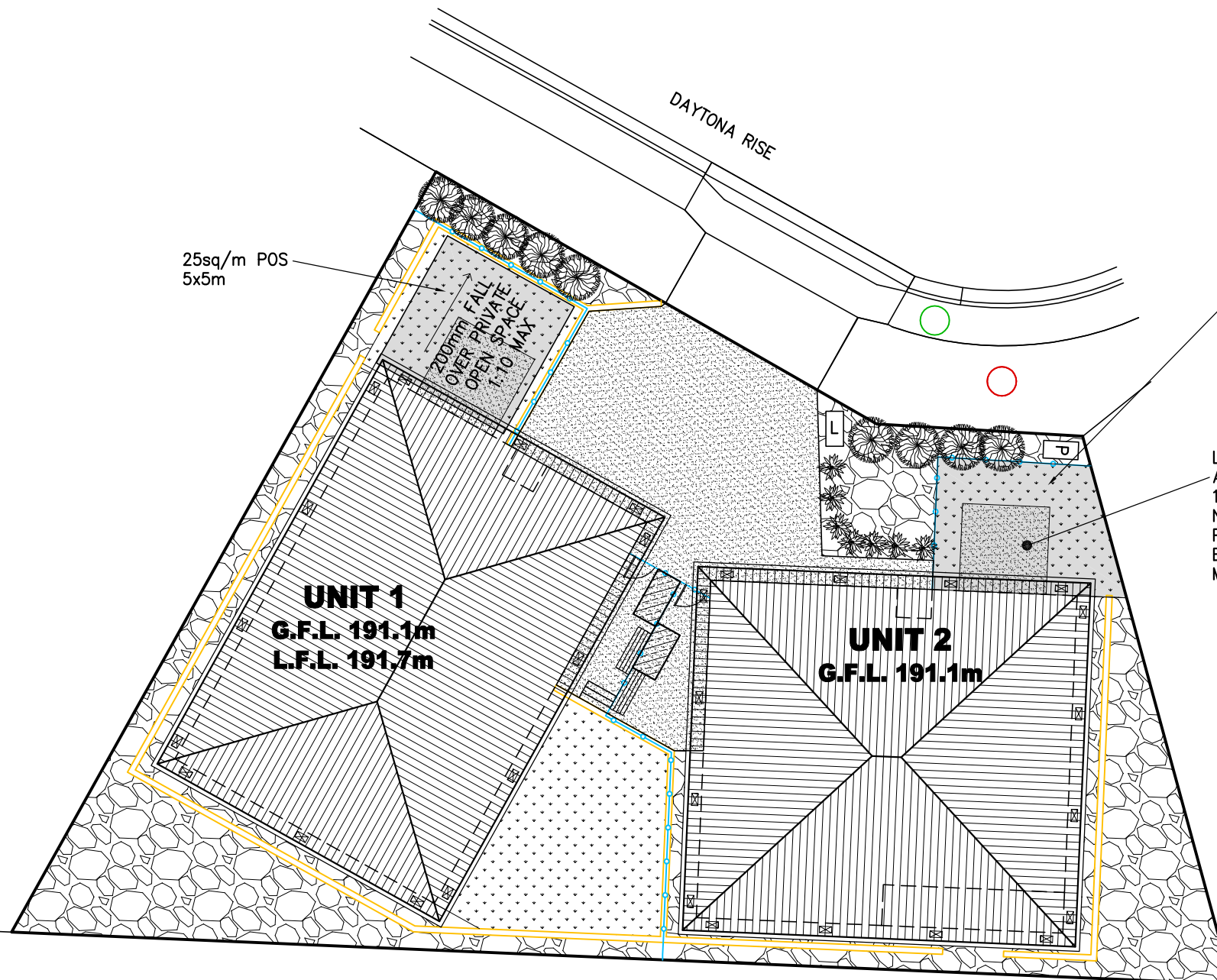
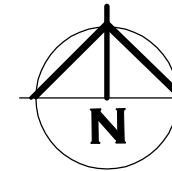
CLOTHES LINE
CRUSHED GRAVEL PATH OR STEPPING
STONE PAVERS TO CLOTHES LINE

1.7x0.9m
WHEELIE BIN STORAGE
MINIMUM 1.5m²

L LETTERBOX

P MAIN POWER BOARD
LOCATED WITHIN
COMMON GROUND

1800mm HIGH LAPPED PAILING FENCE OR
SOLID COLORBOND FENCE.
ALL BOUNDARY FENCES TO TITLE BOUNDARY
THAT ARE PART OF THE PRIVATE YARD OF
THE UNITS TO BE SOLID 1800mm HIGH
MINIMUM. EXISTING FENCES UPGRADED AS
REQUIRED.



LANDSCAPING PLAN

PRIVATE YARD AREA UNIT 1 = 192 sq/m
PRIVATE YARD AREA UNIT 2 = 120 sq/m

NOT INCLUDING BUILDING AREA
PLANTING INSIDE PRIVATE YARD BY OWNER

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**BRADLEY
VAN ZETTEN**

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LICENCE NUMBER 957699796

PROJECT: PROPOSED UNIT DEVELOPMENT
FOR A ZOBDEH
AT 20 DAYTONA RISE
PROSPECT VALE 7250

DRAWING: LANDSCAPING PLAN

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

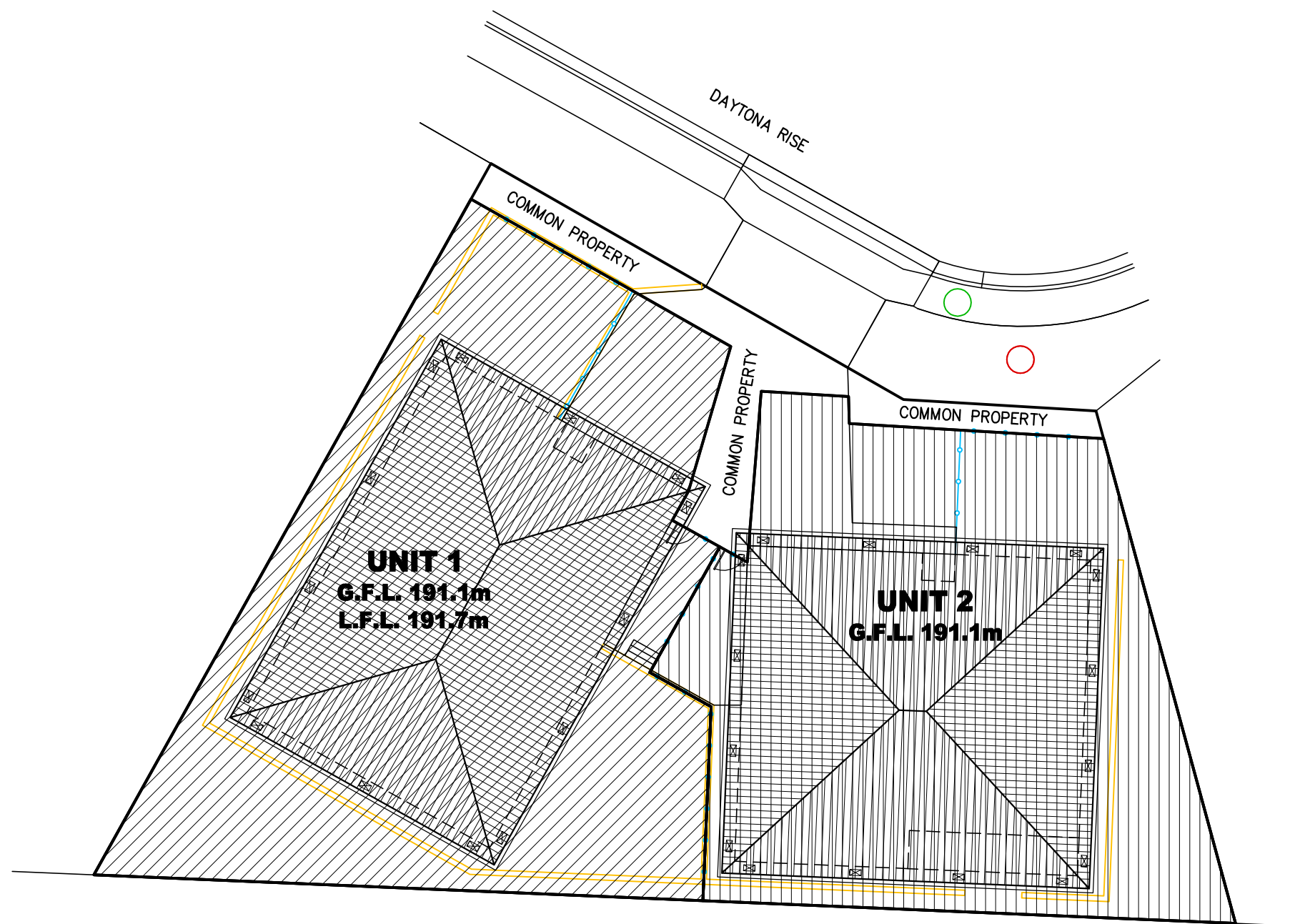
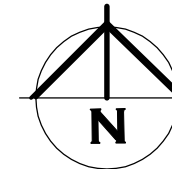
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ZOB1025 – 5/18

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COMMON
PROPERTY



UNIT 1 STRATA TITLE



UNIT 2 STRATA TITLE

STRATA/ STAGE PLAN

EXACT STRATA BOUNDARY TO BE CONFIRMED
ONCE CONSTRUCTION IS COMPLETED AND STRATA
PLAN IS COMPLETED BY LAND SURVEYOR

STAGE 1 – UNIT 1 WITH NEW SERVICES/ ALL
COMMON PROPERTY WORKS, INCLUDING BUT NOT
LIMITED TO ELECTRICAL/NBN/SEWER/STORMWATER
ETC INSTALLED TO UNIT 2 STRATA TITLE.

STAGE 2 – CONSTRUCTION OF UNIT 2

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DRAWING: STRATA/STAGE PLAN

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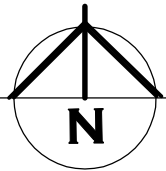
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SECTION SERVES AS A REFERENCE

INTERNAL PLUMBING DETAIL WILL BE
INCLUDED IN PLANS FOR PLUMBING PERMIT.
DETAILS INCLUDED FOR PLANNING STAGE FOR
TASWATER SPAN APPROVAL ONLY



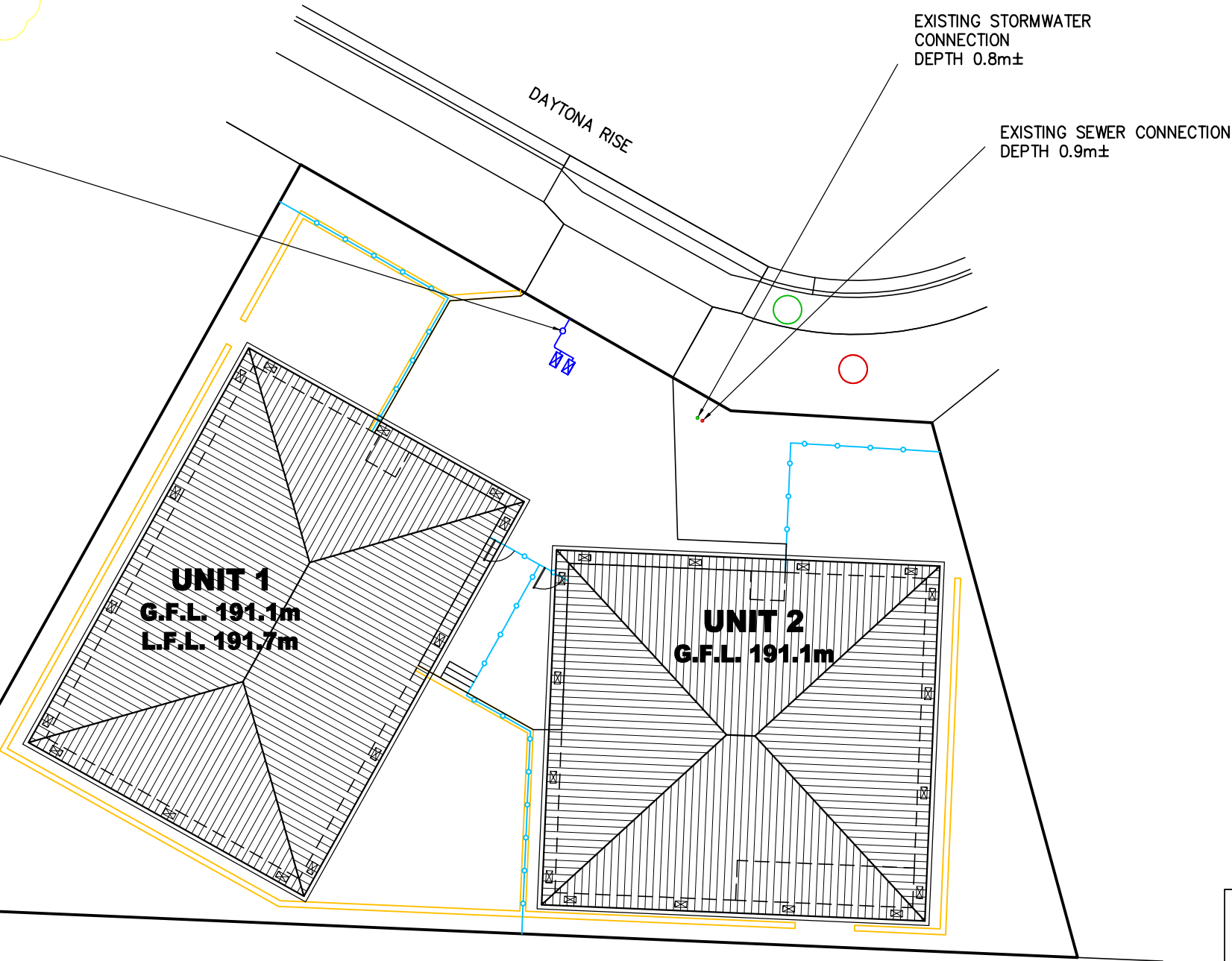
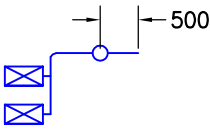
UPGRADE EXISTING DN25(ID20MM) PROPERTY
WATER CONNECTION TO DN32(ID25MM) HDPE PN16
SDR11 PROPERTY WATER CONNECTION WITH

2/TRAFFICABLE WATER METER BOXES AS PER
TASWATER TWS-W-0002 SHEET 5

2/ID20MM SENSUS IPERL WATER METERS ON A
MANIFOLD PER TASWATER ENDORSED STANDARD
PLANS, BELOW GROUND LOW HAZARD IN
ACCORDANCE WITH
WATER SUPPLY CODE OF AUSTRALIA WSA 03
-2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND
SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL
WATER AGENCIES CODE WSA 02--2014-3.1 MRWA
VERSION 2 AND TASWATER'S SUPPLEMENTS TO
THESE CODES

INSTALLED AS PER TWS-W-0002 SHEET 9

ALL WORKS BY TAS WATER AT DEVELOPERS COST.




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SITE PLUMBING PLAN

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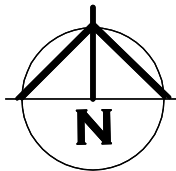
DRAWING: SITE PLUMBING PLAN

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

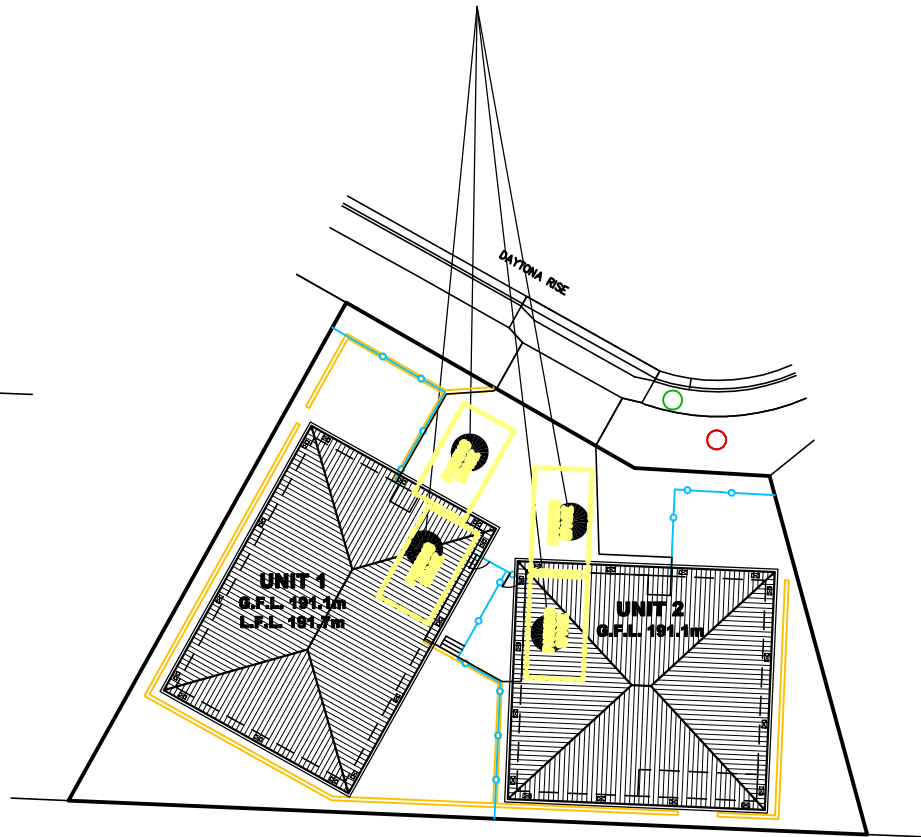
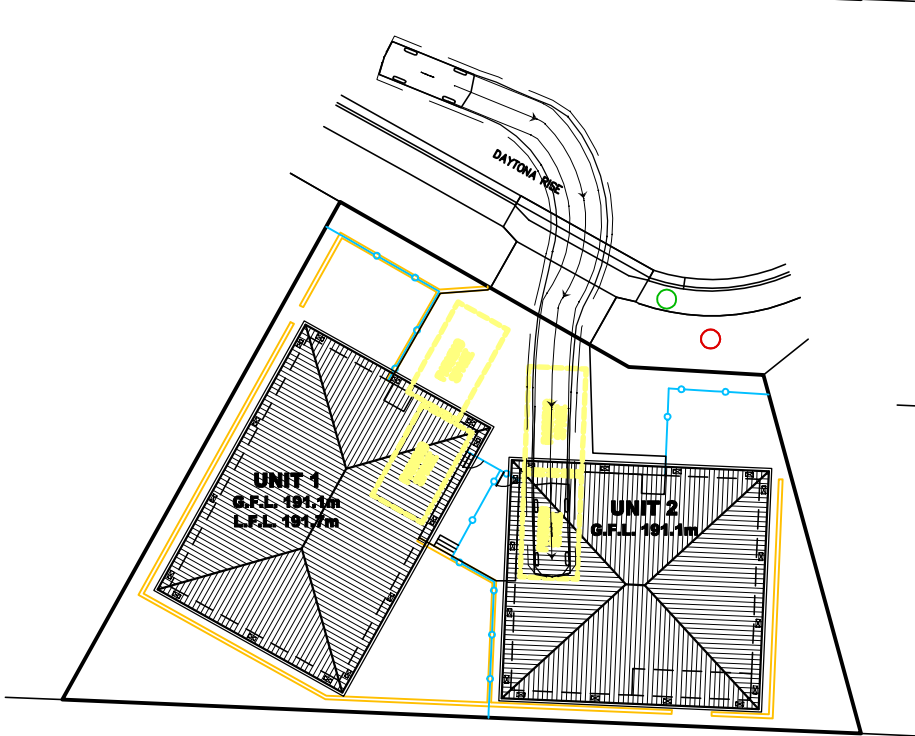
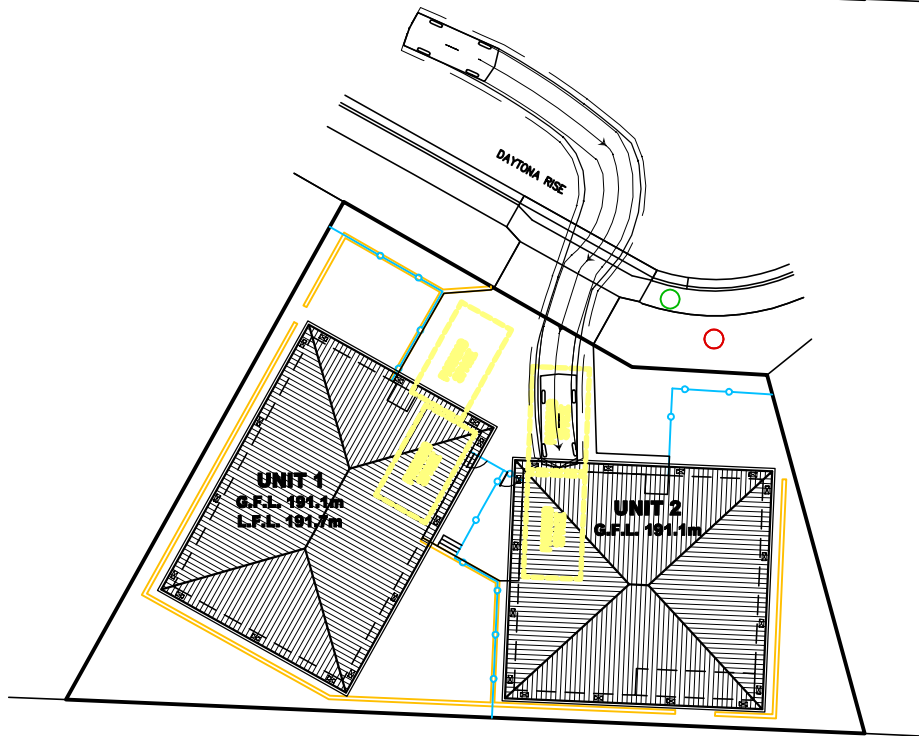
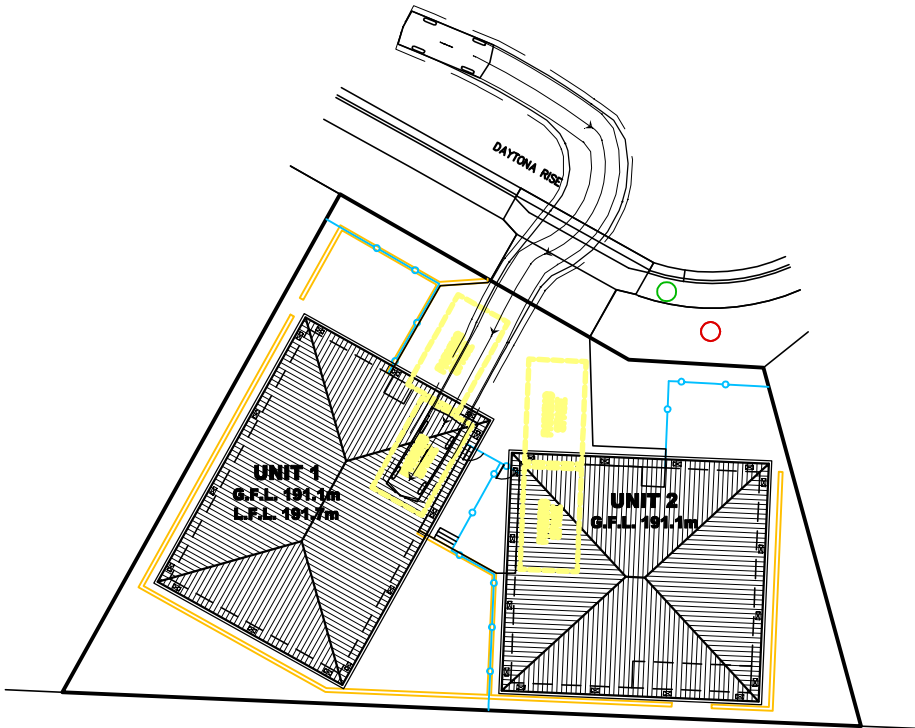
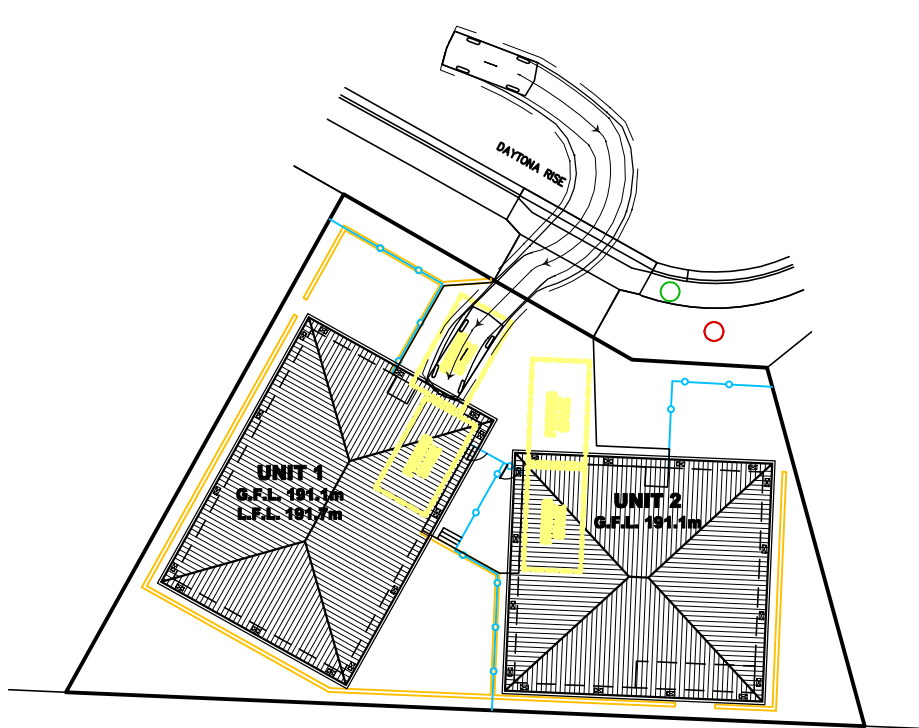
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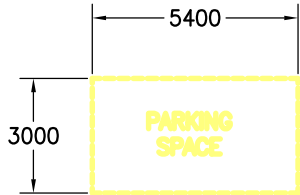
TWO PARKING SPACES PER UNIT.
TANDEM PARKING, NOT MORE THAN 4
PARKING SPACES PROVIDED. THEREFORE
ENTER AND EXIT IN A FORWARD DIRECTION
NOT REQUIRED. (C2.6.2 (a)(ii))



CARPARKING PLAN


EXTERNAL PARKING SPACES TO BE CLEARLY DELINEATED.

INDIVIDUAL UNITS, EXTERNAL PARKING TO HAVE SIGNAGE OF WHICH UNIT IT IS ASSOCIATED WITH.



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DRAWING: CAR PARKING PLAN

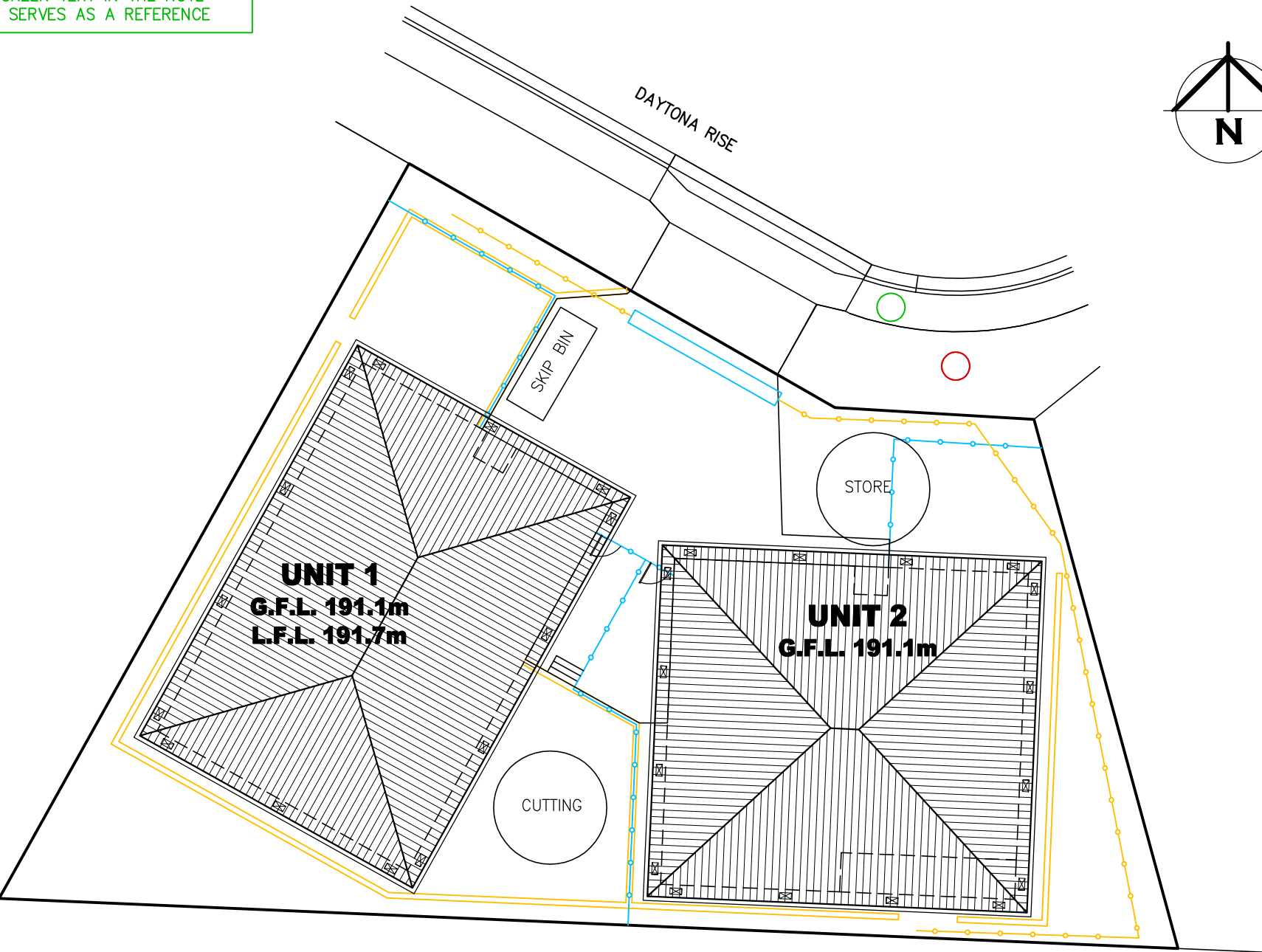
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SOIL AND WATER MANAGEMENT PLAN

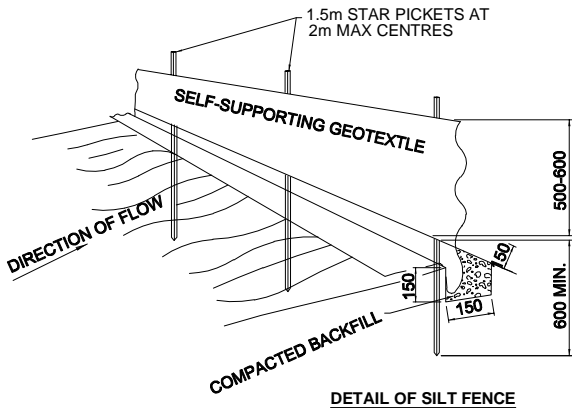
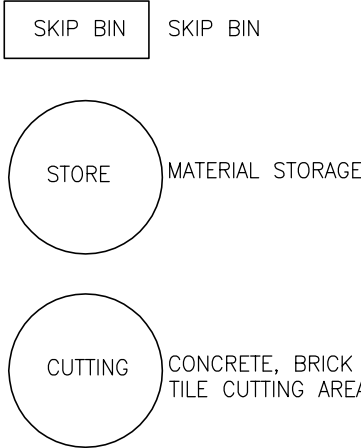
- SILT FENCE AS PER DETAIL
- DIVERSION HUMPH FOR ROAD ACCESS

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DOWNPIPES TO BE CONNECTED INTO STORMWATER SYSTEM AS SOON AS THE ROOF IS INSTALLED

INSTALL AG DRAIN (IF SHOWN) PRIOR TO FOOTING EXCAVATION

EXCAVATED MATERIAL PLACED UP SLOPE OF CUT OFF DRAIN. TO BE REMOVED WHEN BUILDING WORKS ARE COMPLETE AND USED AS FILL ON SITE FOR ANY LOW POINTS. INSTALL A SEDIMENT FENCE ON THE DOWNSLOPE SIDE OF MATERIAL



- SEDIMENT FENCE NOTES:
1. SURVEY AND MARK OUT LOCATION OF SEDIMENT FENCE, ENSURE IT IS PARALLEL TO THE CONTOURS OF THE SITE AND TO DRAIN IN THE CORRECT DIRECTION
 2. DIG A 150 MM TRENCH IMMEDIATELY ABOVE THE PROPOSED FENCE LINE.
 3. PLACE THE BOTTOM OF THE FABRIC TO THE BASE OF THE TRENCH AND RUN FABRIC UP THE DOWN-SLOPE SIDE OF THE TRENCH.
 4. BACKFILL THE TRENCH AND COMPACT TO SECURE ANCHORAGE OF THE FABRIC.
 5. DRIVE 1.5 M STAR PICKETS INTO GROUND, 2 M APART TO SUPPORT THE SEDIMENT FENCE FABRIC. TENSION AND FASTEN FABRIC TO PICKETS USING UV STABILISED ZIP TIES OR WIRE TIES.
 6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 2 M OVERLAP.
 7. ANGLE THE ENDS OF THE SEDIMENT FENCE UPSLOPE TO REDUCE SCOURING

BUILDING SITE DURING CONSTRUCTION TO COMPLY WITH EPA TASMANIA, SOIL AND WATER MANAGEMENT ON BUILDING SITES WHERE POSSIBLE. REFER TO FACT SHEETS 1-19
EPA.TAS.GOV.AU/ENVIRONMENT/WATER/STORMWATER/SOIL-AND-WATER-MANAGEMENT-ON-BUILDING-SITES

FACT SHEET 3 – SOIL AND WATER MANAGEMENT.
PLAN TO BE KEPT ONSITE AND ALL TIMES AND ALL WORKERS UNDERSTAND THE SWMP

FACT SHEET 4 – DISPERSIVE SOILS, NOT APPLICABLE.

FACT SHEET 5 – MINIMISE SOIL DISTURBANCE.
DO TRACK MACHINERY UP AND DOWN THE SLOPE TO CREATE GROOVES FROM THE WHEELS/ OR TRACKS THAT WILL CATCH RAINFALL. THE GROOVES WILL ROUGHEN THE SURFACE IN A WAY THAT WILL SLOW RUNOFF. AS PER FACT SHEET CLEARING FOR WORKS TO BE LIMITED TO WITHIN 5 METRES FROM THE EDGE OF ANY ESSENTIAL CONSTRUCTION ACTIVITY. NO TOPSOIL SHALL BE REMOVED FROM LAND OUTSIDE THE AREAS OF GROUND DISTURBANCE SHOWN. ALL AREAS OF GROUND DISTURBANCE MUST BE DRESSED WITH TOP SOIL AND WHERE APPROPRIATE REVEGETATED AND STABILISED TO PREVENT FUTURE EROSION OR SILTATION.

FACT SHEET 6 – PRESERVE VEGETATION.
WHERE EXISTING TREES ARE TO REMAIN ON THE SITE, ESTABLISH NO GO AREA AROUND TREES OF BRIGHT TAPE ON STAR PICKETS MINIMUM 1m AWAY FROM BASE OF TREE
EXISTING GROUND VEGETATION TO BE RETAINED WHEN EVER POSSIBLE. MINIMUM 400mm WIDE GRASS STRIPS TO BE RETAINED ON BACK OF KERB FOR FILTERING RUNOFF. INSTALLED AS PER FACT SHEET

FACT SHEET 7 – DIVERT UP-SLOPE WATER
DIVERSION CHANNEL TO BE CONSTRUCTED ON HIGHSIDE OF SITE MINIMUM 150MM DEEP WITH 10% MAX FALL WITH A CURVED SHAPE WITH EXCAVATED SOIL FROM THE CHANNEL ON THE DOWN-SLOPE SIDE TO INCREASE DIVERSION CHANNEL CAPACITY. LEVEL SPREADER TO END OF DIVERSION CHANNEL TO ENSURE WATER DISCHARGE IS SLOW MOVING MINIMUM 4M WIDE. INSTALLED AS PER FACT SHEET

FACT SHEET 8 – EROSION CONTROL MATS AND BLANKETS
WHERE FINISHED BATTERS ARE PROPOSED TO BE STEEPER THAN 1:3 EROSION CONTROL BLANKETS TO BE INSTALLED ON BATTER FOR SITE REHABILITATION. INSTALLED AS PER FACT SHEET

FACT SHEET 9 – PROTECT SERVICES TRENCHES AND STOCKPILES
ALL STOCKPILES TO BE POSITIONED CLEAR OF WATER COURSES AND TO ENSURE THAT NO SILT RUNOFF CAN ENTER A WATER COURSE.
TOP SOIL TO BE STOCKPILED SEPARATELY AND SPREAD OVER BACKFILLED AREAS. SPOIL TO BE STOCKPILED IN A NARROW CORRIDOR ON THE UPSTREAM SIDE OF ALL EXCAVATION. TEMPORARY CATCH DRAINS TO BE CONSTRUCTED ON THE UPSTREAM SIDE OF STOCKPILES AND EXCAVATED AREAS, DIRECTING RUNOFF TO EXISTING STORMWATER SYSTEM.
SERVICE TRENCHES TO HAVE SOIL PLACED ON TOPSIDE OF TRENCH TO DIVERT WATER FLOW AWAY FROM THE TRENCH LINE.

FACT SHEET 10 – EARLY ROOF DRAINAGE CONNECTION
DOWNPIPES TO BE CONNECTED INTO STORMWATER SYSTEM AS SOON AS THE ROOF IS INSTALLED.
TEMPORARY DOWNPIPES TO DIRECT WATER TO TUFTED AREAS.

FACT SHEET 11 – SCOUR PROTECTION
NOT APPLICABLE AS NO NEW DAMS/ CULVERTS

FACT SHEET 12 – STABILISED SITE ACCESS
DIVERSION HUMPH INSTALLED ON ROAD ACCESS WITH WATER DIRECTED TO SEPARATE SILT FENCE.
INSTALLED AS PER FACT SHEET

FACT SHEET 13 – WHEEL WASH
EVERY EFFORT TO BE MADE TO MINIMISE SPREADING SEDIMENT ON TO SEALED AREAS WHEN VEHICLES LEAVE THE SITE, INCLUDING THE WASHING DOWN OF TYRES.

FACT SHEET 14 – SEDIMENT FENCES
SEDIMENT FENCE INSTALLED AS PER DETAIL AND FACT SHEET


FACT SHEET 15 – PROTECTION OF STORMWATER PITS
PITS INSTALLED ONSITE TO BE CONSTRUCTED WITH DRIVEWAY AT END OF JOB AFTER FINISHED CONSTRUCTION OF BUILDING. THEREFORE NO REQUIREMENTS FOR PITS.

FACT SHEET 16 – PROTECTED CONCRETE, BRICK AND TILE CUTTING
ALL CUTTING TO BE INSIDE NOMINATED AREA AS PER SWMP WITH FILTER SOCKS INSTALLED ON LOW SIDE. SLURRY TO BE DISPOSED OFF IN GEOTEXTILE LINED DITCH OR DRUMS

FACT SHEET 17 – SEDIMENT BASINS
NOT REQUIRED DUE TO SCALE OF WORKS.

FACT SHEET 18 – DUST CONTROL
DURING EXTENDED PERIODS OF DRY WEATHER, DAMPEN THE SITE SLIGHTLY WITH A LIGHT APPLICATION OF WATER DURING EXCAVATION OR WHEN DUST IS BEING RAISED

FACT SHEET 19 – SITE REVEGETATION
ALL OF SITE THAT IS NOT FINISHED IN HARD SURFACES TO BE REVEGETATION WITH GRASS OR MULCH AS PER LANDSCAPING PLAN OR TO OWNERS DETAILS



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PROSPECT VALE 7250


DRAWING: SOIL AND WATER MANAGEMENT PLAN


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
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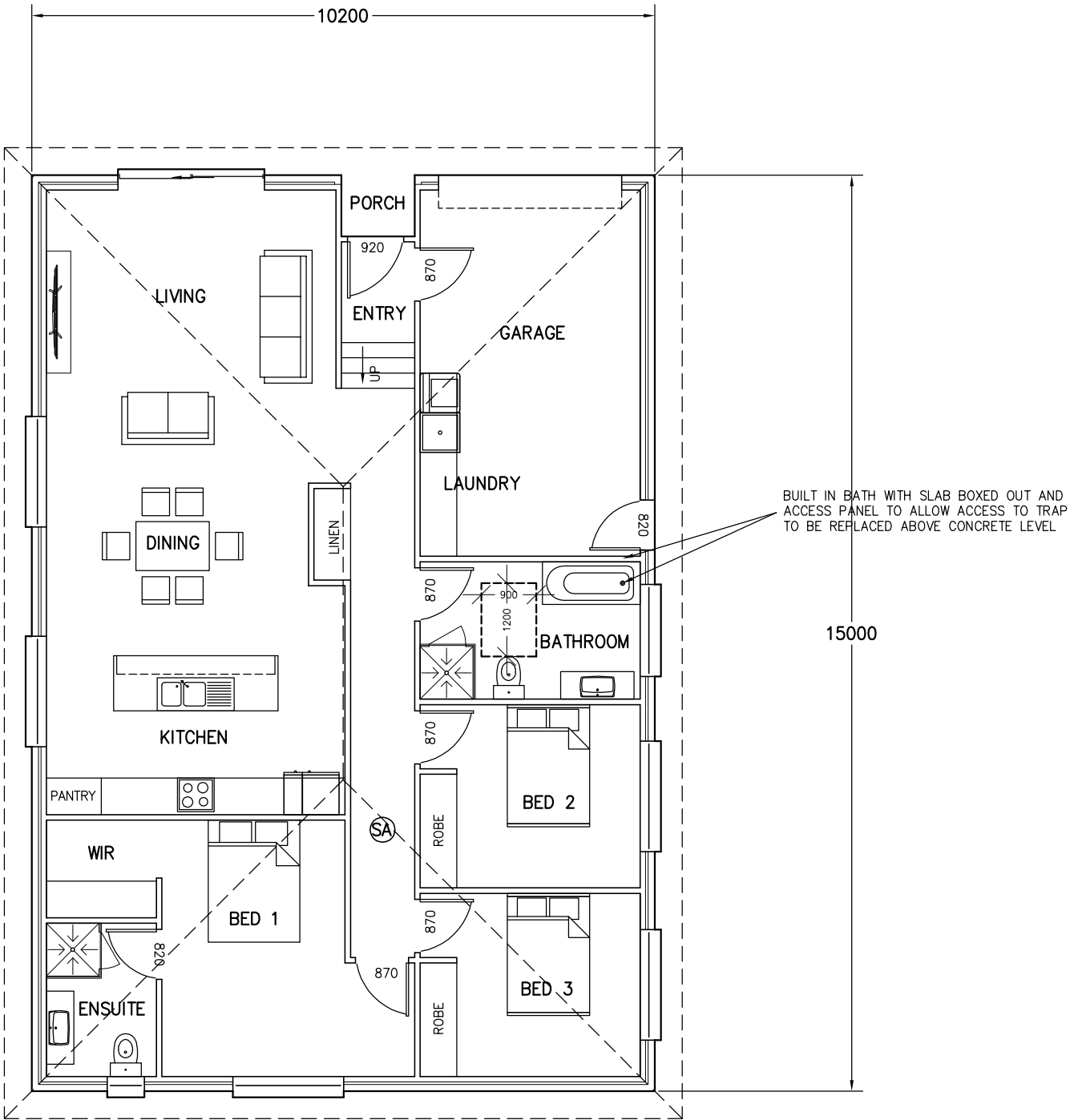
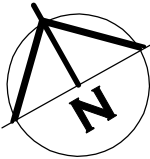
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BRICK VENEER WALL

EXTERNAL 90mm TIMBER FRAMED WALL
WITH LIGHTWEIGHT SHEET CLADDING
INSTALLED WITH CAVITY FIXING

INTERNAL 90mm STUD WALL WITH
10mm PLASTER BOARD LINING
THROUGHOUT. (WET AREA
PLASTERBOARD TO WET AREA WALLS)

EXTENT OF RAKED CEILING



SA – 240V HARD WIRED SMOKE ALARMS
INSTALLED IN ACCORDANCE WITH NCC9.5 TO
COMPLY WITH AS3786, BE CONNECTED TO MAINS
POWER AND INTERCONNECTED WHERE THERE IS
MORE THAN ONE ALARM



DESIGNS

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DRAWING: FLOOR PLAN UNIT 1

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

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FLOOR PLAN UNIT 1

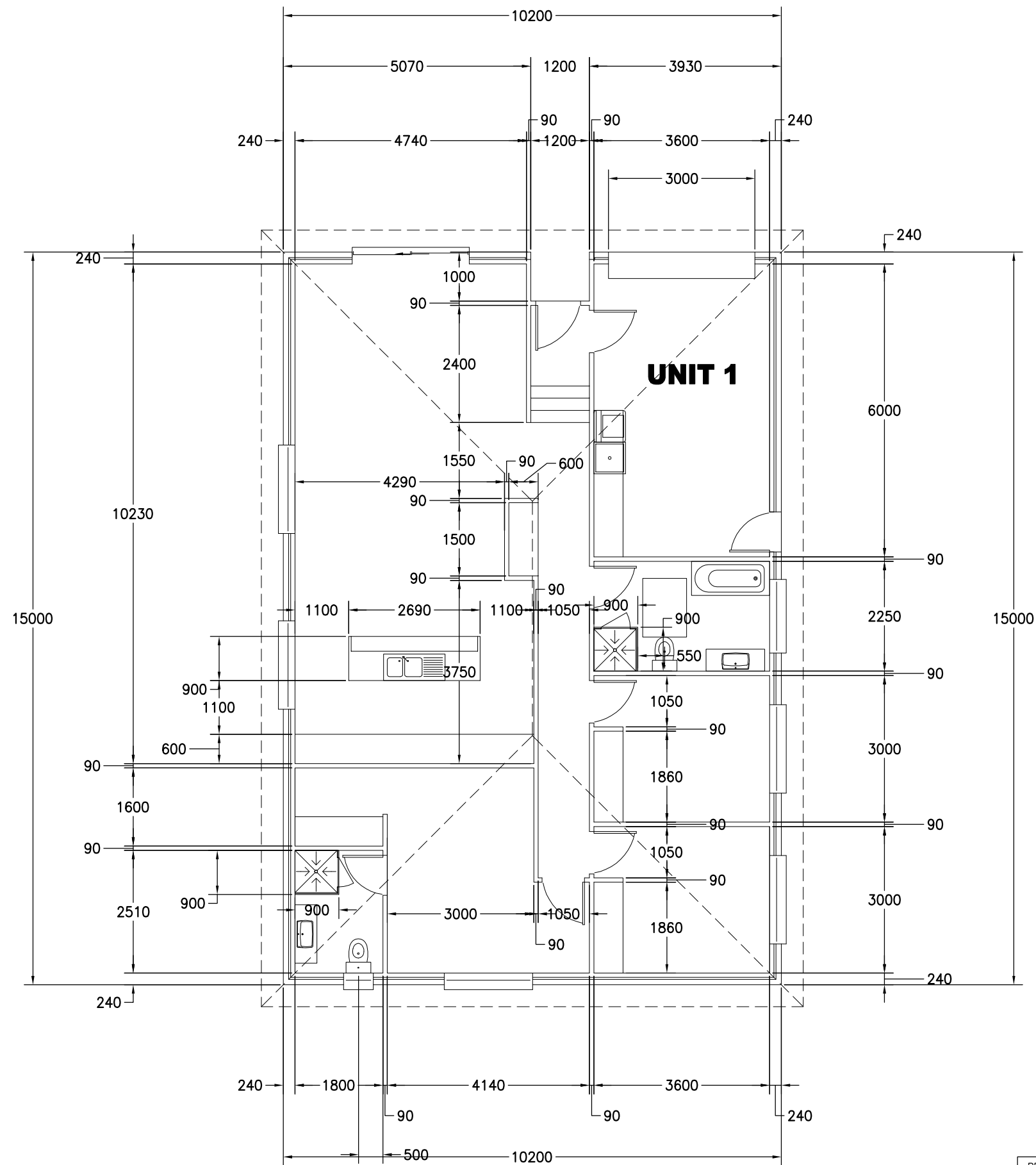
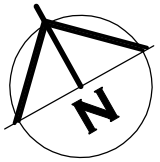
BRICK VENEER – DIMENSIONS AND AREA TO OUTSIDE CLADDING.
CLAD FRAME – DIMENSIONS AND AREA TO OUTSIDE OF TIMBER FRAMING CLADDING IN ADDITION TO
DIMENSIONS.

BUILDER TO ENSURE ALL DOOR AND DOOR HARDWARE SELECTED TO HAVE 820mm CLEAR OPENING TO
COMPLY WITH LIVABLE HOUSING DESIGN.
WITH THE EXCEPTION OF NON HABITABLE ROOMS, ONLY IF SHOWN ON PLAN THAT SMALLER SIZED DOOR
TO BE USED

BUILDER TO ENSURE THRESHOLDS THROUGH DOORS TO COMPLY WITH LIVABLE HOUSING DESIGN SECTION
3. WITH MAXIMUM 5mm STEP FROM FFL TO FFL OR THRESHOLD RAMP INSTALLED


AREA TABLE		
	SQUARE METER	BUILDING SQUARES
FLOOR AREA	151.8	16.3
PORTICO AREA	1.2	0.1
TOTAL AREA	153.0	16.5

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FLOOR PLAN WITH DIMENSIONS UNIT 1

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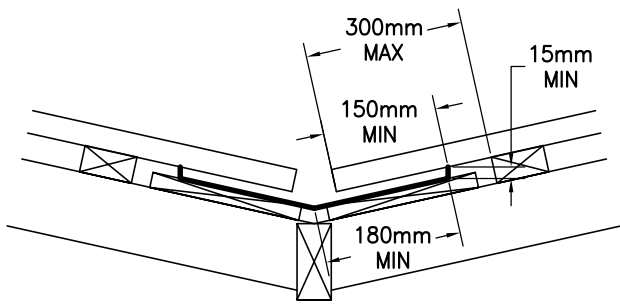
DRAWING: FLOOR PLAN WITH DIMENSIONS UNIT 1

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

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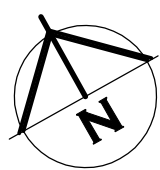
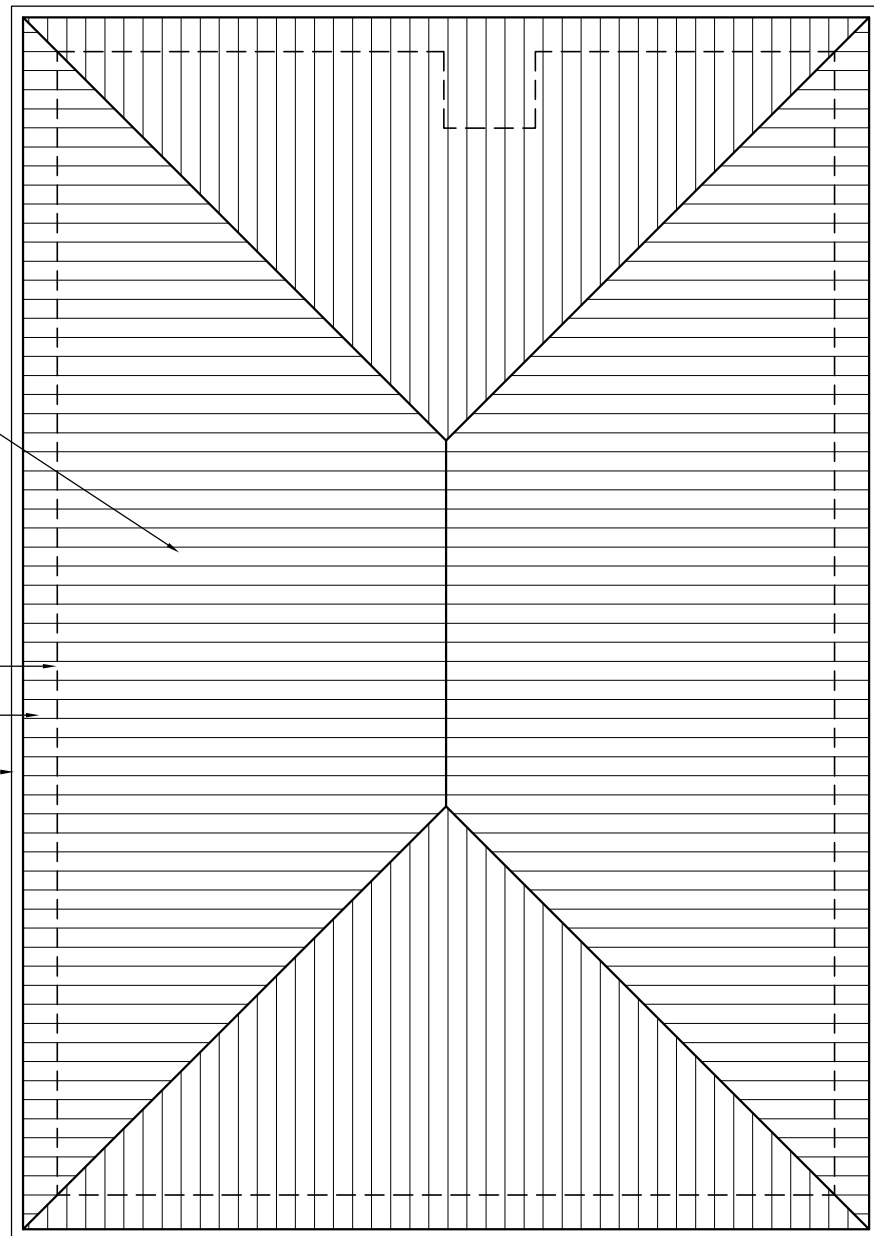
VALLEY GUTTER IS OVER 12.5 DEGREES
AS PER 7.4.4

COLORBOND CUSTOM ORB ROOF SHEETING
AT 22.5'. ONE AND A HALF CORRUGATION
SIDE LAP (TYPICAL). FIXED AT SIDE LAPS.
3 FIXINGS FOR INTERNAL SPANS AND
5 FOR END SPANS. FIXED WITH ROOFZIPS
M6-11x50mm FOR SOFTWOOD AND STEEL
0.55-1.0mm BMT BATTENS
12-14x35 METAL TEK 1.0-3.0mm BMT
STEEL BATTENS
12-11x50mm FOR HARDWOOD

EXTERNAL WALLS DASHED

450mm EAVE (TYPICAL)

COLORBOND GUTTER AND
FASCIA SYSTEM



ROOF CLADDING TO COMPLY WITH NCC PART 7.1-7.5

GUTTERS AND DOWNPIPES INSTALLED AS PER NCC PART 7.4

- GUTTER MUST BE INSTALLED WITH A FALL NOT LESS THAN
- 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL FASCIAS

WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISION
MUST BE MADE TO AVOID ANY OVERFLOW BACK INTO THE ROOF
OR BUILDING STRUCTURE BY INCORPORATING OVERFLOW
MEASURERS OR THE LIKE

DOWNPIPES MUST--

(A)NOT SERVE MORE THAN 12 M OF GUTTER LENGTH FOR EACH
DOWNPIPE; AND

(B)BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS;
AND

(C)BE SELECTED IN ACCORDANCE WITH THE APPROPRIATE EAVES
GUTTER SECTION AS SHOWN IN TABLE 7.4.3A, TABLE 7.4.3B
AND TABLE 7.4.3C.

FOR ROOF CATCHMENTS UP TO 50SQ/M PER DOWNPIPE MEDIUM
RECTANGULAR GUTTERS OR 115MM 'D' GUTTERS MAY BE USED
WITH 90MM DOWNPIPES

EAVE AND GUTTER OVERFLOW MEASURE TO BE INSTALLED FOR
1% ANNUAL EXCEEDANCE PROBABILITY

BOX GUTTERS AS PER AS3500.3

7.4.6 ACCEPTABLE CONTINUOUS OVERFLOW MEASURE

(1) FOR A FRONT FACE SLOTTED GUTTER WITH--

A MINIMUM SLOT OPENING AREA OF 1200 MM2 (A) PER METRE OF
GUTTER; AND

(a) THE LOWER EDGE OF THE SLOTS INSTALLED A MINIMUM OF 25
MM BELOW THE TOP OF THE FASCIA,

THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 0.5 L/S/M,
CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6A.

(2) FOR A CONTROLLED BACK GAP WITH--

(a) A PERMANENT MINIMUM 10 MM SPACER INSTALLED BETWEEN THE
GUTTER BACK AND THE FASCIA; AND

(b) ONE SPACER PER BRACKET, WITH THE SPACER NOT MORE THAN
50 MM WIDE; AND

(c) THE BACK OF THE GUTTER INSTALLED A MINIMUM OF 10 MM
BELOW THE TOP OF THE FASCIA,

THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 1.5 L/S/M,
CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6B.

(3) FOR THE CONTROLLED BACK GAP OPTION, THE SPACER CAN BE
A PROPRIETARY CLIP OR BRACKET THAT PROVIDES THE REQUIRED
OFFSET OF


THE GUTTER FROM THE FASCIA.

ROOF PLAN UNIT 1

SHEET ROOF
75x38mm HARD WOOD OR 70x35mm MGP12
BATTENS AT 900mm MAX 900mm CRS AND SPAN.

RANGEHOOD AND BATHROOM EXTRACTION FANS
DUCTED TO EAVE/WALL VENT

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REVISION 1	25 / 10 / 2025
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REVISION 6	05 / 12 / 2025



**BRADLEY
VAN ZETTEN**
4 EDEN HILLS DRIVE
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P. 0407 272 381
E. BVZDESIGNS@GMAIL.COM
LICENCE NUMBER 957699796

PROJECT: PROPOSED UNIT DEVELOPMENT
FOR A ZOBDEH
AT 20 DAYTONA RISE
PROSPECT VALE 7250





DRAWING: ROOF PLAN UNIT 1

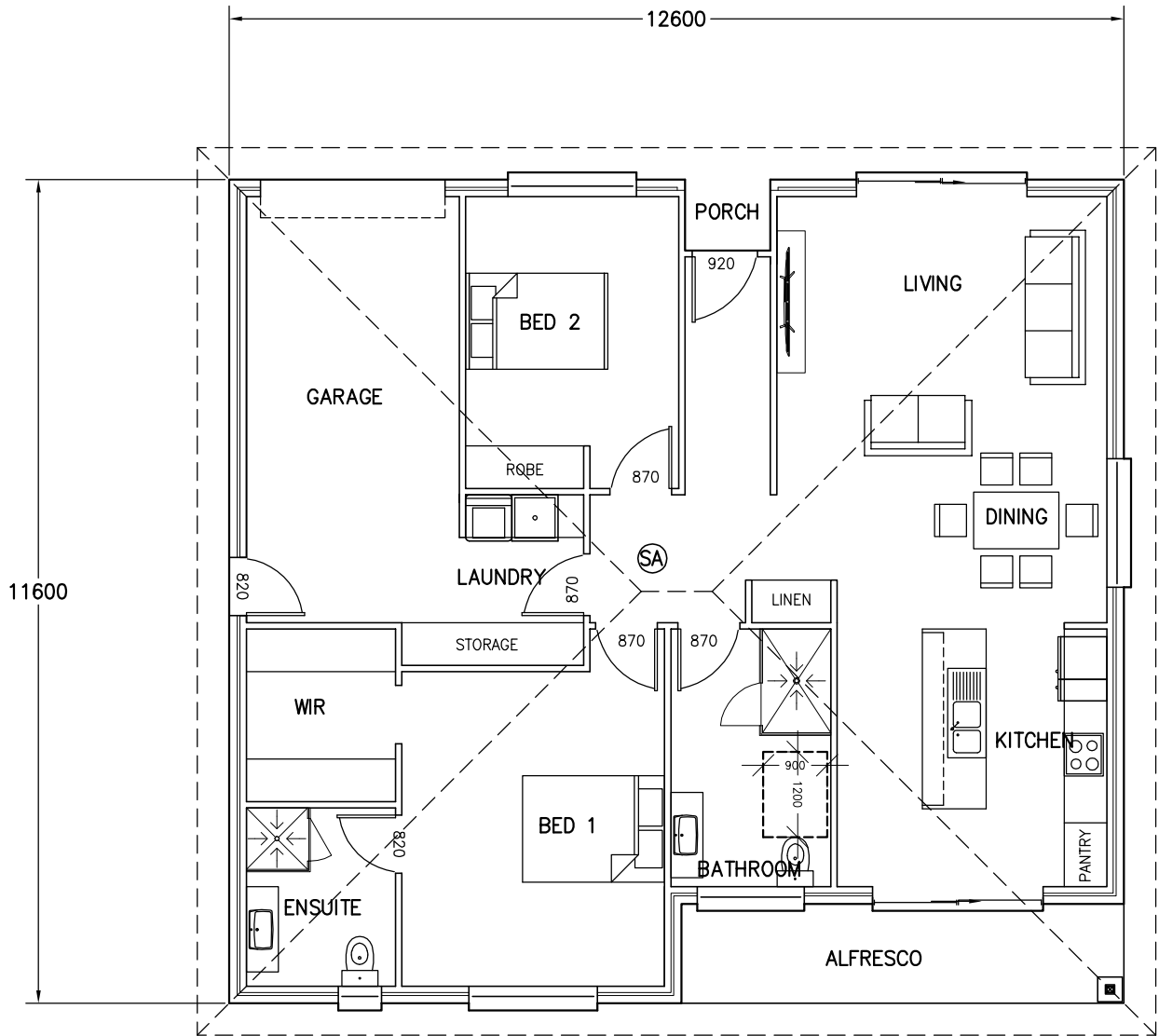
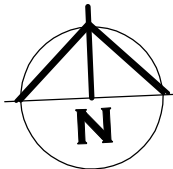
DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED.
DATE: 05 / 12 / 25

SCALE - A3 - 1:100.

DRAWING No.:
ZOB1025 - 12/18

-  BRICK VENEER WALL
-  EXTERNAL 90mm TIMBER FRAMED WALL
WITH LIGHTWEIGHT SHEET CLADDING
INSTALLED WITH CAVITY FIXING
-  INTERNAL 90mm STUD WALL WITH
10mm PLASTER BOARD LINING
THROUGHOUT. (WET AREA
PLASTERBOARD TO WET AREA WALLS)
-  EXTENT OF RAKED CEILING



ⓈA – 240V HARD WIRED SMOKE ALARMS
INSTALLED IN ACCORDANCE WITH NCC9.5 TO
COMPLY WITH AS3786, BE CONNECTED TO MAINS
POWER AND INTERCONNECTED WHERE THERE IS
MORE THAN ONE ALARM



DESIGNS

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PROJECT: PROPOSED UNIT DEVELOPMENT
FOR A ZOBDEH
AT 20 DAYTONA RISE
PROSPECT VALE 7250

DRAWING: FLOOR PLAN UNIT 2

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED.
DATE: 05 / 12 / 25

SCALE – A3 – 1:100.

DRAWING No.:
ZOB1025 – 13/18

FLOOR PLAN UNIT 2

BRICK VENEER – DIMENSIONS AND AREA TO OUTSIDE CLADDING.
CLAD FRAME – DIMENSIONS AND AREA TO OUTSIDE OF TIMBER FRAMING CLADDING IN ADDITION TO
DIMENSIONS.

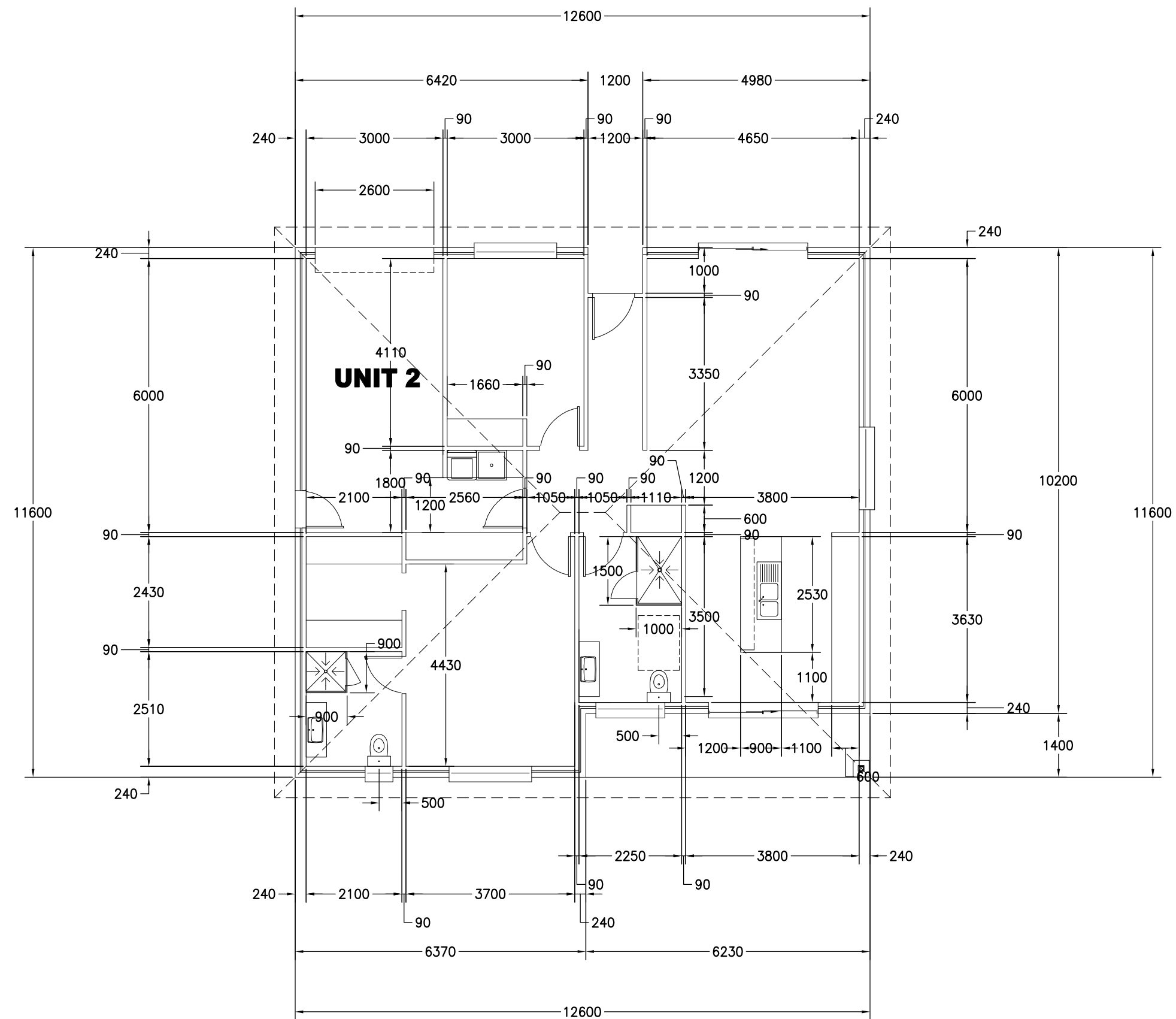
BUILDER TO ENSURE ALL DOOR AND DOOR HARDWARE SELECTED TO HAVE 820mm CLEAR OPENING TO
COMPLY WITH LIVABLE HOUSING DESIGN.
WITH THE EXCEPTION OF NON HABITABLE ROOMS, ONLY IF SHOWN ON PLAN THAT SMALLER SIZED DOOR
TO BE USED

BUILDER TO ENSURE THRESHOLDS THROUGH DOORS TO COMPLY WITH LIVABLE HOUSING DESIGN SECTION
3. WITH MAXIMUM 5mm STEP FROM FFL TO FFL OR THRESHOLD RAMP INSTALLED

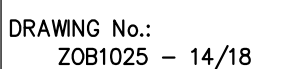
AREA TABLE

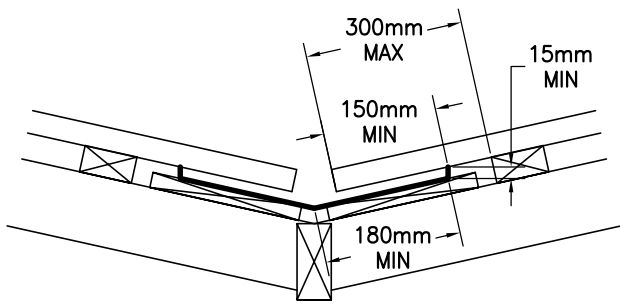
	SQUARE METER	BUILDING SQUARES
FLOOR AREA	136.2	14.7
ALFRESCO AREA	8.7	0.9
PORTICO AREA	1.2	0.1
TOTAL AREA	146.1	15.7

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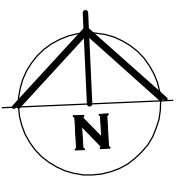


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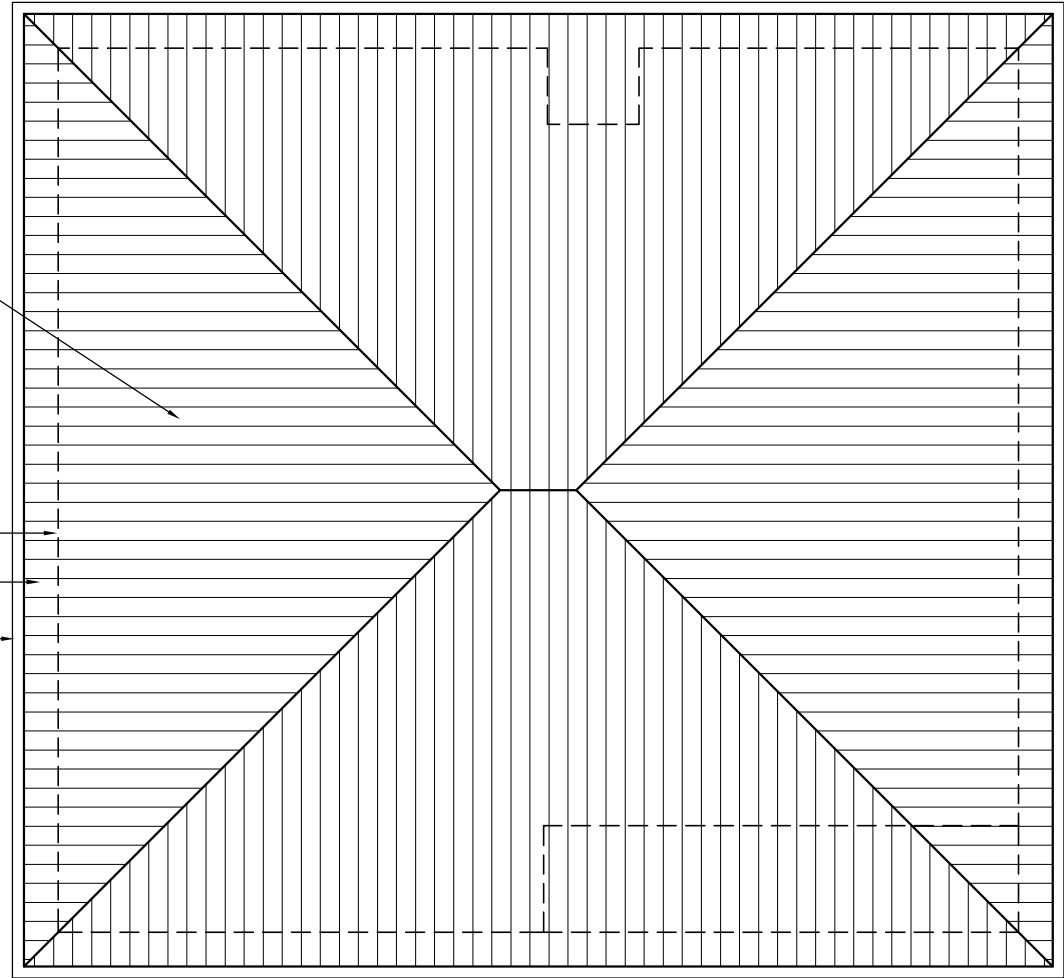


VALLEY GUTTER IS OVER 12.5 DEGREES
AS PER 7.4.4



COLORBOND CUSTOM ORB ROOF SHEETING
AT 22.5°. ONE AND A HALF CORRUGATION
SIDE LAP (TYPICAL). FIXED AT SIDE LAPS.
3 FIXINGS FOR INTERNAL SPANS AND
5 FOR END SPANS. FIXED WITH ROOFZIPS
M6–11x50mm FOR SOFTWOOD AND STEEL
0.55–1.0mm BMT BATTENS
12–14x35 METAL TEK 1.0–3.0mm BMT
STEEL BATTENS
12–11x50mm FOR HARDWOOD

EXTERNAL WALLS DASHED
450mm EAVE (TYPICAL)
COLORBOND GUTTER AND
FASCIA SYSTEM



ROOF PLAN UNIT 2

SHEET ROOF
75x38mm HARD WOOD OR 70x35mm MGP12
BATTENS AT 900mm MAX 900mm CRS AND SPAN.

RANGEHOOD AND BATHROOM EXTRACTION FANS
DUCTED TO EAVE/WALL VENT

ROOF CLADDING TO COMPLY WITH NCC PART 7.1–7.5

GUTTERS AND DOWNPIPES INSTALLED AS PER NCC PART 7.4

GUTTER MUST BE INSTALLED WITH A FALL NOT LESS THAN

- 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL FASCIAS

WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISION
MUST BE MADE TO AVOID ANY OVERFLOW BACK INTO THE ROOF
OR BUILDING STRUCTURE BY INCORPORATING OVERFLOW
MEASURERS OR THE LIKE

DOWNPIPES MUST—

(A)NOT SERVE MORE THAN 12 M OF GUTTER LENGTH FOR EACH
DOWNPIPE; AND

(B)BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS;
AND

(C)BE SELECTED IN ACCORDANCE WITH THE APPROPRIATE EAVES
GUTTER SECTION AS SHOWN IN TABLE 7.4.3A, TABLE 7.4.3B
AND TABLE 7.4.3C.

FOR ROOF CATCHMENTS UP TO 50SQ/M PER DOWNPIPE MEDIUM
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EAVE AND GUTTER OVERFLOW MEASURE TO BE INSTALLED FOR
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BOX GUTTERS AS PER AS3500.3

7.4.6 ACCEPTABLE CONTINUOUS OVERFLOW MEASURE

(1) FOR A FRONT FACE SLOTTED GUTTER WITH—

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THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 1.5 L/S/M,
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DESIGNS

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PROJECT: PROPOSED UNIT DEVELOPMENT
FOR A ZOBDEH
AT 20 DAYTONA RISE
PROSPECT VALE 7250

DRAWING: ROOF PLAN UNIT 2

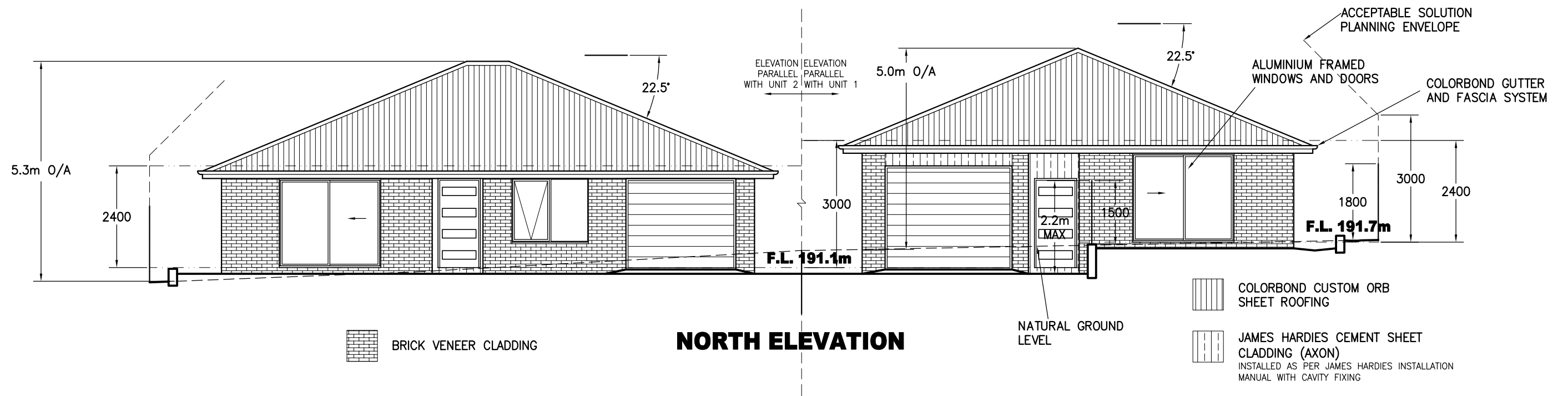
DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED.
DATE: 05 / 12 / 25

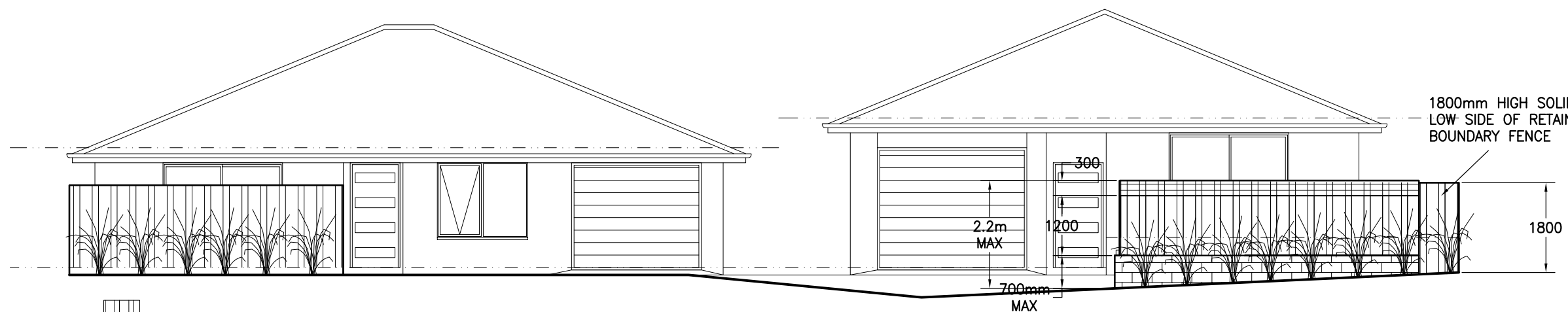
SCALE – A3 – 1:100.

DRAWING No.:
ZOB1025 – 15/18


REVISION NUMBER	DATE
REVISION 1	25 / 10 / 2025
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NORTH ELEVATION



STREETSCAPE ELEVATION



DESIGNS

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LICENCE NUMBER 957699796

PROJECT: PROPOSED UNIT DEVELOPMENT FOR A ZOBDEH AT 20 DAYTONA RISE PROSPECT VALE 7250

DRAWING: ELEVATIONS

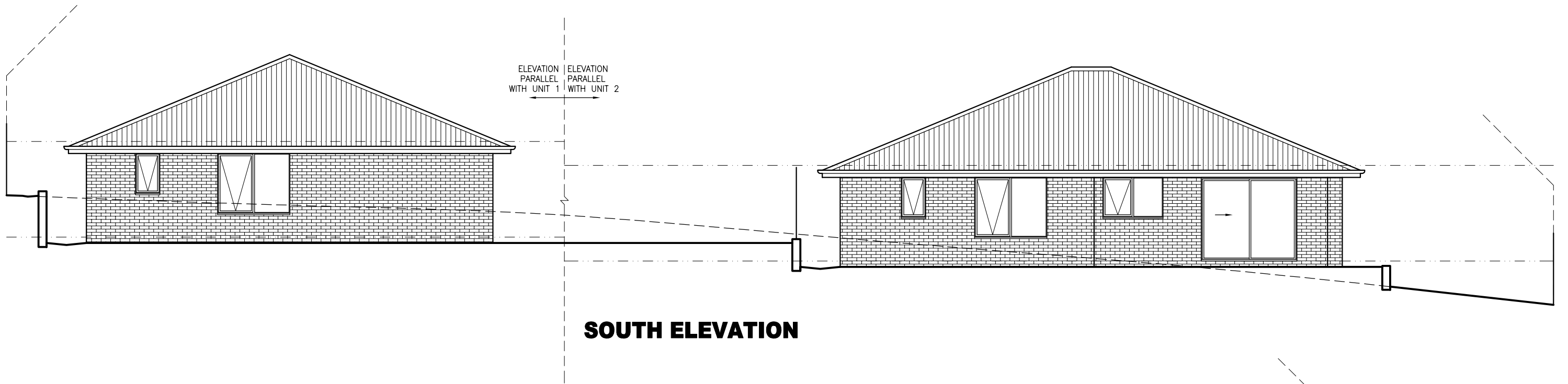
DESIGNED: B. v. Z.
DRAWN: B. v. Z.

SCALE - A3 - 1:100.

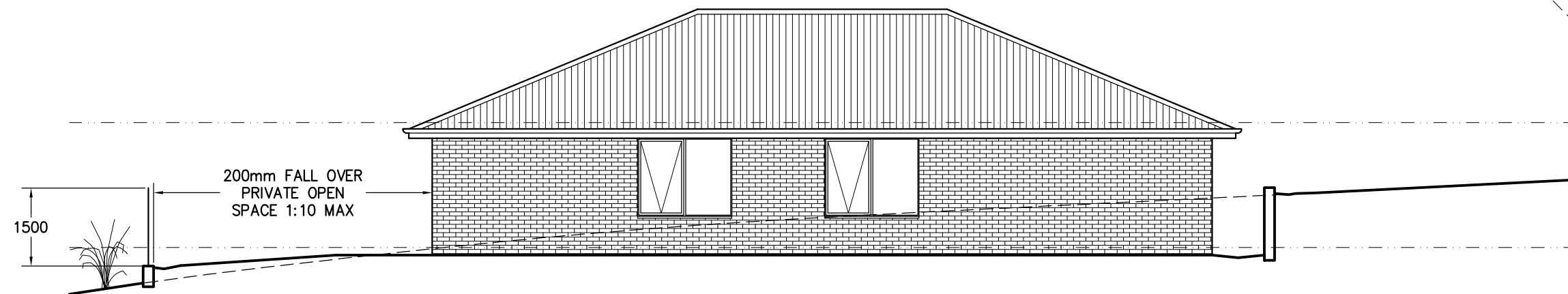
APPROVED.
DATE: 05 / 12 / 25

DRAWING No.: ZOB1025 - 16/18

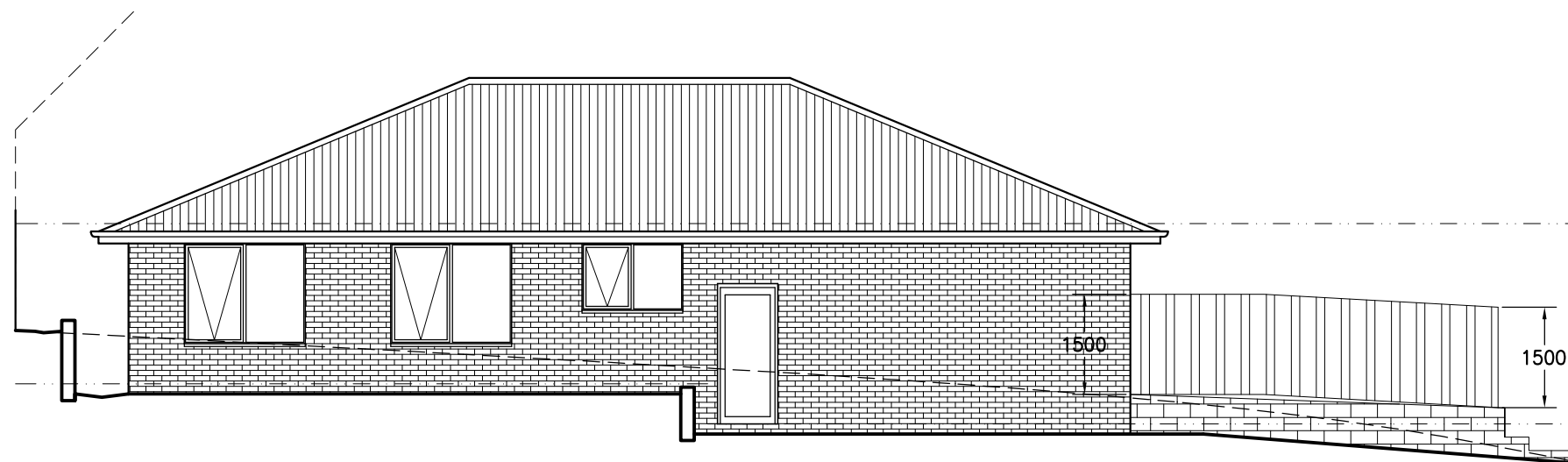
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REVISION 1	25 / 10 / 2025
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REVISION 5	23 / 11 / 2025
REVISION 6	05 / 12 / 2025



SOUTH ELEVATION




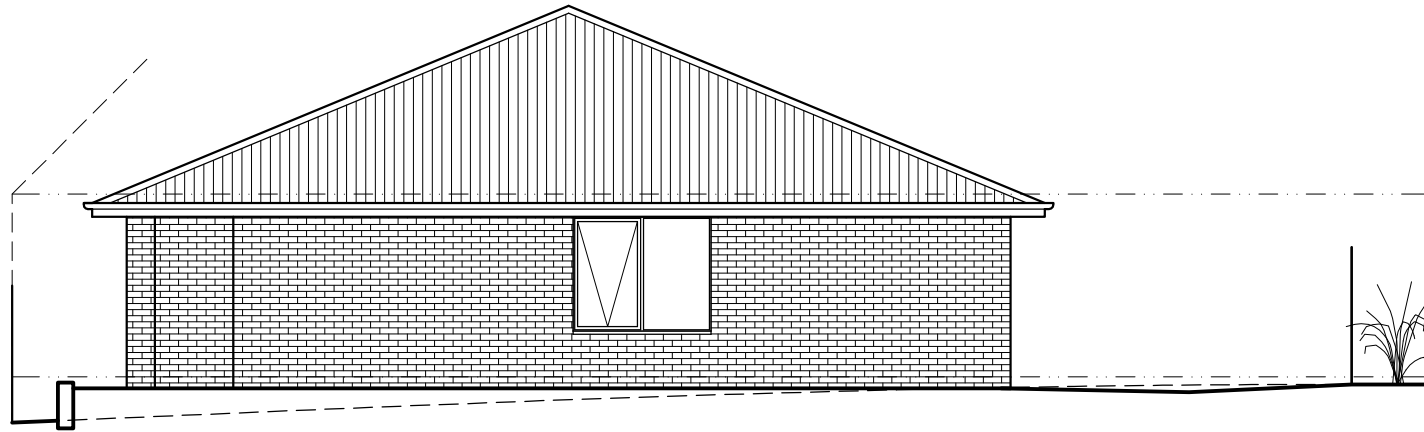
**UNIT 1
WEST ELEVATION**



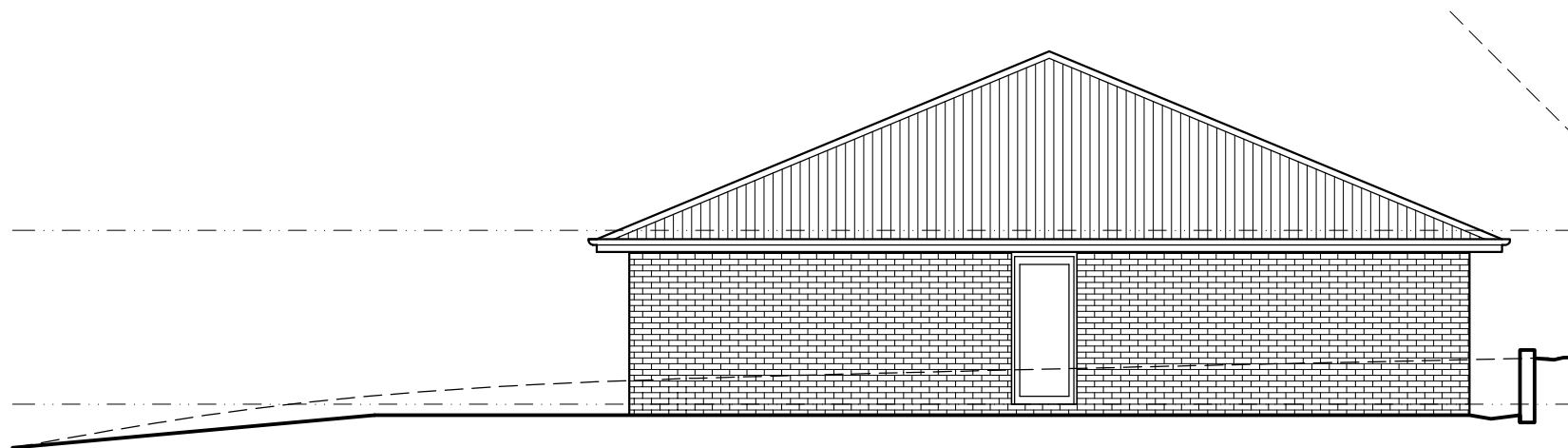
**UNIT 1
EAST ELEVATION**

REVISION NUMBER	DATE
REVISION 1	25 / 10 / 2025
REVISION 2	06 / 11 / 2025
REVISION 3	12 / 11 / 2025
REVISION 4	14 / 11 / 2025
REVISION 5	23 / 11 / 2025
REVISION 6	05 / 12 / 2025

		BRADLEY VAN ZETTEN 4 EDEN HILLS DRIVE RIVERSIDE 7250 P. 0407 272 381 E. BVZDESIGNS@GMAIL.COM LICENCE NUMBER 957699796	
PROJECT:		PROPOSED UNIT DEVELOPMENT FOR A ZOBDEH AT 20 DAYTONA RISE PROSPECT VALE 7250	
DRAWING:		ELEVATIONS	
DESIGNED:		B. v. Z.	APPROVED.
DRAWN:		B. v. Z.	DATE: 05 / 12 / 25
SCALE – A3 – 1:100.		DRAWING No.: ZOB1025 – 17/18	




**UNIT 2
EAST ELEVATION**



**UNIT 2
WEST ELEVATION**

REVISION NUMBER	DATE
REVISION 1	25 / 10 / 2025
REVISION 2	06 / 11 / 2025
REVISION 3	12 / 11 / 2025
REVISION 4	14 / 11 / 2025
REVISION 5	23 / 11 / 2025
REVISION 6	05 / 12 / 2025

<div><div><div>DESIGNS</div></div><div>BRADLEY VAN ZETTEN 4 EDEN HILLS DRIVE RIVERSIDE 7250 P. 0407 272 381 E. BVZDESIGNS@GMAIL.COM LICENCE NUMBER 957699796</div></div>	
PROJECT: PROPOSED UNIT DEVELOPMENT FOR A ZOBDEH AT 20 DAYTONA RISE PROSPECT VALE 7250	
DRAWING: ELEVATIONS	
DESIGNED: B. v. Z. DRAWN: B. v. Z.	APPROVED. DATE: 05 / 12 / 25
SCALE – A3 – 1:100.	DRAWING No.: ZOB1025 – 18/18



BRADLEY VAN ZETTEN

4 EDEN HILLS DRIVE

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LICENCE NUMBER 957699796

Reply to the planning scheme for
20 Daytona Rise Prospect Vale 7250 183008/13

8.4 Development Standards for Dwellings

8.4.1 Residential density for multiple dwellings

A1 – Acceptable solution compliant

8.4.2 Setbacks and building envelope for all dwellings

A1 – Acceptable solution compliant

A2 – Acceptable solution compliant

P3

The siting and scale of a dwelling must:

- (a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:*
 - (i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;*
 - (ii) overshadowing the private open space of a dwelling on an adjoining property;*
 - (iii) overshadowing of an adjoining vacant property; and*
 - (iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property;*
- (b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and*
- (c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:*
 - (i) an adjoining property; or*
 - (ii) another dwelling on the same site.*

P3 –

(a) Not cause an unreasonable loss of amenity to adjoining properties, having regard to: (i) Reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property
The proposed unit development, with the units themselves having a compliant setbacks, ensures no unreasonable sunlight loss to habitable rooms on adjoining properties. The steep grade necessitates retaining walls, mostly cut, which do not increase overshadowing. The low-side fill wall, under 1m, aligns with the acceptable solution, preserving neighbouring amenity.

(ii) Overshadowing the private open space of a dwelling on an adjoining property
The development's compliant setbacks and cut retaining walls minimise overshadowing of neighbouring private open spaces. The steep grade is managed with low-impact design, and the fill retaining wall, under 1m, ensures minimal shadow impact, maintaining consistency with the area's established properties and preserving neighbour amenity.

(iii) Overshadowing of an adjoining vacant property
The unit development's siting, with compliant setbacks, avoids overshadowing vacant adjoining properties. The steep grade is addressed with cut retaining walls, and the low-side fill wall, under 1m, ensures negligible shadow impact, aligning with the subdivision's character and protecting future development potential on neighbouring lots.

(iv) Visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property
The units' compliant setbacks and low-profile design respect the area's scale. Retaining walls, mostly cut,



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enhance privacy, while the fill wall, under 1m, minimises visual bulk. This ensures the development blends with neighbouring properties, maintaining a cohesive streetscape without imposing on adjoining views.

(b) Provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area

The development's compliant setbacks align with neighbouring properties' separation distances. The steep grade is managed with cut retaining walls, preserving privacy and space. The fill wall, under 1m, ensures minimal visual impact, maintaining consistency with the established separation patterns in the subdivision.

(i) An adjoining property

The unit development's compliant setbacks and low-profile retaining walls ensure no unreasonable sunlight reduction to solar installations on adjoining properties. The steep grade is managed with cut walls, and the fill wall, under 1m, minimises shadowing, preserving solar access for neighbouring properties.

(ii) Another dwelling on the same site

As a standalone unit development, no other dwellings exist on the site to impact. The compliant setbacks and low-height retaining walls, primarily cut, ensure the design respects the steep grade without affecting potential future solar installations, maintaining site-specific amenity.

8.4.3 Site coverage and private open space for all dwellings

A1 – Acceptable solution compliant

A2 – Acceptable solution compliant

8.4.4 Sunlight to private open space of multiple dwellings

A1 – Acceptable solution compliant

8.4.5 Width of openings for garages and carports for all dwellings

A1 – Acceptable solution compliant

8.4.6 Privacy for all dwellings

A1 – Acceptable solution compliant

A2 – Acceptable solution compliant

A3 – Acceptable solution compliant

8.4.7 Frontage fences for all dwellings

A1 – Acceptable solution compliant

P1

The proposed fence surrounding Unit 1's private open space (POS), permitted in front of the dwelling under clause 8.4.3, has been designed to ensure privacy for the occupants from the inside of the POS while reducing the visual bulk when view from the street.

The fence will be constructed on top of the retaining wall, reaching a maximum height of 2.2 meters when measured from the exterior. To minimise visual bulk, the upper 300mm of the fence is designed as an open section to allow partial visibility through the structure.

For the privacy of Unit 1, there will remain a solid section of the fence measuring 1800mm in height when viewed from the street or footpath.



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From within the POS, the fence atop the retaining wall on the north and east sides will stand at 1500mm high. This design facilitates passive surveillance of the street while maintaining privacy for the POS.

Set back 1/1.5m from the front boundary, the fence ensures privacy and security for the POS while allowing screening planting to soften its visual impact, enhancing streetscape aesthetics.

Unit 2 The unscreened bedroom windows facilitate passive surveillance of the road, balancing security with community visibility.

Traffic volumes on the adjoining road are low, typical of residential subdivisions, reducing the need for highly transparent fencing. The proposed fence's scale and setback ensure compatibility with the street's character, maintaining a cohesive appearance while addressing privacy needs of the occupants.

8.4.8 Waste storage for multiple dwellings
A1 – Acceptable solution compliant

C2.5.1 Car parking numbers

P1.2

The number of car parking spaces for dwellings must meet the reasonable needs of the use, having regard to:

- (a) the nature and intensity of the use and car parking required;
- (b) the size of the dwelling and the number of bedrooms; and
- (c) the pattern of parking in the surrounding area.

P1.2

(a) Each unit has two spots dedicated to itself. This is compliant with the acceptable solution with the development just having the omission of the visitor spots so the residents themselves all have onsite parking, so the average two-car household.

There will be an additional parking space along the front boundary of on street parking.

(b) The proposed units are at the smaller end of units/houses, so it would not be expected that the average occupancy would have more than 2 vehicles, and with the above point, there is ample on-street parking for visitors parking, which is the spot that omitted from the acceptable solution.

(c) With no nearby units, there is no similar development to compare to.

Kind Regards

A handwritten signature in blue ink, appearing to read 'BVZ', followed by a horizontal flourish.

Bradley Van Zetten