

PLANNING NOTICE

An application has been received for a Permit under s.57 of the Land Use Planning Approvals Act 1993:

APPLICANT:	Woolcott Land Services - PA\26\0117
PROPERTY ADDRESS:	60 Veterans Row WESTBURY (CT: 188905/3)
DEVELOPMENT:	Single dwelling & Residential outbuildings (shipping container, sheds) & rainwater tank - setbacks, driveway, parking area.

The application can be inspected until **Monday, 1 December 2025**, at www.meander.tas.gov.au or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to planning@mvc.tas.gov.au. Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Dated at Westbury on 15 November 2025.

Jonathan Harmey
GENERAL MANAGER

APPLICATION FORM

PLANNING PERMIT

Land Use Planning and Approvals Act 1993

- Application form & details **MUST** be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

OFFICE USE ONLY

Property No:		Assessment No:		-		-	
DA\		PA\		PC\			

- Is your application the result of an illegal building work? ☐ Yes ☐ No Indicate by ✓ box
- Have you already received a Planning Review for this proposal? ☐ Yes ☐ No
- Is a new vehicle access or crossover required? ☐ Yes ☐ No

PROPERTY DETAILS:

Address:	60 Veterans Row	Certificate of Title:	188905
Suburb:	Westbury	TAS	Lot No: 3
Land area:	Refer to report	m^2 / ha	
Present use of land/building:	Vacant	(vacant, residential, rural, industrial, commercial or forestry)	

- Does the application involve Crown Land or Private access via a Crown Access Licence: ☐ Yes ☒ No
- Heritage Listed Property: ☐ Yes ☒ No

DETAILS OF USE OR DEVELOPMENT:

Indicate by ✓ box

☒ Building work	☐ Change of use	☐ Subdivision	☐ Demolition
☐ Forestry	☐ Other		

Total cost of development (inclusive of GST): Includes total cost of building work, landscaping, road works and infrastructure

Description of work:

Use of building: (main use of proposed building – dwelling, garage, farm building, factory, office, shop)

New floor area: m^2 New building height: m

Materials: External walls: Colour:
Roof cladding: Colour:

SEARCH OF TORRENS TITLE

VOLUME 188905	FOLIO 3
EDITION 2	DATE OF ISSUE 25-Aug-2025

SEARCH DATE : 02-Sep-2025

SEARCH TIME : 11.52 AM

DESCRIPTION OF LAND

Town of WESTBURY

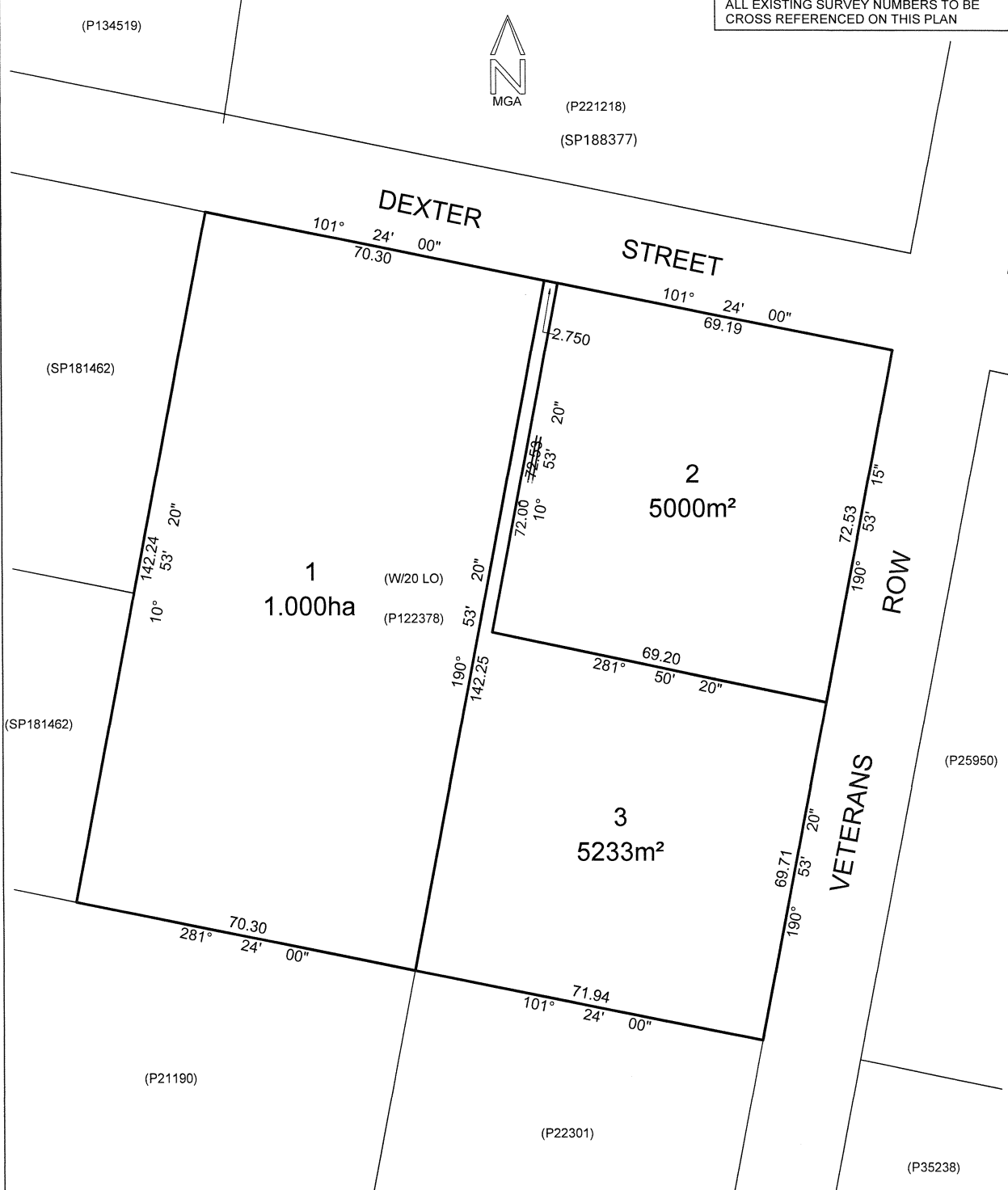
Lot 3 on Sealed Plan [188905](#)Derivation : Part of Lot 72, Sec. C11, 5A-0R-0P Gtd. to
Michael BrennanPrior CT [122378/72](#)SCHEDULE 1[N275091](#) TRANSFER to MICHAEL WAYNE SPAULDING and JOH RUBY
SPAULDING Registered 25-Aug-2025 at 12.01 PMSCHEDULE 2Reservations and conditions in the Crown Grant if any
[SP188905](#) FENCING PROVISION in Schedule of Easements[E429224](#) MORTGAGE to MyState Bank Limited Registered
25-Aug-2025 at 12.02 PMUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

PRIORITY FINAL PLAN

OWNER: MICHAEL MORGAN STILES & JOSEPHINE MICHELE STILES	PLAN OF SURVEY BY SURVEYOR DALLAS McCULLOCH D.J. McCULLOCH & ASSOCIATES RIVERSIDE, TASMANIA 7250	REGISTERED NUMBER SP188905
FOLIO REFERENCE: F/R 122378/72	LOCATION TOWN OF WESTBURY SECTION C11	APPROVED EFFECTIVE FROM 25 JUN 2025
GRANTEE: WHOLE OF LOT 72 SECTION C11 (5A-0R-0P) GRANTED TO MICHAEL BRENNAN	SCALE 1 : 750 LENGTHS IN METRES	Recorder of Titles

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



 16/05/2025 REGISTERED LAND SURVEYOR DATE	 16/06/2025 COUNCIL DELEGATE DATE
--	--

SCHEDULE OF EASEMENTS	Registered Number SP 188905
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	

PAGE 1 OF 1 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

PROVISION FENCING COVENANT

The Vendor Michael Morgan Stiles and Josephine Michele Stiles shall not be required to fence.

SIGNED by **MICHAEL MORGAN STILES** as registered proprietor
of the property comprised in Folio of the Register Volume 122378
Folio 72 in the presence of:

(witness signature)   Date: 11/2/25

(witness full name) **MARTIN DENNIS EADE** Name: **MARTIN DENNIS EADE B.P.W.**

(witness occupation) **PHARMACEUT** ex-officio Commission for Declarations
OLIVE TUDOR PHARMACY

(witness address) **Westbury Road**
Prospect Tas. 7250

SIGNED by **JOSEPHINE MICHELE STILES** as registered proprietor
of the property comprised in Folio of the Register Volume 122378
Folio 72 in the presence of:

(witness signature)   Date: 11/2/25

(witness full name) **MARTIN DENNIS EADE**

(witness occupation) **ex-officio Commission for Declarations**
OLIVE TUDOR PHARMACY

(witness address) **Westbury Road**
Prospect Tas. 7250

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: MICHAEL MORGAN STILES & JOSEPHINE MICHELE STILES FOLIO REF: 122378/72 SOLICITOR & REFERENCE: AK GOSS – Rae & Partners Lawyers	PLAN SEALED BY: Meander Valley Council DATE: 16/06/2025 PA12310173 REF NO.  Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

o:\Docs\245793\3731346.docx



- SIGN SIMILAR TO ABOVE PICTURE TO BE PERMANENTLY FIXED TO THE STATIC WATER SUPPLY
- SIGN SIZE DIMENSIONS
 - MIN. 300mm x 300mm
 - LETTERING TO BE UPPERCASE AND NOT LESS THAN 100mm IN HEIGHT

LEGEND	
	SEWER
	WATER
	STORMWATER

NOTE
STORMWATER FROM PROPOSED DWELLING TO BE DIRECTED INTO EXISTING STORMWATER SYSTEM TO LOCAL COUNCIL REQUIREMENTS & AS3500

DRAINAGE
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF NATIONAL PLUMBING AND DRAINAGE CODE AS3500 AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

A MODIFIED 4C ACCESS ROAD IS AN ALL-WEATHER ROAD WHICH COMPLIES WITH THE AUSTRALIAN ROAD RESEARCH BOARD "UNSEALED ROADS MANUAL – GUIDELINES TO GOOD PRACTICE", 3RD EDITION, MARCH 2009 AS A CLASSIFICATION 4C ACCESS ROAD AND THE FOLLOWING MODIFIED REQUIREMENTS:

- ALL-WEATHER CONSTRUCTION;
- LOAD CAPACITY OF AT LEAST 20 TONNES, INCLUDING FOR BRIDGES AND CULVERTS;
- MINIMUM CARRIAGEWAY WIDTH OF 4 METRES;
- MINIMUM VERTICAL CLEARANCE OF 4 METRES;
- MINIMUM HORIZONTAL CLEARANCE OF 0.5 METRES FROM THE EDGE OF THE CARRIAGEWAY;
- CROSS FALLS OF LESS THAN 3° (1:20 OR 5%);
- DIPS LESS THAN 7° (1:8 OR 12.5%) ENTRY AND EXIT ANGLE;
- CURVES WITH A MINIMUM INNER RADIUS OF 10 METRES;
- MAXIMUM GRADIENT OF 15° (1:3.5 OR 28%) FOR SEALED ROADS, AND 10° (1:5.5 OR 18%) FOR UNSEALED ROADS; AND
- TERMINATE WITH A TURNING AREA FOR FIRE APPLIANCES PROVIDED BY ONE OF THE FOLLOWING:

- A TURNING CIRCLE WITH A MINIMUM INNER RADIUS OF 10 METRES
- A PROPERTY ACCESS ENCIRCLING THE BUILDING; OR
- A HAMMERHEAD "T" OR "Y" TURNING HEAD 4 METRES WIDE AND 8 METRES L

BAL NOTES:
- FIREFIGHTING WATER SUPPLY TO BE A MIN. 10000L PER BUILDING TO BE PROTECTED. THIS VOLUME OF WATER MUST NOT BE USED FOR ANY OTHER PURPOSE INCLUDING FIRE FIGHTING SPRINKLER OR SPRAY SYSTEMS

- WATER TANK MUST BE METAL, CONCRETE OR LAGGED BY NON-COMBUSTABLE MATERIALS AND ALL ABOVE GROUND PIPES & FITTINGS TO BE MADE FROM NON-RUSTING, NON-COMBUSTIBLE AND NON-DEFORMING MATERIALS

- TANK TO BE LOCATED A MINIMUM 6.0m FROM DWELLING AND WITHIN 3.0m OF A HARDSTAND AREA - WATER TANK OR CONNECTION POINT TO BE FITTED WITH A MALE 64mm 5v THREAD COUPLING WITH MINIMUM DELIVERY OF 270L PER MINUTE

ISSUED FOR APPROVAL

Copyright ©

Client: M. & J. SPAULDING
Project: PROPOSED DWELLING
Address: 60 VETERANS ROW
WESTBURY TAS 7303

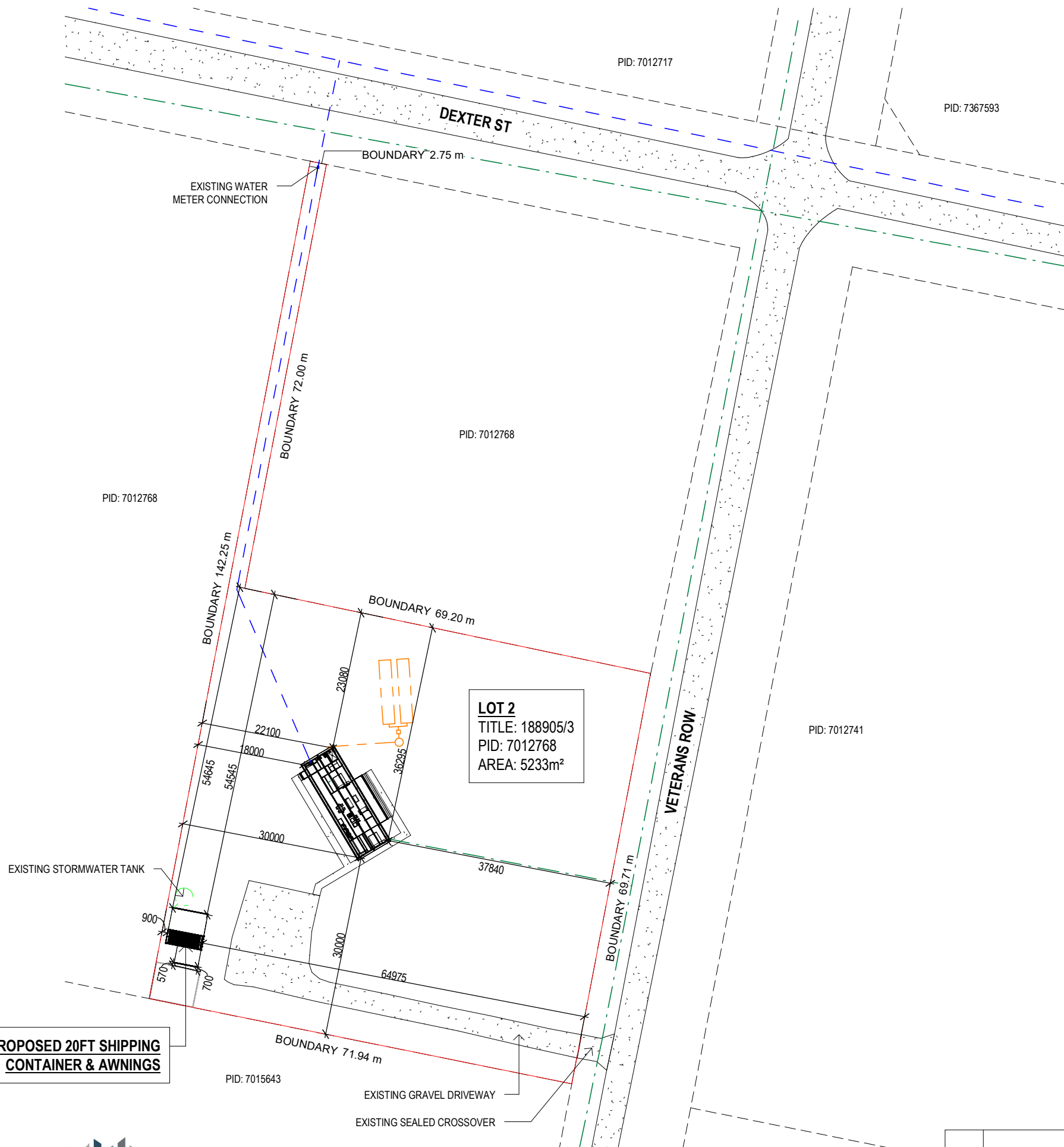
Mob 0417 362 783 or 0417 545 813
jack@engineeringplus.com.au
trin@engineeringplus.com.au

Date Drawn: 05.09.25
Drawn: W. Tan
Checked: C. Lim
Approved: J. Pfeiffer
Scale: As Shown @ A3

Accredited Building Designer
Designer Name: J. Pfeiffer
Accreditation No: CC2211T

Drawing No: 2025-254 A01 / A09 Rev D

D	MINOR AMENDMENT	28.10.25	K.Y.
C	MINOR AMENDMENT	20.10.25	K.Y.
B	MINOR AMENDMENT	10.10.25	W.T.
A	ISSUED FOR APPROVAL	05.09.25	W.T.
Rev:	Amendment:	Date:	Int:



LOCALITY PLAN
SCALE 1 : 750



LEGEND	
	SEWER
	WATER
	STORMWATER

NOTE
STORMWATER FROM PROPOSED DWELLING TO BE DIRECTED INTO EXISTING STORWATER SYSTEM TO LOCAL COUNCIL REQUIREMENTS & AS3500

DRAINAGE
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF NATIONAL PLUMBING AND DRAINAGE CODE AS3500 AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

ISSUED FOR APPROVAL

Copyright ©

Client: M. & J. SPAULDING
Project: PROPOSED DWELLING
Address: 60 VETERANS ROW
WESTBURY TAS 7303

Mob 0417 362 783 or 0417 545 813
jack@engineeringplus.com.au
trin@engineeringplus.com.au

Date Drawn: 05.09.25
Drawn: W. Tan
Checked: C. Lim
Approved: J. Pfeiffer
Scale: As Shown @ A3

Accredited Building Designer
Designer Name: J. Pfeiffer
Accreditation No: CC2211T

Drawing No: 2025-254 A02 / A09 Rev D

SEWER FROM PROPOSED DWELLING TO CONNECT TO PROPOSED SEWER SYSTEM DESIGNED BY OTHERS. LOCATION TO BE DETERMINED ON SITE.

LOT 2
TITLE: 188905/3
PID: 7012768
AREA: 5233m²

STORMWATER FROM PROPOSED DWELLING TO BE DIRECTED INTO EXISTING CULVERT. LOCATION TO BE DETERMINED ON SITE.

PROPOSED LANDSCAPING WALKWAY

EXISTING GRAVEL DRIVEWAY

SITE PLAN
SCALE 1:200



WINDOW SCHEDULE

MARK HEIGHT WIDTH TYPE U-VALUE SHGC

W1	1800	900	DG	4.3	.55
W2	1800	900	DG	4.3	.55
W3	400	1000	DG	4.3	.55
W4	1800	800	DG	4.3	.55
W5	1800	800	DG	4.3	.55
W6	1800	800	DG	4.3	.55
W7	1800	800	DG	4.3	.55

SD1 2100 2400 DG 4.0 .61

D1 2100 920 DG 4.0 .61
D2 2100 920 DG 4.0 .61

DISCLAIMER:

ALL WINDOWS SHOWN ON PLAN ARE APPROX.
BASED OFF STANDARD MANUFACTURING SIZES. ALL
WINDOW DIMENSIONS TO BE CONFIRMED ON SITE
BY BUILDER PRIOR TO ORDERING AND
MANUFACTURING.

CONSTRUCTION PLAN

SCALE 1 : 100

Area Schedule (Gross Building)		
Name	Area	Area (sq)
DWELLING	99.00 m ²	10.66
DECK	15.30 m ²	1.65
LANDING	1.44 m ²	0.16
PROPOSED 20FT SHIPPING CONTAINER & AWNINGS	47.61 m ²	5.13
	163.35 m ²	17.58

D	MINOR AMENDMENT	28.10.25	K.Y.
C	MINOR AMENDMENT	20.10.25	K.Y.
B	MINOR AMENDMENT	10.10.25	W.T.
A	ISSUED FOR APPROVAL	05.09.25	W.T.
Rev:	Amendment:	Date:	Int:

Date Drawn: 05.09.25
Drawn: W. Tan
Checked: C. Lim
Approved: J. Pfeiffer
Scale: As Shown @ A3

Accredited Building Designer
Designer Name: J. Pfeiffer
Accreditation No: CC2211T

ISSUED FOR APPROVAL

Copyright ©

Client: M. & J. SPAULDING
Project: PROPOSED DWELLING
Address: 60 VETERANS ROW
WESTBURY TAS 7303

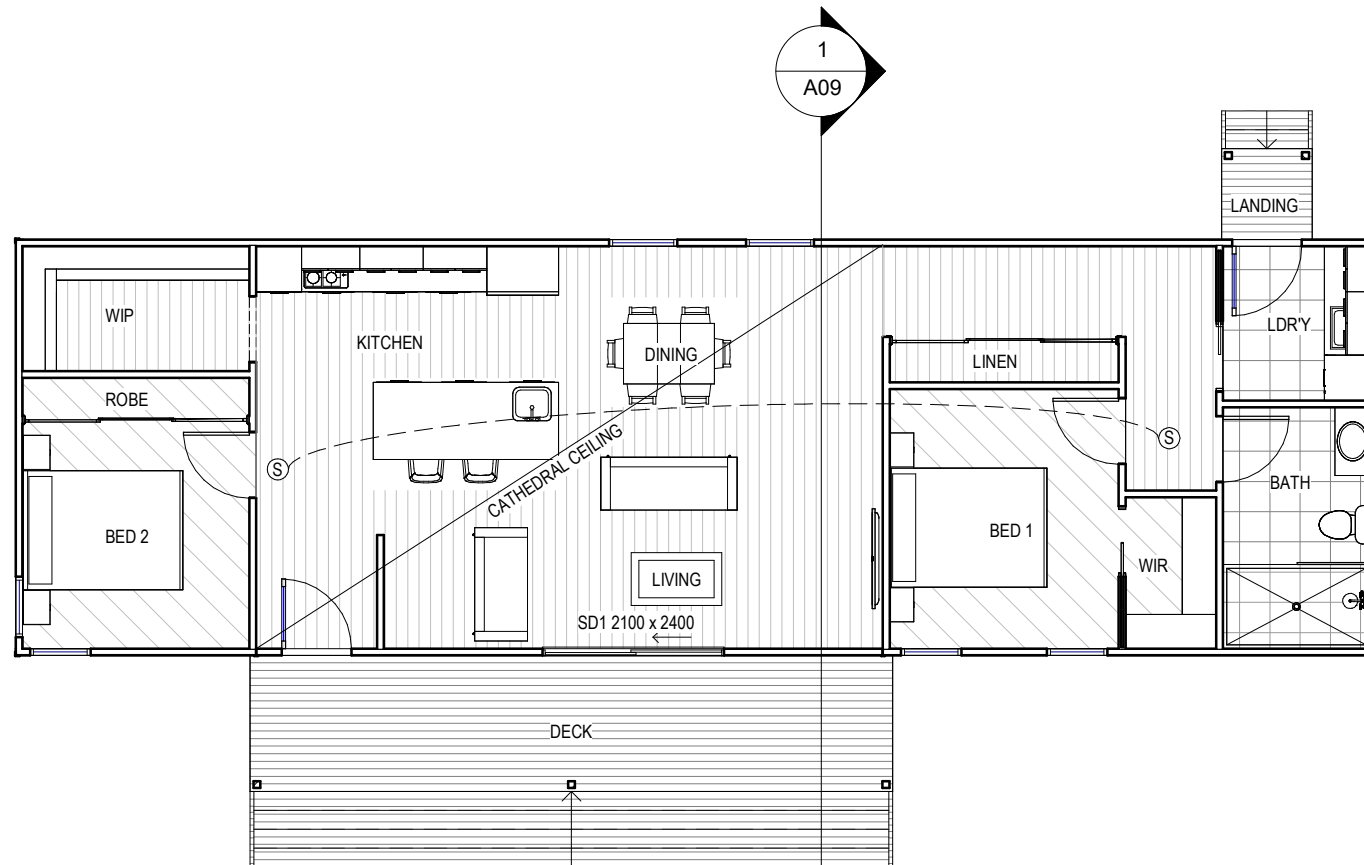
Mob 0417 362 783 or 0417 545 813
jack@engineeringplus.com.au
trin@engineeringplus.com.au

Drawing No:

2025-254 A03 / A09

Rev

D



FLOOR PLAN
SCALE 1:100

FLOOR COVERINGS	
	CARPET
	CONCRETE
	TIMBER DECKING
	TILE
	VINYL TIMBER FLOORING

SMOKE ALARMS
PROVIDE AND INSTALL SMOKE ALARMS & HARD WIRE TO BUILDING POWER SUPPLY TO AS 3786. CEILING MOUNTED WITH 9VDC ALKALINE BATTERY BACKUP TO LOCATIONS INDICATED ON PLAN AND IN ACCORDANCE WITH NCC PART H3D6 - ACBC PART 9.5

Ⓢ - DENOTES INTERCONNECTED SMOKE DETECTORS

Area Schedule (Gross Building)		
Name	Area	Area (sq)
DWELLING	99.00 m²	10.66
DECK	15.30 m²	1.65
LANDING	1.44 m²	0.16
PROPOSED 20FT SHIPPING CONTAINER & AWNINGS	47.61 m²	5.13
	163.35 m²	17.58

ISSUED FOR APPROVAL

Copyright ©

Client: M. & J. SPAULDING
Project: PROPOSED DWELLING
Address: 60 VETERANS ROW
WESTBURY TAS 7303

Mob 0417 362 783 or 0417 545 813
jack@engineeringplus.com.au
trin@engineeringplus.com.au

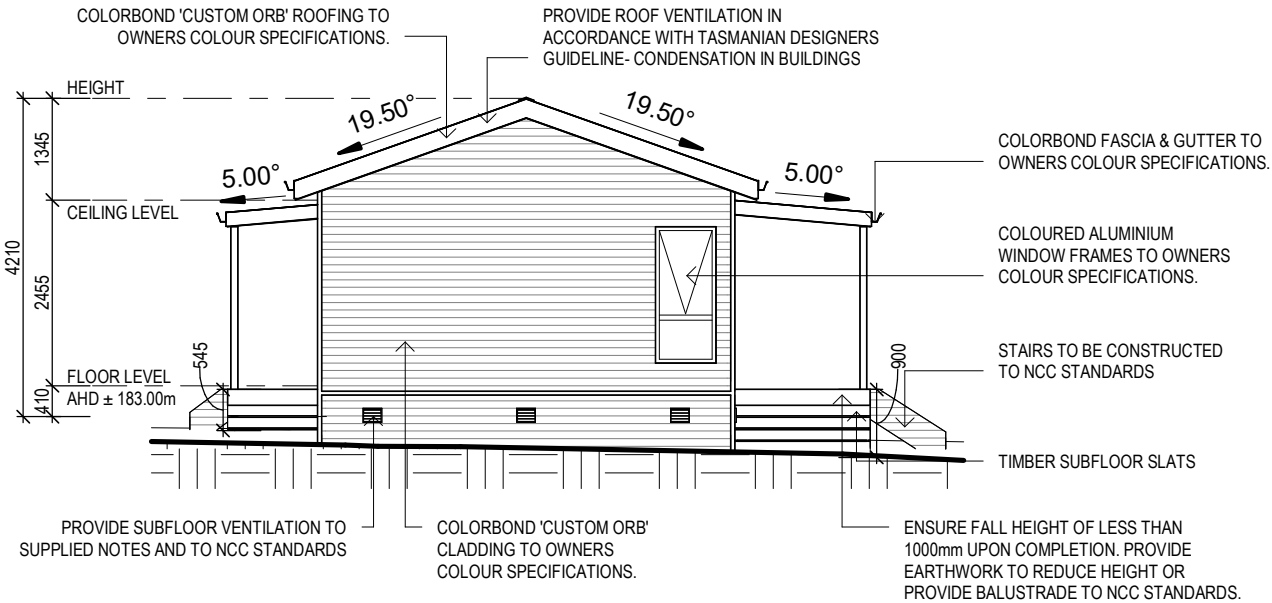
D	MINOR AMENDMENT	28.10.25	K.Y.
C	MINOR AMENDMENT	20.10.25	K.Y.
B	MINOR AMENDMENT	10.10.25	W.T.
A	ISSUED FOR APPROVAL	05.09.25	W.T.
Rev:	Amendment:	Date:	Int:

Date Drawn: 05.09.25
Drawn: W. Tan
Checked: C. Lim
Approved: J. Pfeiffer
Scale: As Shown @ A3

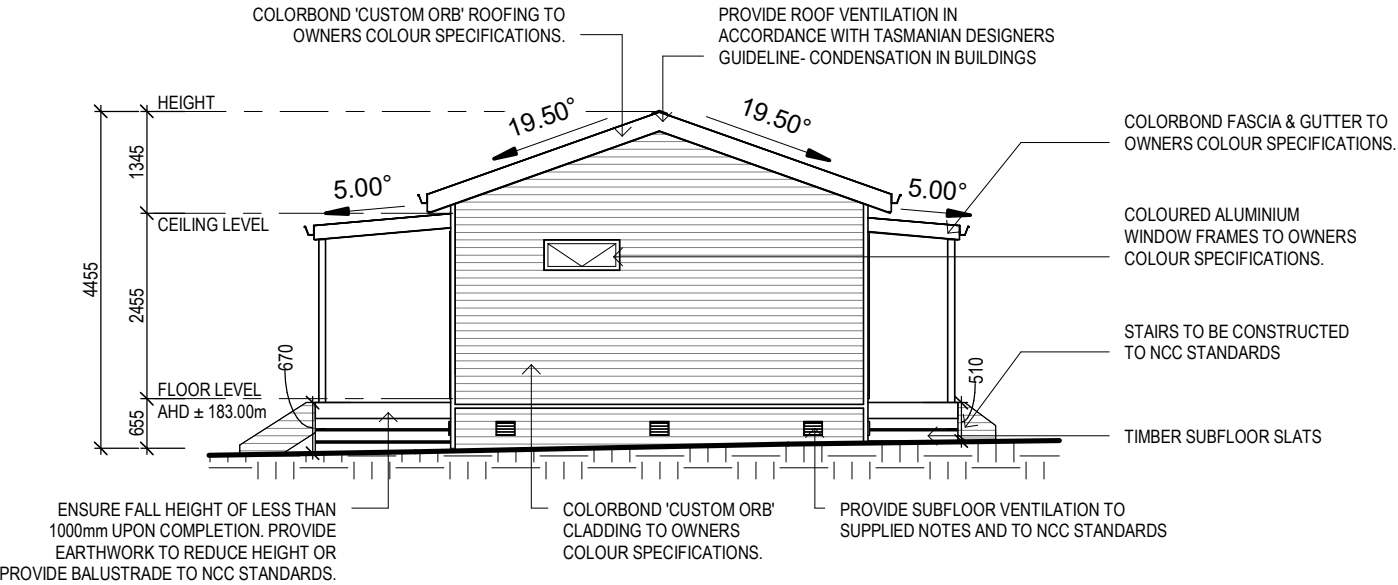
Accredited Building Designer
Designer Name: J. Pfeiffer
Accreditation No: CC2211T

Drawing No: 2025-254 A04 / A09
Rev: D

- SOFFIT / EAVE LINED WITH 'HARDIFLEX' CEMENT SHEETING
- TRIMMERS LOCATED WITHIN 1200 MM OF EXTERNAL CORNERS TO BE SPACED @ 500 MM CENTERS, REMAINDER OF SHEET - 700 MM CENTERS
 - FASTENER / FIXINGS WITHIN 1200 MM OF EXTERNAL CORNERS @ 200 MM CENTERS, REMAINDER OF SHEET - 300 MM CENTERS



SOUTH EAST ELEVATION
SCALE 1 : 100



NORTH WEST ELEVATION
SCALE 1 : 100

STAIR CONSTRUCTION. ABCB Volume 2 PART 11.2

- TREADS: 240 MM
- RISERS: 180 MM
- TREATED PINE TIMBER STAIR MATERIAL TO ASI684
- TREATMENT LEVELS H4 FOR INGROUND USE & H3 FOR ABOVE GROUND USE.
- ALL FIXINGS FITTING BRACKETS AND CONNECTORS TO BE GALVANISED.
- STRINGER: 300x50 F5 TREATED PINE
- TREADS: 240x45 F5 TREATED PINE MAXIMUM TREAD SPAN 1000

ISSUED FOR APPROVAL

Copyright ©

Client: **M. & J. SPAULDING**
Project: **PROPOSED DWELLING**
Address: **60 VETERANS ROW
WESTBURY TAS 7303**

Mob 0417 362 783 or 0417 545 813
jack@engineeringplus.com.au
trin@engineeringplus.com.au

ENGINEERING PLUS
BUILDING DESIGN
PROJECT MANAGEMENT
CIVIL/STRUCTURAL ENGINEERING

				Date Drawn: 05.09.25
				Drawn: W. Tan
				Checked: C. Lim
				Approved: J. Pfeiffer
				Scale: As Shown @ A3
D	MINOR AMENDMENT	28.10.25	K.Y.	
C	MINOR AMENDMENT	20.10.25	K.Y.	
B	MINOR AMENDMENT	10.10.25	W.T.	
A	ISSUED FOR APPROVAL	05.09.25	W.T.	
Rev:	Amendment:	Date:	Int:	

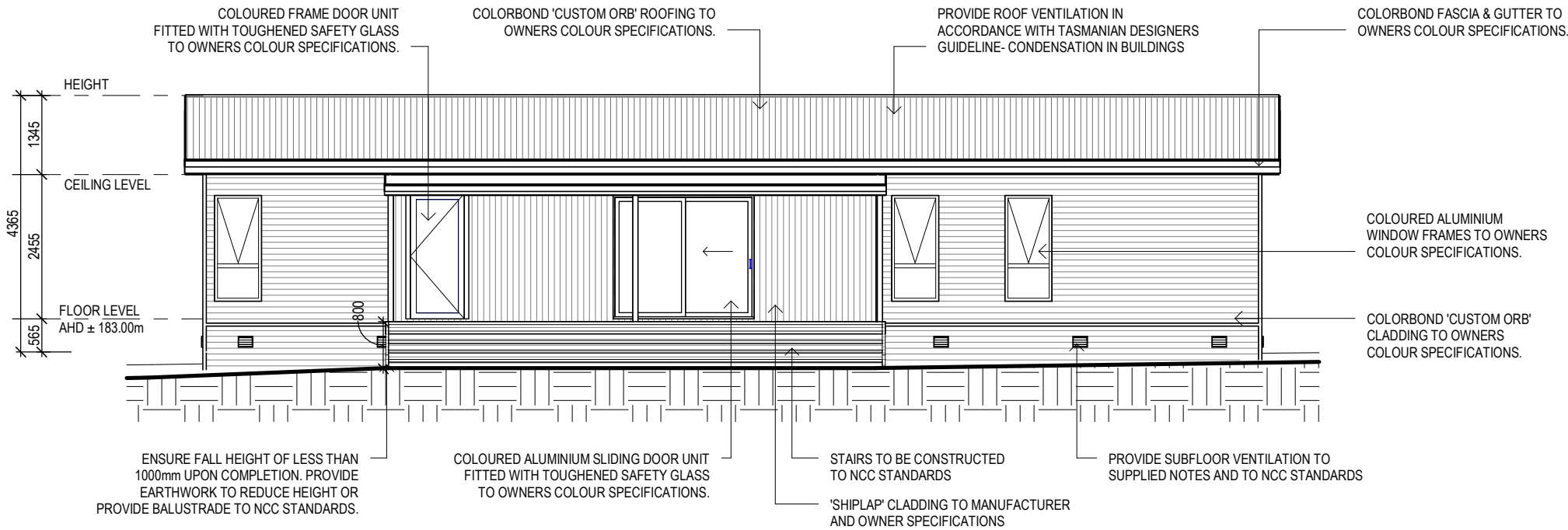
Accredited Building Designer
Designer Name: **J. Pfeiffer**
Accreditation No: CC2211T

Drawing No: **2025-254** A05 / A09
Rev **D**

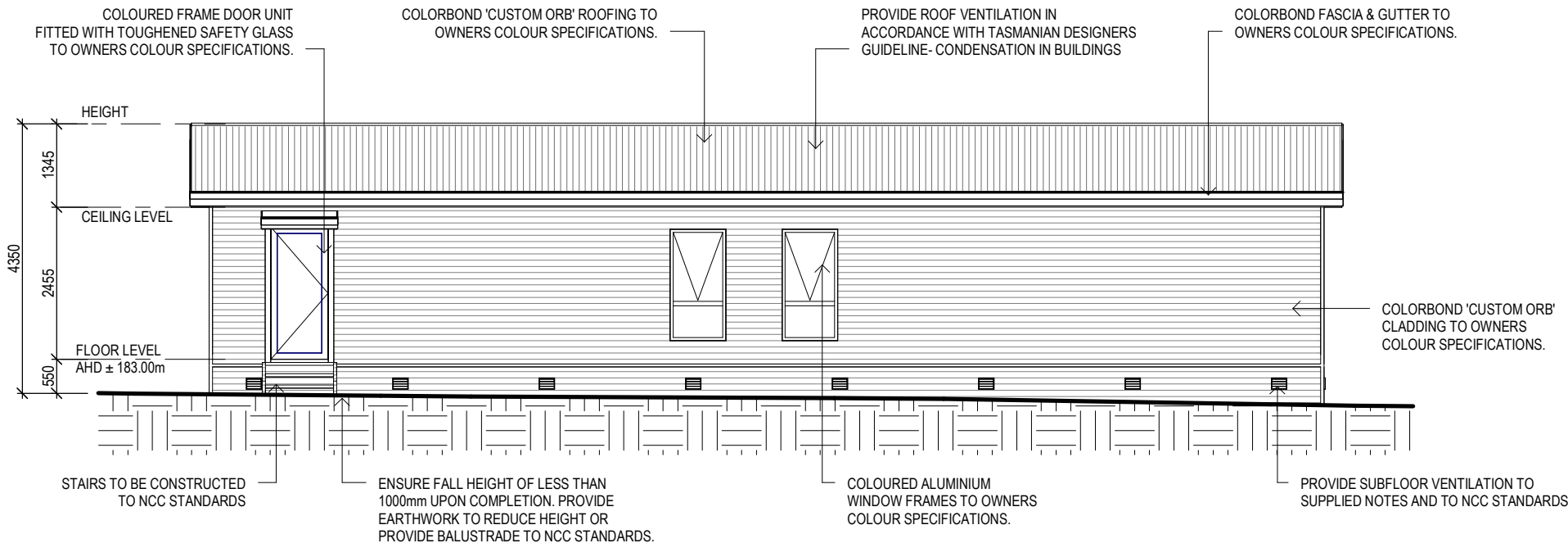
- SUB FLOOR VENTILATION. ncc vol 2 part 6.2.1
- A MINIMUM OF 150 MM OF SUB FLOOR CLEARANCE IS TO BE PROVIDED BETWEEN FINISHED SURFACE LEVEL & THE UNDERSIDE OF THE FLOOR BEARER.
 - A MINIMUM OF 6000 MM2 PER METRE OF SUB FLOOR VENTILATION IS TO BE UNIFORMLY DISTRIBUTED AROUND THE EXTERNAL AND INTERNAL WALLS OF THE BUILDING.
 - VENTS TO BE LOCATED NO GREATER THAN 600 MM FROM AN INTERNAL OR EXTERNAL CORNER.

PRYDA 230x75 - 52 HOLE VENT MAXIMUM SPACING 1050 MM ALONG WALL OR
PRYDA 230x165 - 117 HOLE VENT MAXIMUM SPACING 2350 MM ALONG WALL

ADDITIONAL VENTILATION PROVISIONS TO BE INSTALLED WHERE OBSTRUCTIONS SUCH AS
CONCRETE VERANDAH'S, DECKS, PATIOS AND PAVING ARE INSTALLED & OBSTRUCT VENTILATION.



NORTH EAST ELEVATION
SCALE 1 : 100



SOUTH WEST ELEVATION
SCALE 1 : 100

SELECTED ALUMINIUM FRAMED WINDOWS - ABCB VOLUME 2 PART 8.3

POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.
PRIMED PINE REVEALS AND TRIMS. ALL FLASHING AND FIXINGS TO MANUFACTURERS SPECIFICATIONS.

GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288
ALL FIXINGS AND FLASHINGS TO MANUFACTURERS REQUIREMENTS

ISSUED FOR APPROVAL

Copyright ©

Client: **M. & J. SPAULDING**
Project: **PROPOSED DWELLING**
Address: **60 VETERANS ROW
WESTBURY TAS 7303**

Mob 0417 362 783 or 0417 545 813
jack@engineeringplus.com.au
trin@engineeringplus.com.au

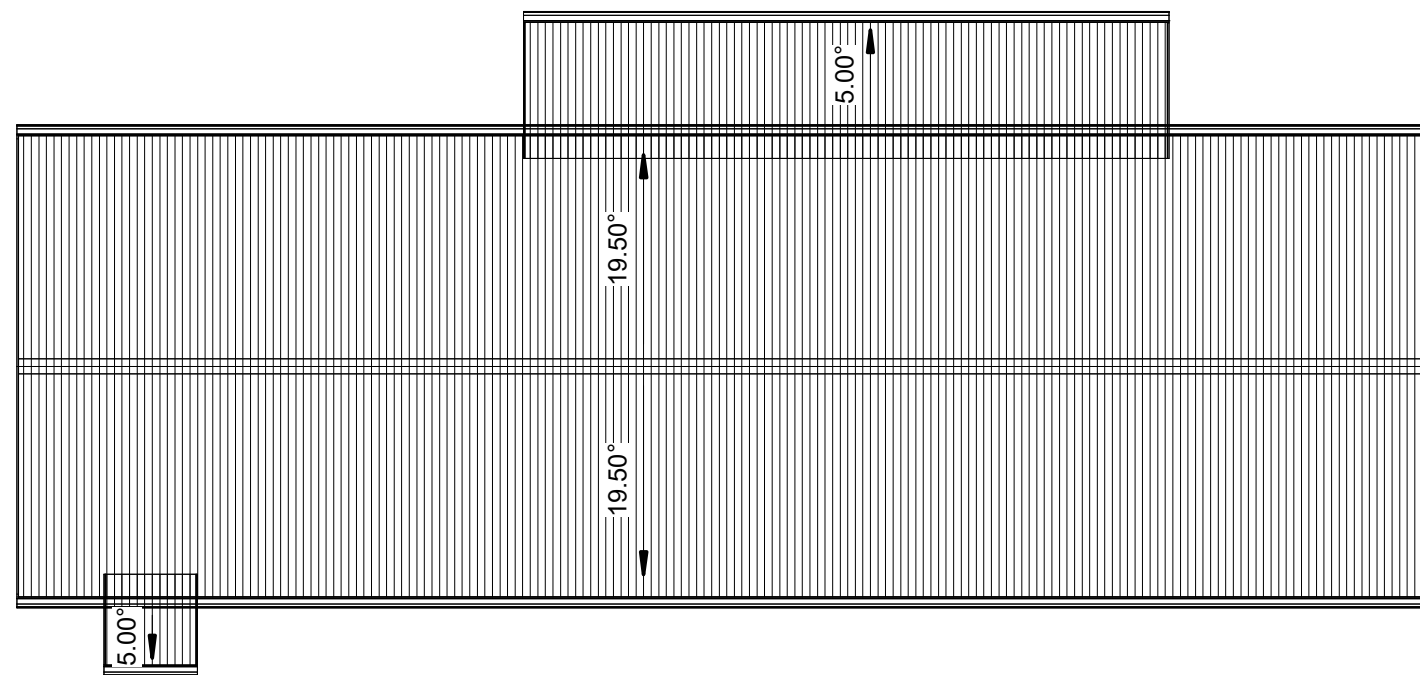


				Date Drawn: 05.09.25
				Drawn: W. Tan
				Checked: C. Lim
				Approved: J. Pfeiffer
				Scale: As Shown @ A3
D	MINOR AMENDMENT	28.10.25	K.Y.	
C	MINOR AMENDMENT	20.10.25	K.Y.	
B	MINOR AMENDMENT	10.10.25	W.T.	
A	ISSUED FOR APPROVAL	05.09.25	W.T.	
Rev:	Amendment:	Date:	Int:	Accredited Building Designer Designer Name: J. Pfeiffer Accreditation No: CC2211T

Drawing No: **2025-254** A06 / A09
Rev **D**



Tasbuilt Manufactured Homes & Cabins
P.O Box 274, Deloraine Tasmania 7304
Ph: 03 6393 1013



ROOF PLAN
SCALE 1 : 100

ROOF CLADDING. NCC PART 7.2 SHEET ROOFING

COLORBOND 'CUSTOM ORB' METAL SHEETING INSTALLED IN ACCORDANCE WITH THIS PART, AS I562.1 AND MANUFACTURERS RECOMMENDATIONS.

COLORBOND 'TRIMDEK' METAL SHEETING INSTALLED IN ACCORDANCE WITH THIS PART, AS I562.1 AND MANUFACTURERS RECOMMENDATIONS.

REFER TO LYSAGHT ROOFING & WALLING MANUAL FOR FULL DETAILS ON SHEET INSTALLATION, FIXINGS & FLASHINGS

COLORBOND 'CUSTOM ORB'

- MINIMUM PITCH 5 DEGREES.
- CORROSION PROTECTION IN ACCORDANCE WITH BCA TABLE 3.5.1.1.
- END LAP OF SHEETS 5-15 DEGREES - MINIMUM 200MM.

ABOVE 15 DEGREES - MINIMUM 150 MM.

- RIDGE LINE VALLEY TO BE TURNED UP (STOP ENDED).
- FASTENERS TO BE MADE OF COMPATIBLE MATERIAL WITH ROOFING MATERIAL.
- CREST FIXINGS OF END SPANS @ EVERY SECOND RIB AND INTERNAL SPANS @ EVERY THIRD RIB.
- WHERE POSSIBLE SHEETS TO BE LAID WITH SIDE LAPS FACING AWAY FROM PREVAILING WEATHER.
- REFLECTIVE FOIL INSULATION TO BE FITTED TO UNDERSIDE OF SHEETS.

R4.0 INSULATION BATTS TO ROOF SPACE ABOVE CEILING LINING.

RECOMMENDED FIXINGS FOR SEVERE EXPOSURE CONDITIONS TO AS 3566

USE CLASS 4 MATERIALS FOR SEVERE EXPOSURE & STAINLESS STEEL FOR VERY SEVERE COASTAL ENVIRONMENTS.

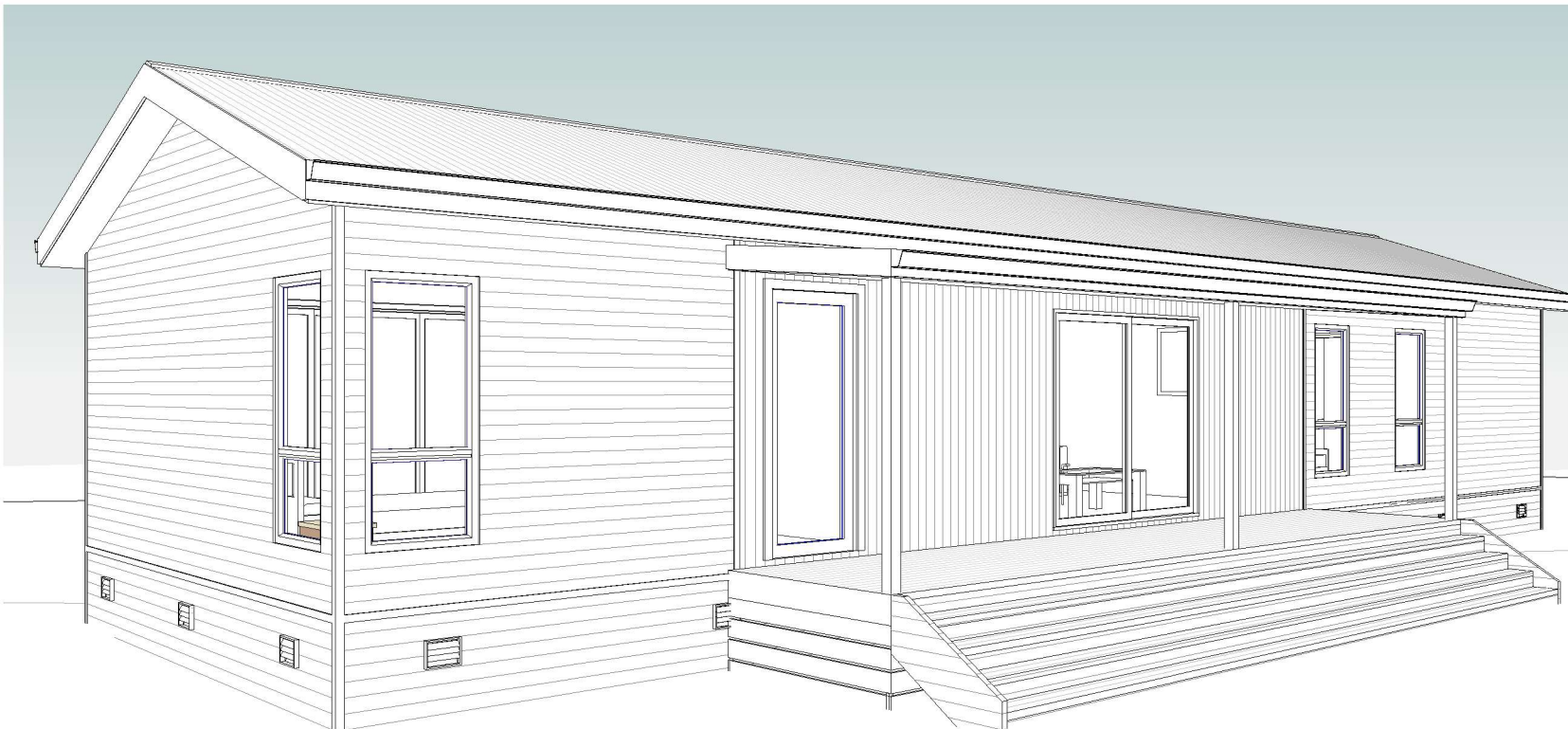
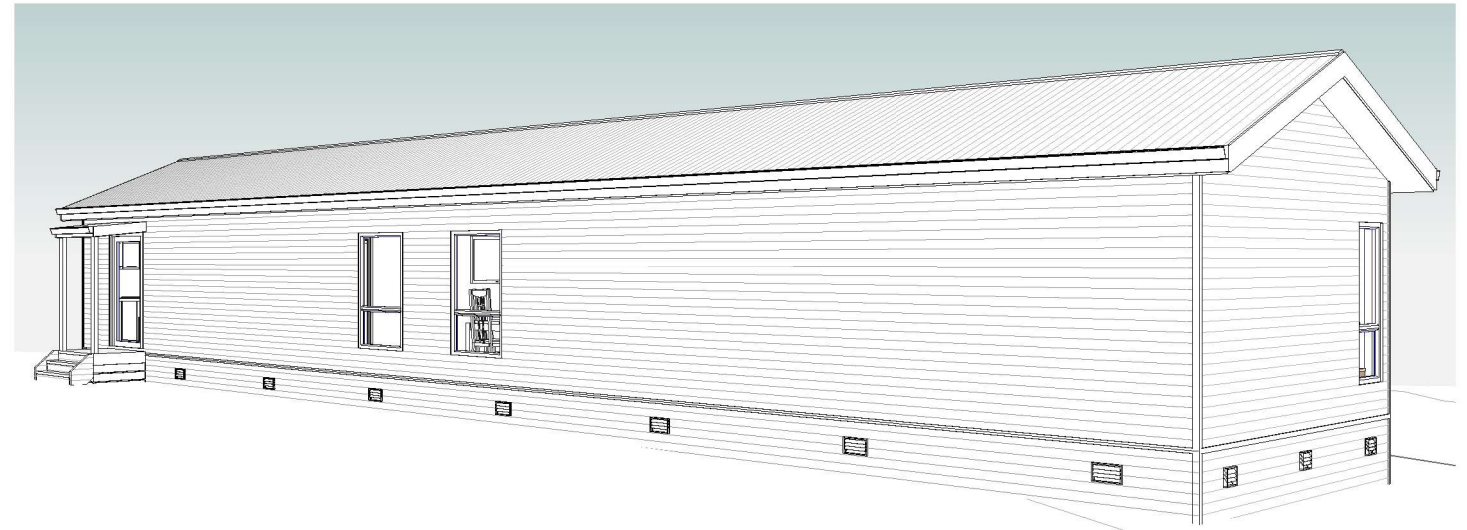
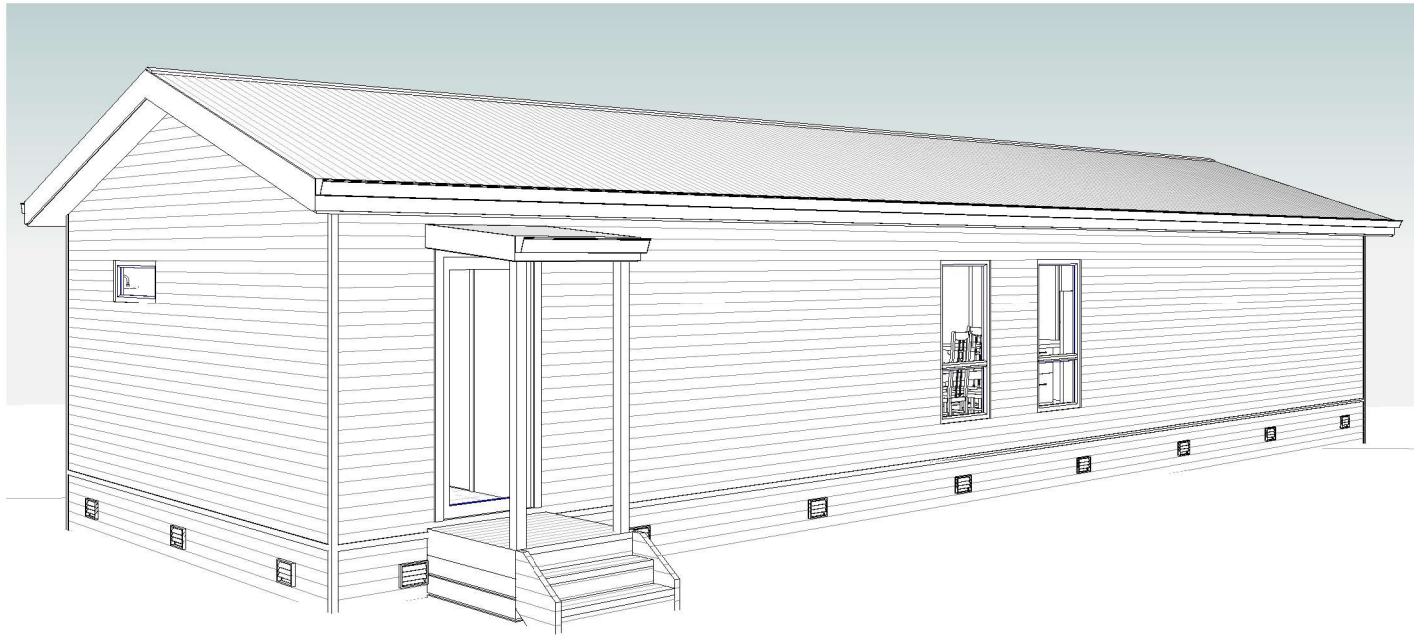
ISSUED FOR APPROVAL

Copyright ©

Client: M. & J. SPAULDING
Project: PROPOSED DWELLING
Address: 60 VETERANS ROW
WESTBURY TAS 7303

Mob 0417 362 783 or 0417 545 813
jack@engineeringplus.com.au
trin@engineeringplus.com.au

				Date Drawn: 05.09.25	Accredited Building Designer Designer Name: J.Pfeiffer Accreditation No: CC2211T	Drawing No: 2025-254 A07 / A09 Rev D
				Drawn: W. Tan		
				Checked: C. Lim		
				Approved: J. Pfeiffer		
				Scale: As Shown @ A3		
D	MINOR AMENDMENT	28.10.25	K.Y.			
C	MINOR AMENDMENT	20.10.25	K.Y.			
B	MINOR AMENDMENT	10.10.25	W.T.			
A	ISSUED FOR APPROVAL	05.09.25	W.T.			
Rev:	Amendment:	Date:	Int:			



ISSUED FOR APPROVAL

Copyright ©

Client: M. & J. SPAULDING
Project: PROPOSED DWELLING
Address: 60 VETERANS ROW
WESTBURY TAS 7303

Mob 0417 362 783 or 0417 545 813
jack@engineeringplus.com.au
trin@engineeringplus.com.au

				Date Drawn: 05.09.25
				Drawn: W. Tan
				Checked: C. Lim
				Approved: J. Pfeiffer
				Scale: As Shown @ A3
D	MINOR AMENDMENT	28.10.25	K.Y.	Accredited Building Designer Designer Name: J. Pfeiffer Accreditation No: CC2211T
C	MINOR AMENDMENT	20.10.25	K.Y.	
B	MINOR AMENDMENT	10.10.25	W.T.	
A	ISSUED FOR APPROVAL	05.09.25	W.T.	
Rev:	Amendment:	Date:	Int:	

Drawing No:
2025-254 A08 / A09

Rev
D



June 2025

PLANNING REPORT

**DEVELOPMENT OF A SINGLE DWELLING
AND OUTBUILDINGS**

56 Dexter Street WESTBURY



Prepared by
Woolcott Land Services Pty Ltd
ABN 63 677 435 924

© Woolcott Land Services Pty Ltd

The information contained in this document produced by Woolcott Land Services Pty Ltd is solely for the use of the Client for the purpose for which it has been commissioned and prepared and Woolcott Land Services Pty Ltd undertakes no duty to or accepts any responsibility to any third party who may rely upon this document.

All rights reserved pursuant to the Copyright Act 1968. No material may be copied or reproduced without prior authorisation.

Launceston

[Head office](#)

P 03 6332 3760
E enquiries@woolcott.au
A 10 Goodman Court Invermay
7250

St Helens

[East Coast office](#)

P 03 6376 1972
E admin@ecosurv.com.au
A 52 Cecilia Street St Helens
7216

www.woolcott.au

Job Number: L250817
Prepared by: Michelle Schleiger (michelle@woolcott.au)
(*BUrbRegEnvPlan*)
Town Planner

Rev.no	Description	Date
1	Review	
2	Draft	27 October 2015
3	Final	29 October 2015

References

Annexures

Annexure 1 Copy of Title plan and Folio text

Annexure 2 Proposal Plan

Contents

1.	Introduction	5
2.	Subject site and proposal	5
2.1	Site details	5
2.2	Proposal	6
2.3	Subject site	7
3.	Zoning and overlays	8
3.1	Zoning.....	8
3.2	Overlays	8
4.	Planning Scheme Assessment	9
4.1	Zone assessment	9
4.2	Code Assessment	14
5.	Conclusion	15

1. Introduction

This report has been prepared in support of a planning permit application under Section 57 of the *Land Use Planning and Approvals Act 1993*.

Proposed development
Building and works – development of a single dwelling and outbuilding (partial retrospective)

This application is to be read in conjunction with the following supporting documentation:

Document	Consultant
Proposal Plan	Engineering Plus / Tasbuilt Homes

2. Subject site and proposal

2.1 Site details

Address	56 Dexter Street, Westbury TAS 7303
Property ID	7012768
Title	188905/3
Easements	None
Land area	5233m ²
Planning Authority	Meander Valley Council
Planning Scheme	Tasmanian Planning Scheme – Meander Valley (Scheme)
Application status	Discretionary application
Existing Access	Single vehicle crossing from Veterans Row
Zone	Low Density Residential
General Overlay	Westbury Specific Area Plan
Overlays	Bushfire Prone Areas
Existing development	Outbuilding (Container with awnings and shed)(retrospective approval required)
Existing services and infrastructure	

Water	Serviced
Sewer	Not serviced
Stormwater	Public connection

2.2 Proposal

The proposal is for the development of a single dwelling and approval for one outbuilding (container) with two awnings.

The proposed dwelling will have 2 bedrooms, 1 bathroom, living area, kitchen and laundry and will include a decked area. The building has an area of 99m².

The outbuilding is built around a container that is dimensioned 6.06m (L) x 2.44m (W) and 2.59m (H).

The awing structures are lower in height than the container. The outbuilding will be connected to a stormwater tank that is 1.3m in height with a diameter of 2.6m. The outbuilding and water tank, as a cluster have a rear setback of 0.9m from the rear boundary.

The outbuilding is intended for residential use associated with the proposed dwelling.

The proposal includes connection for water and stormwater. Wastewater will be managed on site.

The site has an existing vehicle crossing. The existing driveway and parking are included to the plans.

2.3 Subject site

The site is a single lot of 5233m² with frontage of 69.7m, accessed from Veterans Row, which is a Council maintained unsealed road. The lot includes a 'handle' to allow water connection to Dexter Street over the title. The subject site is flat and even.



Figure 1 Aerial view of the subject site (Source: LIST)

3. Zoning and overlays

3.1 Zoning

The site is zoned Low Density Residential under the Scheme.

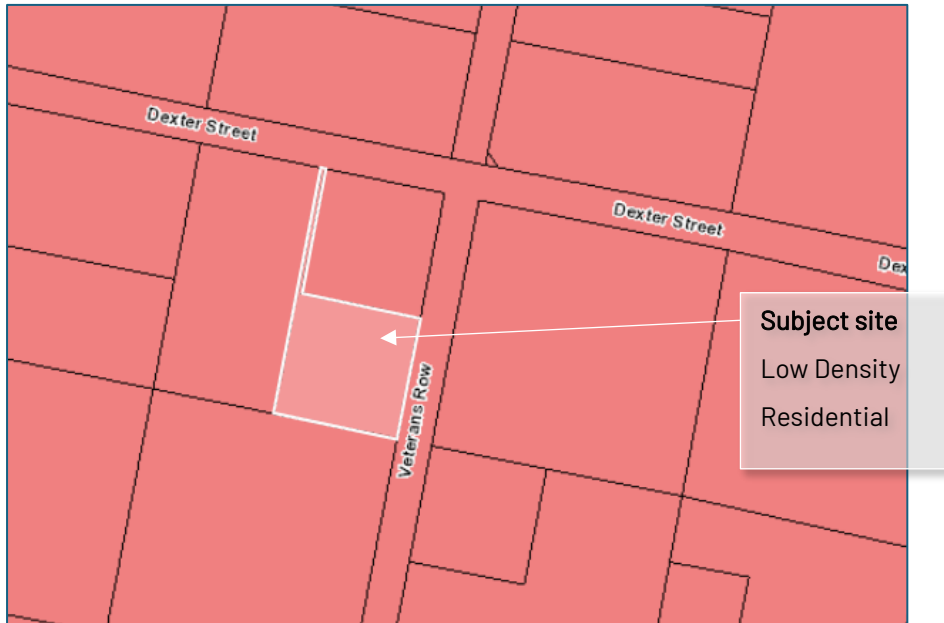


Figure 2 Zoning of the subject site and surrounding area (Source: LIST)

3.2 Overlays

The subject site is affected by the Bushfire Prone Areas overlay.

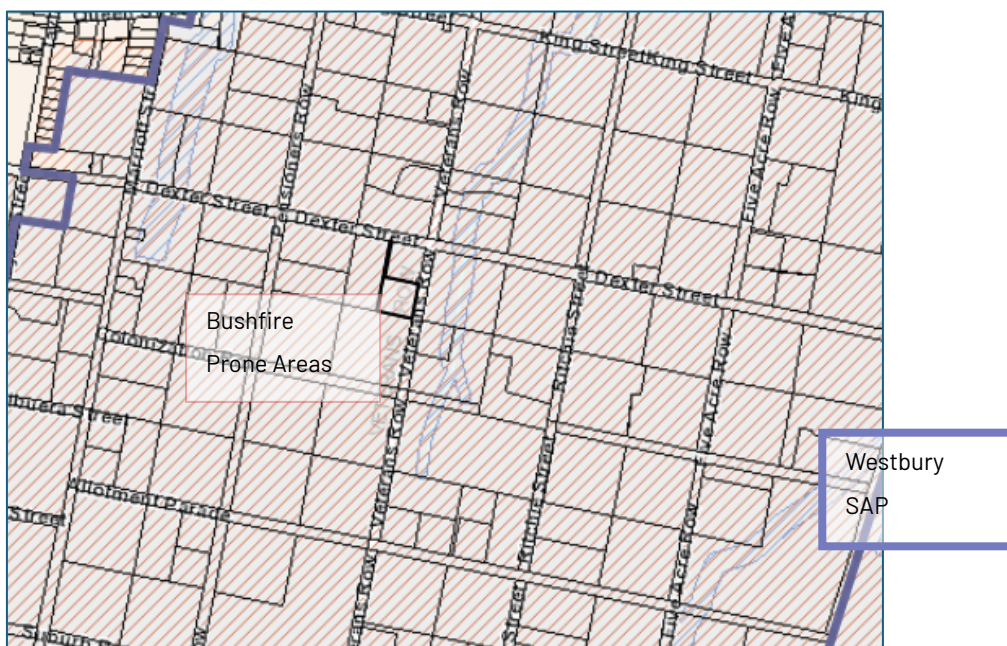


Figure 3 Overlays affecting the subject site (Source: LIST)

4. Planning Scheme Assessment

4.1 Zone assessment

MEA-S11.0 Westbury Specific Area Plan

MEA-S11.1 Plan Purpose

This clause is in substitution for Low Density Residential Zone - clause 10.2 Use Table.

MEA-S11.1.1	To provide for a subdivision density and the arrangement of future development in Westbury.
MEA-S11.1.2	To provide for additional lot yield without diminishing the historic, low density grid arrangement of lots and roads.
MEA-S11.1.3	To provide for subdivision that facilitates separation distances between dwellings, consistent with the existing dwelling separation character.
MEA-S11.1.4	To locate and design development to reinforce the low density character of the streetscape through building separation and minimizing, or mitigating, viewing opportunities from the road.
MEA-S11.1.5	To locate and design development to reinforce the low density residential character of the area through separation of buildings, and minimizing, or mitigating, viewing opportunities between habitable rooms and views of development from adjoining properties or recreational pathways.

Response

The proposed residential use and development is in accord with the purpose of the Plan.

MEA-S11.5 Use Table

This clause is in substitution for Low Density Residential Zone - clause 10.2 Use Table.

No Permit Required	
Residential	If for a single dwelling.

Response

The proposed Use is a *No Permit Required* Use.

MEA-S11.7 Development Standards for Buildings and Works

MEA-S11.7.1 Setback

Objective	
That the siting of development provides for setbacks between dwellings, and between dwellings and other buildings that is compatible with the greater separation distances that make up the low density character of the land within the Westbury Specific Area Plan.	
Acceptable Solutions	Performance Criteria
A1 Buildings must have a setback from a frontage of:	P1 The siting of a building must be compatible with the streetscape and character of

a) not less than 15m; or b) not less than existing buildings, excluding outbuildings, on the site.	development existing on established properties in the area, having regard to: a) the topography of the site; b) the setbacks of surrounding buildings; c) the height, bulk and form of existing and proposed buildings; d) the appearance when viewed from roads; e) mitigation of visual impacts through the retention of any vegetation; f) the ability to screen or offset view lines between dwellings; and g) (g) the safety of road users.
A2 Buildings must have a setback from side and rear boundaries: a) not less than 15m; or b) not less than existing buildings, excluding outbuildings, on the site.	P2 The siting of a building must provide for separation distances compatible with the low density character of development existing on established properties in the area, having regard to: a) the topography of the site; b) the setbacks of surrounding buildings; c) the height, bulk and form of existing and proposed buildings; d) impacts on sunlight to private open space and windows of habitable rooms on adjoining properties; e) the appearance when viewed from roads or recreational pathways; f) the ability to screen or offset view lines between dwellings for privacy or visual impacts; and g) mitigation of visual impacts through the retention of any vegetation.

Response

A1 The acceptable solution is achieved.

P2 The performance criteria apply. The proposed container (outbuilding) has a reduced setback to the rear boundary.

- a. The site is flat and has no particular bearing on the setback.
- b. There are very few surrounding buildings to compare to; the subject site appears to be on land recently subdivided.
- c. The proposal includes a single dwelling that will be together with the proposed outbuilding on the lot. The overall size of outbuilding is reasonable in a rural residential environment.
- d. The outbuilding is located to have distance to the dwelling at 56 Dexter Street, and a potential dwelling at the northern adjoining vacant lot.
- e. The view from the road will be as typical for a rural residential environment. The shed is set towards the rear boundary from the road and the dwelling will be the prominent built form.
- f. The outbuilding is not anticipated to create privacy issues.
- g. No additional vegetation is proposed in regard to the reduced setback.



Figure 5 Outbuilding – container with two awnings. Fenced pen/yard is visible to the left of outbuilding.



Figure 4 Detail of outbuilding structure

10.0 Low Density Residential Zone

10.1 Zone Purpose

- | | |
|--------|---|
| 10.1.1 | To provide for residential use and development in residential areas where there are infrastructure or environmental constraints that limit the density, location or form of development |
| 10.1.2 | To provide for non-residential use that does not cause an unreasonable loss of amenity, through |

scale, intensity, noise, traffic generation and movement, or other off site impacts.

10.1.3 To provide for Visitor Accommodation that is compatible with residential character.

Response

The proposed residential use and development is in accord with the purpose of the zone.

10.4 Development Standards for Dwellings

10.4.2 Building height

Objective	
That the height of dwellings is compatible with the streetscape and do not cause an unreasonable loss of amenity for adjoining properties.	
Acceptable Solutions	Performance Criteria
A1 A dwelling must have a building height not more than 8.5m.	P1 The height of dwellings must be compatible with the streetscape and not cause an unreasonable loss of amenity to adjoining properties having regard to: a) the topography of the site; b) the height of buildings on the site and adjacent properties; c) the bulk and form of existing and proposed buildings; d) sunlight to habitable rooms and private open space of dwellings; and e) any overshadowing of adjoining properties.

Response

A1 The acceptable solution is achieved.

10.4.3 Setback

Objective	
That the siting of dwellings is compatible with the streetscape and does not cause an unreasonable loss of amenity for adjoining properties.	
Acceptable Solutions	Performance Criteria
A1 Dwellings, excluding protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage not less than 8m	P1 The siting of a dwelling must be compatible with the streetscape and character of development existing on established properties in the area, having regard to: a) the topography of the site; b) the setbacks of surrounding buildings; c) the height, bulk and form of existing and proposed buildings;

	d) the appearance when viewed from roads and public open space adjacent to the site; and e) (e) the safety of road users.
--	---

Response

Replaced by MEA-S11.7.1 Setback.

A2 Dwellings, excluding outbuildings with a building height of not more than 2.4m and protrusions that extend not more than 0.9m horizontally from the building, must have a setback from side and rear boundaries of not less than 5m.	P2 The siting of a dwelling must not cause an unreasonable loss of amenity to adjoining properties, having regard to: a) the topography of the site; b) the size, shape and orientation of the site; c) the setbacks of surrounding buildings; d) the height, bulk and form of existing and proposed buildings; e) the existing buildings and private open space areas on the site; f) sunlight to private open space and windows of habitable rooms on adjoining properties; and g) the character of development existing on established properties in the area.
--	---

Response

Replaced by MEA-S11.7.1 Setback.

10.4.4 Site coverage

Objective	
That site coverage: a) is consistent with the character of existing development in the area; b) provides sufficient area for private open space and landscaping; and c) assists with the management of stormwater runoff.	
Acceptable Solutions	Performance Criteria
A1 Dwellings must have a site coverage of not more than 30%.	P1 The site coverage of dwellings must be consistent with that existing on established properties in the area, having regard to: a) the topography of the site; b) the capacity of the site to absorb runoff; c) the size and shape of the site; d) the existing buildings and any constraints imposed by existing development; e) the provision for landscaping and private

	open space; f) the need to remove vegetation; and g) the site coverage of adjacent properties
--	---

Response

A1 The acceptable solution is achieved.

10.4.5 Frontage fences for all dwellings

Objective	
The height and transparency of frontage fences: a. provides adequate privacy and security for residents; b. allows the potential for mutual passive surveillance between the road and the dwelling; and c. is reasonably consistent with that on adjoining properties.	
Acceptable Solutions	Performance Criteria
A1 No Acceptable Solution.	P1 A fence (including a free-standing wall) for a dwelling within 4.5m of a frontage must: a) provide for security and privacy, while allowing for passive surveillance of the road; and b) be consistent with the height and transparency of fences in the street, having regard to: i. the topography of the site; and ii. traffic volumes on the adjoining road.

Response

No front fences are included in this proposal.

4.2 Code Assessment

C2.0 Parking and Sustainable Transport Code

C2.5 Use Standards

Response

A1 The acceptable solution is achieved. There are two spaces provided for on the site which meets the requirement under Table C2.1.

C2.6 Development standards for buildings and works

C2.6.1 Construction of parking areas

Response

Please refer to plans supplied.

C2.6.2 Design and layout of parking areas

Response

Please refer to plans supplied.

C2.6.3 Number of accesses for vehicles

Response

A1 The site has an existing single access point.

5. Conclusion

This application is for a single dwelling. The proposed is in accord with the provisions of the Scheme and a planning permit is sought from Council.