

PLANNING NOTICE

An application has been received for a Permit under s.57 of the Land Use Planning Approvals Act 1993:

APPLICANT:	CSH Property Developments - PA\26\0086
PROPERTY ADDRESS:	32C Liffey Street CARRICK (CT: 183088/2)
DEVELOPMENT:	Multiple dwellings (3 units) - setbacks, privacy, frontage fence, parking areas, attenuation.

The application can be inspected until **Monday, 1 December 2025**, at www.meander.tas.gov.au or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

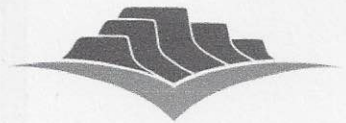
Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to planning@mvc.tas.gov.au. Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Dated at Westbury on 15 November 2025.

Jonathan Harmey
GENERAL MANAGER

APPLICATION FORM



Meander Valley Council
Working Together

PLANNING PERMIT

Land Use Planning and Approvals Act 1993

- Application form & details MUST be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

OFFICE USE ONLY

Property No:

Assessment No:

DA\

PA\

PC\

- Is your application the result of an illegal building work?
- Have you already received a Planning Review for this proposal?
- Is a new vehicle access or crossover required?

- ☐ Yes ☒ No
- ☐ Yes ☒ No
- ☐ Yes ☒ No

Indicate by ✓ box

PROPERTY DETAILS:

Address:

32c Liffey St

Certificate of Title:

183088

Suburb:

Carriick

Tas

Lot No:

2

Land area:

1126 m²

m² / ha

Present use of
land/building:

Vacant land

(vacant, residential, rural, industrial,
commercial or forestry)

- Does the application involve Crown Land or Private access via a Crown Access Licence: ☐ Yes ☒ No
- Heritage Listed Property: ☐ Yes ☒ No

DETAILS OF USE OR DEVELOPMENT:

Indicate by ✓ box

☒ Building work

☐ Change of use

☐ Subdivision

☐ Demolition

☐ Forestry

☐ Other

Total cost of development
(inclusive of GST):

\$650,000

Includes total cost of building work, landscaping, road works and infrastructure

Description
of work:

Construction of 3 residential unit dwellings

Use of
building:

Residential

(main use of proposed building – dwelling, garage, farm building,
factory, office, shop)

New floor area:

429.24

m²

New building height:

3.2 m

approx

Materials:

External walls:

Bricks

Colour:

Cream

Roof cladding:

colorbond

Colour:

Wallaby

SEARCH OF TORRENS TITLE

VOLUME 183088	FOLIO 2
EDITION 1	DATE OF ISSUE 18-May-2022

SEARCH DATE : 11-Nov-2025

SEARCH TIME : 12.23 PM

DESCRIPTION OF LAND

Town of CARRICK

Lot 2 on Sealed Plan [183088](#)

Derivation : Part of Lot 29, 2568 Acres Gtd. to Thomas Reibey

Prior CT [12126/1](#)SCHEDULE 1

[M535857](#) TRANSFER to CHRISTOPHER ALAN VINEY and JANICE
MARGUERITE VINEY Registered 31-Aug-2016 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP[183088](#) FENCING COVENANT in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER : CHRISTOPHER ALAN VINEY & JANICE MARGUERITE VINEY FOLIO REFERENCE : F.R. 12126/1 <i>2568 ACRES,</i> GRANTEE : PART OF LOT 29¹ Gtd TO THOMAS REIBY & PART OF 300 ACRES Ltd TO THOMAS REIBY	PLAN OF SURVEY BY SURVEYOR: M.R. HEATLEY of PDA Surveyors WALTER SURVEYS Surveying, Engineering & Planning 3/23 BRISBANE STREET, LAUNCESTON LOCATION: TOWN OF CARRICK SCALE 1: 400	REGISTERED NUMBER SP183088 APPROVED EFFECTIVE FROM <u>18 MAY 2021</u> <i>[Signature]</i> Recorder of Titles
<i>PRIORITY FINAL PLAN</i>		SURVEYORS REF: 46671MR ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

LOT 4 COMPILED FROM FR 12126/1 AND THIS SURVEY

LIFFEY STREET

(P 150110)

<i>[Signature]</i> Registered Land Surveyor <i>21/03/2022</i> Date	J. Jordan GENERAL MANAGER <i>[Signature]</i> Council Delegate <i>13.5.2022</i> Date
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SCHEDULE OF EASEMENTS NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	Registered Number SP 183088
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PAGE 1 OF 1 PAGE/S

EASEMENTS AND PROFITS

a) Each lot on the plan is together with:

- 1) Such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- 2) any easements or profits a prendre described hereunder.

b) Each lot on the plan is subject to:

- 3) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- 4) any easements or profits a prendre described hereunder.

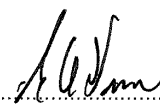
The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

COVENANTS FENCING COVENANT

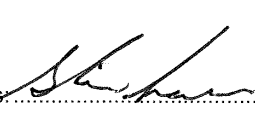
The Owner of each Lot on the Plan covenants with the Vendors that the Vendors shall not be required to fence.

There are no easements, covenants or profits a prendre intended to benefit or burden the said land.

SIGNED by **CHRISTOPHER ALAN VINEY AND JANICE MARGUERITE VINEY** as registered proprietors of Certificate of Title Volume 12126 Folio 1 in the presence of:


.....
Christopher Alan Viney


.....
Janice Marguerite Viney

Signature of Witness: Full Name of Witness: STEVEN DENIS LAWESAddress of Witness: 1520 ILLAWARRA ROAD LONGFORD 7301

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: CHRISTOPHER ALAN VINEY & JANICE MARGUERITE VINEY	PLAN SEALED BY: <u>Meander Valley Council</u>
FOLIO REF: VOLUME 12126 FOLIO 1	DATE: <u>13 May 2022</u>
SOLICITOR BISHOPS (Fenton Jones)	<u>J. Jordan</u>
& REFERENCE: FHJ:220272	<u>GENERAL MANAGER</u>
	Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

p220272_001.docx

Proposed Units
32c Liffey Street,
Carrick, TAS 7291

Client :
CSH Enterprises P/L

Building Areas		
Name	Area	Building Squares
Unit # 1	145.07 m²	15.60
Unit # 2	147.57 m²	15.87
Unit # 3	118.03 m²	12.69
	410.67 m²	44.16

Site areas	
Name	Area
Site	1125.69 m²

Other Areas	
Name	Area
Unit 1 POS	97.44 m²
Unit 2 POS	73.85 m²
Unit 3 POS	103.39 m²
Driveway/ Carparking Area	357.21 m²
Total Paving (3 Units)	52.47 m²

Project Details		
Council		Meander Valley Council
Zone		8.0 General Residential
Planning Overlay		N/A
PID		9328244
Title Folio		02
Title Volume		183088
Climate Zone		7
WIND SPEED		TBC
SOIL CLASS		TBC
STAR RATING		TBC
BAL Rating		TBC
Corrosive Environment		N/A

Drawing List	
Sheet #	Sheet Name
1	Cover Page
2	Govt Infrastructure Details
3	Swept Path Plan
4	Site Plan
5	Plant Schedule
6	Site Drainage Plan
7	Unit # 1 Floor Plan
8	Unit # 2 Floor Plan
9	Unit #3 Floor Plan
10	Elevations (sheet 1)
11	Elevations (sheet 2)
12	Elevations (Sheet 3)
13	3D Views
14	Sun Shade Diagrams (Sheet 1)
15	Sun Shade Diagrams (Sheet 2)
16	Roof Plan (Unit # 2)

Planning amend

Project No.
040925

Drawing No.
1 /15

NOTES:
-REFER TO LAST PAGES IN THE ARCHITECTURAL DRAWING SET FOR GENERAL NOTES.



Job # 51263304 Seq # 261648448

Provided by: TasWater

Date Generated: 24/09/25 (valid for 30 days)



Legend

- BYDA Enquiry
- Fire Hydrant
- Water Property Connection
- Water Main
- Water Main Critical
- Sewer Maintenance Hole
- Sewer Property Connection
- Sewer Pressurised Main Critical
- Sewer Gravity Main Critical
- Sewer Gravity Main
- Stormwater Maintenance Hole
- Stormwater Property Connection
- Stormwater Gravity Main
- Recycled Water Property Connection
- Recycled Water Main
- Abandoned Line Sewer
- Abandoned Line Water
- Electrical Cable
- Old Town Gas

In an emergency contact

TasWater
Phone: 13 6992

N

Scale 1:1,000

0 10 20 40 m

Disclaimer: The plan is provided in response to a Before You Dig request. While all reasonable care has been taken to ensure the accuracy of the information on this plan, its purpose is to provide a general indication of the location of TasWater infrastructure. The information provided may contain errors or omissions and the accuracy may not suit all users. A site inspection and investigation is recommended before commencement of any project based on this data.

TasWater Plan v4.1 (24/09/2019) Plans generated by SmarterWX™ Automate

Please note most property connections are representative only. The actual location of the property connection may be significantly different to what is shown on this map.

D:\Revit 2025\CSH liffey\CSH liffey new layout.rvt



NOTES:
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Swept Path Plan

1 : 250

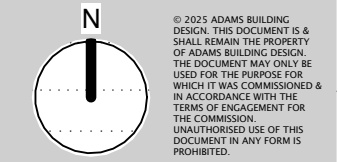


Planning amend A3

170 Abbott Street
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M : 0411 294 351
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www.adamsbuildingdesign.com.au
ABN 71 048 418 121
acc. # CC886J

7	06.11.25	Planning Amend
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2	22.09.25	Concept # 2
1	19.09.25	Concept # 1

No.	Date	Description
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Project :
Proposed Units
32c Liffey Street,
Carrick, TAS 7291

Client :
CSH Enterprises P/L

Drawing Title :
Swept Path Plan

Scale : 1 : 250

Starting Date : 19.09.25

Plot Date : 6/11/2025
8:09:47 AM

Project No. **040925**
Drawing No. **3 /15**

NOTES:
-REFER TO LAST PAGES IN THE ARCHITECTURAL DRAWING SET FOR GENERAL NOTES.

ONSITE BELOW GROUND STORMWATER DETENTION TANK A DETENTION TANK OF ABOUT 6,000 L EFFECTIVE VOLUME, FITTED WITH A RESTRICTED OUTLET SIZED TO LIMIT DISCHARGE TO ≈10 L/S (THE PRE-DEVELOPMENT FLOW) AND PROVIDED WITH AN OVERFLOW TO THE STORMWATER MAIN IN ACCORDANCE WITH AS/NZS 3500.3:2021 §7.10. THIS ENSURES POST-DEVELOPMENT RUNOFF FROM THE THREE UNITS AND DRIVEWAY IS DETAINED AND RELEASED AT A RATE THE EXISTING DN225 MAIN CAN ACCEPT. (REFER HYDRAULIC ENGINEERS DESIGN AT BA STAGE)



Building Areas

Name	Area	Building Squares
Unit # 1	145.07 m ²	15.60
Unit # 2	147.57 m ²	15.87
Unit # 3	118.03 m ²	12.69
	410.67 m ²	44.16

Other Areas

Name	Area
Unit 1 POS	97.44 m ²
Unit 2 POS	73.85 m ²
Unit 3 POS	103.39 m ²
Driveway/ Carparking Area	357.21 m ²
Total Paving (3 Units)	52.47 m ²



Planning amend A3

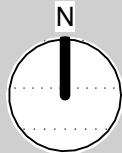
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No. Date Description



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Project :

Proposed Units
32c Liffey Street,
Carrick, TAS 7291

Client :

CSH Enterprises P/L

Drawing Title :

Site Plan

Scale : 1 : 250

Starting Date : 19.09.25

Plot Date : 6/11/2025
8:09:49 AM

Project No.

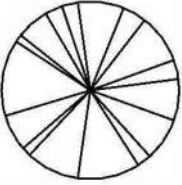
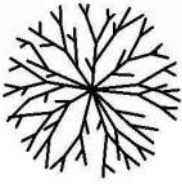
040925

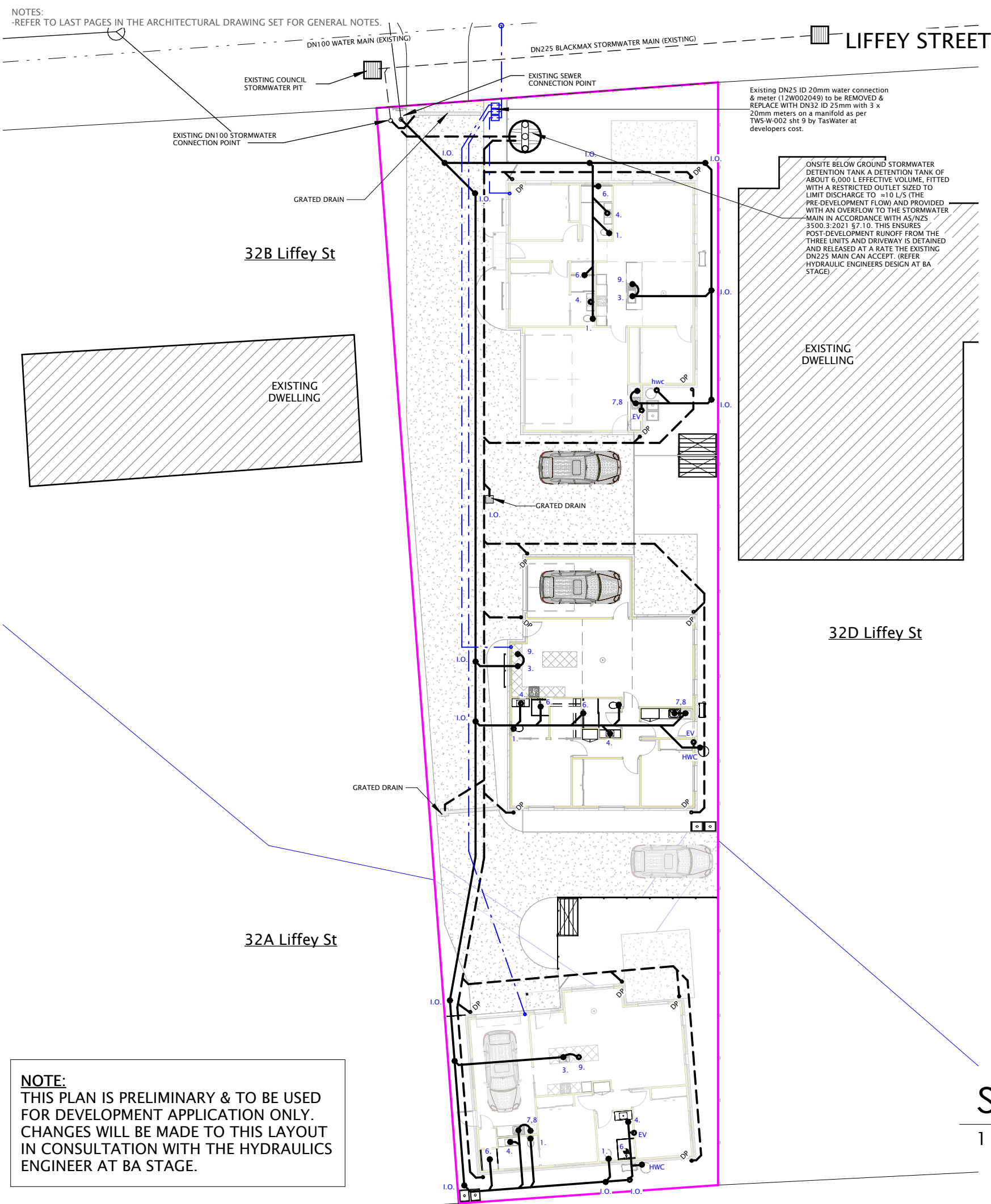
Drawing No.

4 /15

Site Plan

1 : 250

PLANT SCHEDULE			
TREE	-SILVER BIRCH (betula pendula) - mature height approx 10m	-JAPANESE MAPLE (Acer Palmatum) - mature height approx 3-4 m	-ORNAMENTAL PEAR (pyrus calleryana) - mature height approx 7 m
			
SHRUB	-PITTOSPORUM (tenuifolium 'tom thumb') mature height approx 5m.	-MEXICAN ORANGE BLOSSOM (choisya ternata) - mature height approx 2.0m	-LIMELIGHT(Acacia Cognata) - mature height approx 1.0M
			
GROUND COVER	-LIMETUFF (Lomandra Confertifolia) mature height approx 0.9m	-SEDGE (carex species) mature height approx 1.0m	-LUTCHUENSIS JUNIPER(Juniperus Taxifloia) mature height approx 0.3m
			



PLUMBING NOTES

- All plumbing work to comply with AS 3500 parts 1,2,3 & 4, and the Local Council plumbing regulations.
- Hot water from the HWC is to be tempered to 50°C.
- Hot & cold reticulation lines to be DN20 with DN15 branches to individual fixtures.
- Drain all surface water away from footings in accordance with NCC PART 3.3.3 Surface Drainage.
- The building Contractor must locate the connection points to the mains to verify that their positions & depths are as shown on the endorsed plans. Such verification must be completed as the first task of the building works.
- Installation of ORG is to comply with AS3500 part 2 clauses 4.6.6.6 (minimum height below lowest fixture = 150mm) & 4.6.6.7 (Minimum height above surrounding ground finished surface level = 75mm)
- New Sewer = DN100 pvc @ 1:60 falls min.
- New Stormwater = DN100 pvc @ 1:100 falls min.(UNLESS NOTED OTHERWISE)
- Grated drains to be installed via a gas sealed pit.
- STANDARD DRAIN SIZES
TROUGH: DN50
SINK: DN50
WC: DN100
STORMWATER: DN100
- WATER PIPE SIZES
COLD WATER: DN 20 WITH DN16 BRANCHES
HOT WATER: DN 20 WITH DN 16 BRANCHES
- HOT WATER INSTALLATION SHALL DELIVER HOT WATER TO ALL SANITARY FIXTURES AT THE FOLLOWING TEMPERATURES:
BATH BASIN & SHOWER: 50deg C
KITCHEN SINK & LAUNDRY: 60deg C
- ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA WSA 03 -2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02—2014-3.1 MRWA VERSION AND TASWATER'S SUPPLEMENTS TO THESE CODES.

PLUMBING LEGEND

- — — EXISTING STORMWATER
- — — EXISTING SEWER
- - - EXISTING WATER
- — — NEW STORMWATER
- NEW DOWNPIPE S/W
- — — NEW SEWER
- - - NEW WATER
- - - NEW AG DRAIN

PLUMBING LEGEND

- 1. WC
- 2. URINAL
- 3. KITCHEN SINK
- 4. BASIN / VANITY
- 5. BATH
- 6. SHOWER
- 7. WASH TROUGH
- 8. WASHING MACHINE
- 9. DISHWASHER
- I.O. - INSPECTION OUTLET
- ORG - OVERFLOW RELEIF GULLY
- DP - DOWNPIPE
- EV - DN50 VENT TO AIR
- M - WATER METER

TASWATER NOTES:

All works are to be in accordance with the Water Supply Code of Australia WSA 03 -2011-3.1 Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02—2014-3.1 MRWA Version 2 / WSA 02 -2002 Version 2.3 MRWA Edition 1.0 and TasWater's supplements to these codes

PLUMBING NOTES

REACTIVE SITES - where they penetrate through external footings, stormwater, sewer, Drain waste, & vent pipes are to be lagged & flexible connections are to be provided adjacent to the footings prior to connection to the drainage to comply with AS2870-1996 Section 5.5. Additional requirements for class H & E sites.

Site/ Drainage Plan

1 : 250

Planning amend A3

170 Abbott Street
Launceston, Newstead,
TAS 7250.

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www.adamsbuildingdesign.com.au

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Proposed Units
32c Liffey Street,
Carrick, TAS 7291

Client :

CSH Enterprises P/L

Drawing Title :

Site Drainage Plan

Scale : 1 : 250

Starting Date : 19.09.25

Plot Date : 11/11/2025
12:11:58 PM

Project No.

040925

Drawing No.

6 /15

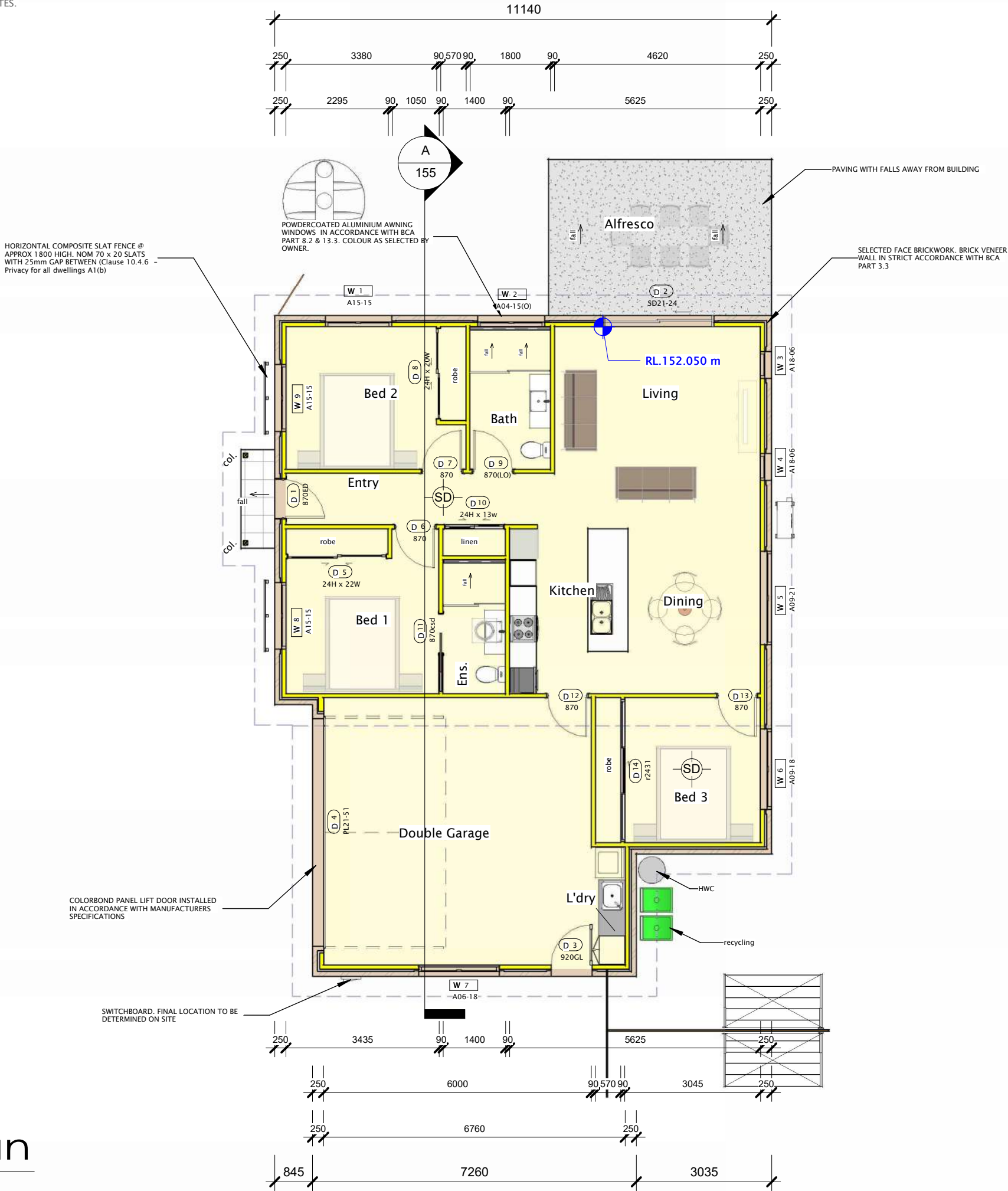
NOTES:
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Unit # 1 Floor Plan

1 : 100

(SD) - HARDWIRED SMOKE DETECTORS IN ACCORDANCE WITH NCC Vol 2. Part 9.5 & AS 3786. (LINKED)

D:\Revit 2025\CSH Liffey\CSH Liffey new layout.rvt
Document Set ID: 2244494
Version: 1, Version Date: 06/11/2025

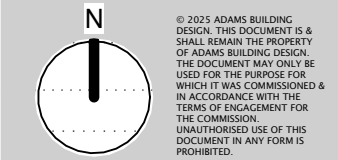


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Proposed Units
32c Liffey Street,
Carrick, TAS 7291

Client :
CSH Enterprises P/L

Drawing Title :
Unit # 1 Floor Plan

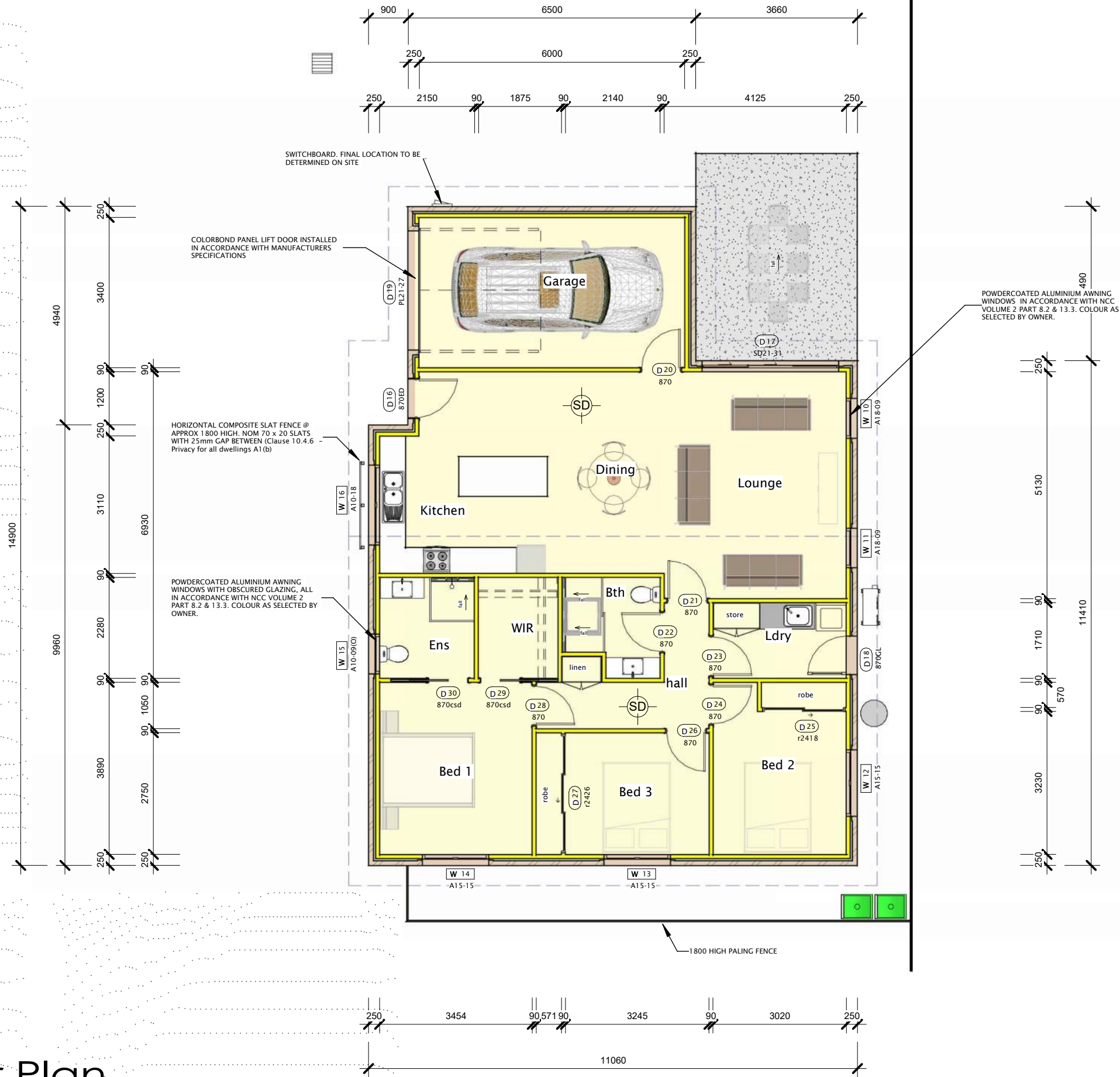
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Starting Date : 19.09.25

Plot Date : 6/11/2025
8:09:51 AM

Project No. Drawing No.
040925 7 /15

NOTES:
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Unit # 2 Floor Plan

1 : 100

SD - HARDWIRED SMOKE DETECTORS IN ACCORDANCE WITH NCC Vol 2. Part 9.5 & AS 3786. (LINKED)

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Document Set ID: 2244494

Version: 1, Version Date: 06/11/2025



Planning amend A3

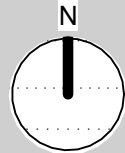
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32c Liffey Street,
Carrick, TAS 7291

Client :

CSH Enterprises P/L

Drawing Title :

Unit # 2 Floor Plan

Scale : 1 : 100

Starting Date : 19.09.25

Plot Date : 6/11/2025
8:09:52 AM

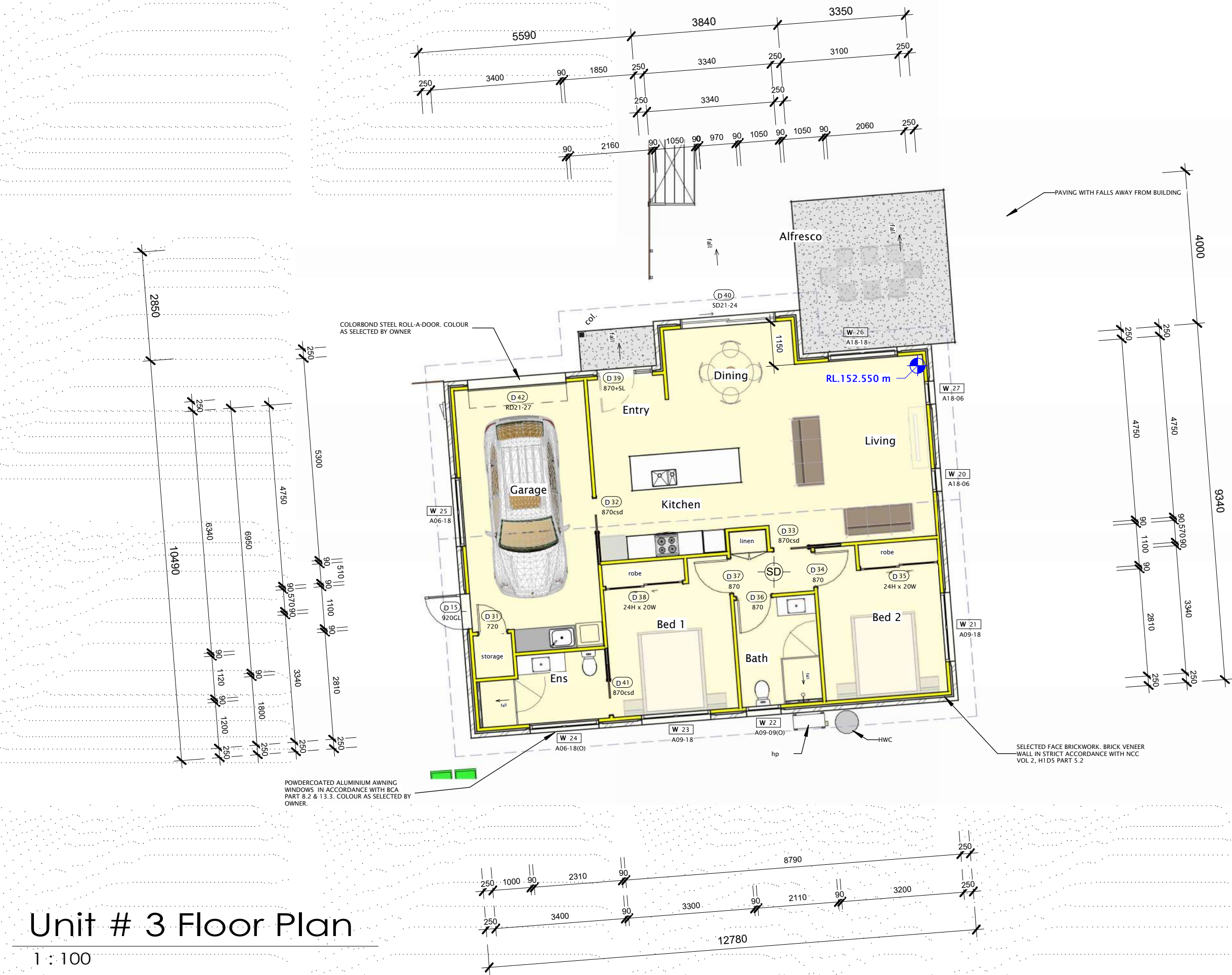
Project No.

040925

Drawing No.

8 /15

NOTES:
REFER TO LAST PAGES IN THE ARCHITECTURAL DRAWING SET FOR GENERAL NOTES.



Unit # 3 Floor Plan

1 : 100

(SD) - HARDWIRED SMOKE DETECTORS IN ACCORDANCE WITH NCC Vol 2. Part 9.5 & AS 3786. (LINKED)

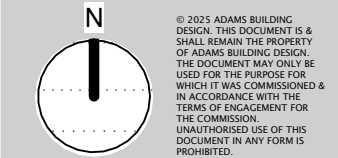


Planning amend A3

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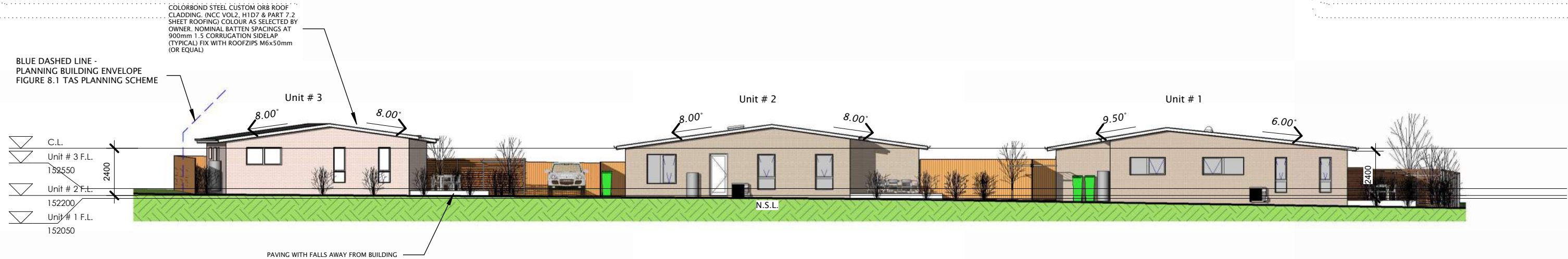
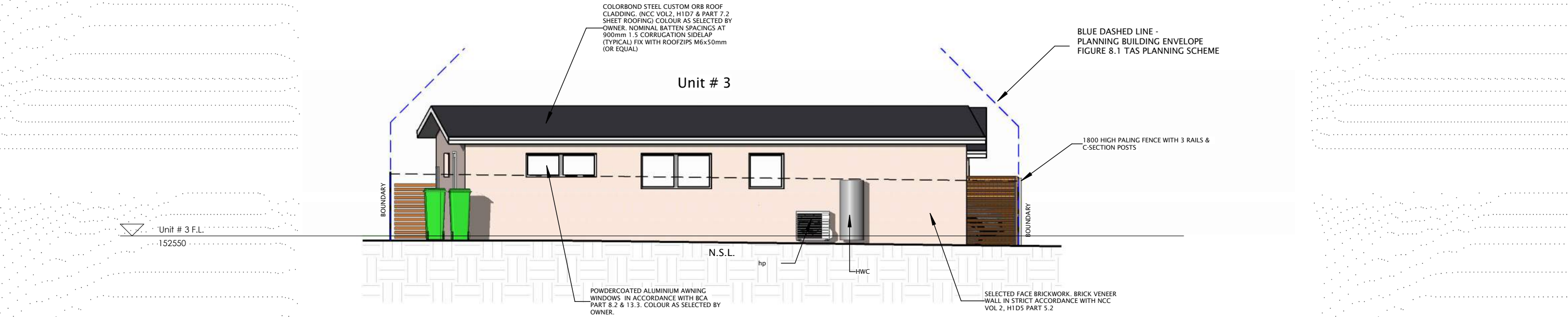
Drawing Title :
Unit #3 Floor Plan

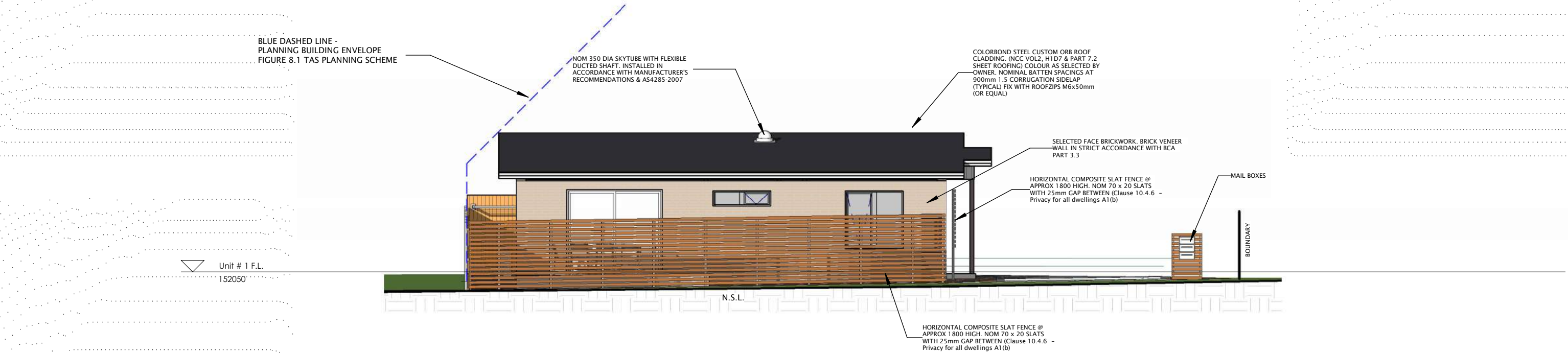
Scale : 1 : 100

Starting Date : 19.09.25

Plot Date : 6/11/2025
8:09:53 AM

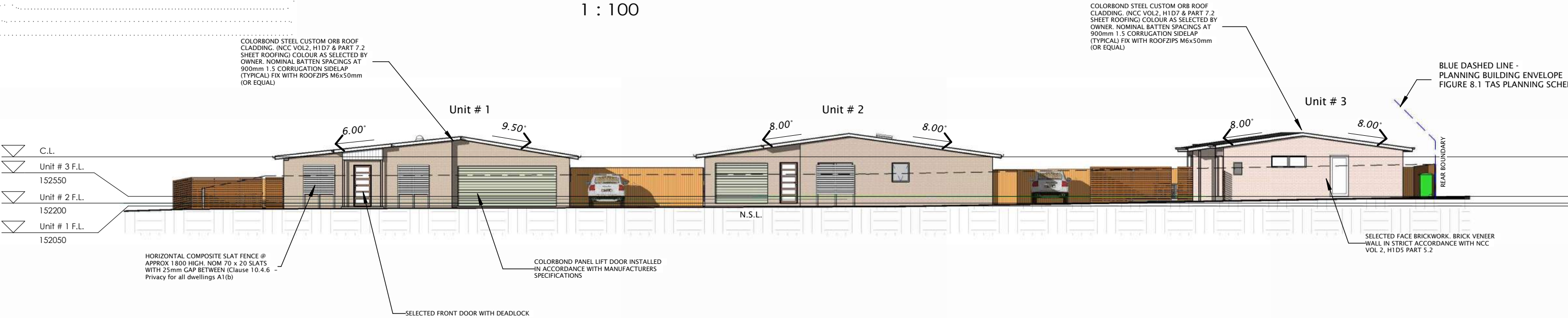
Project No. 040925
Drawing No. 9 /15





North Elevation

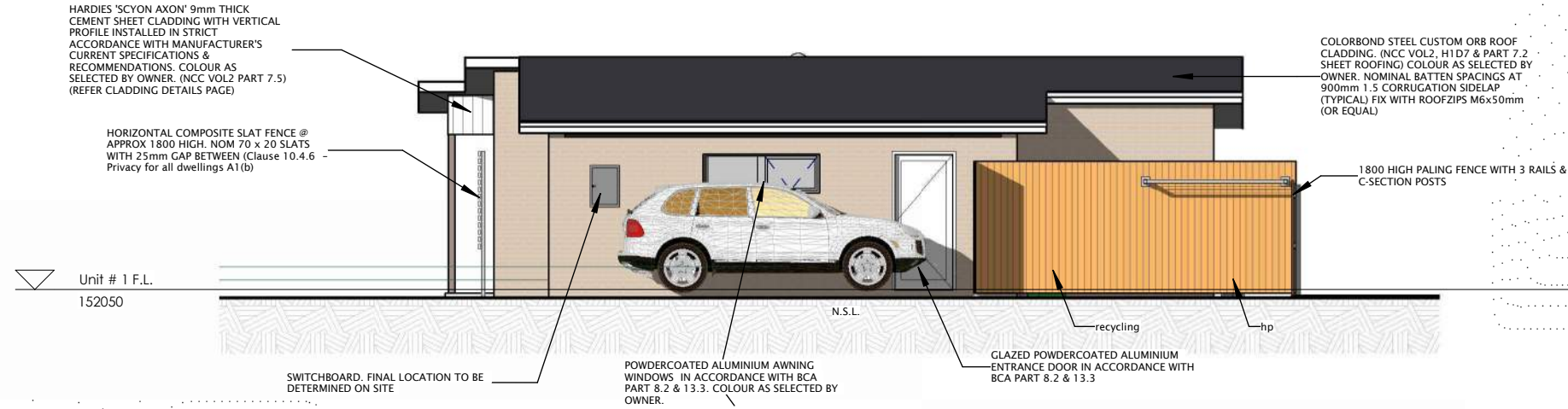
1 : 100



West Elevation

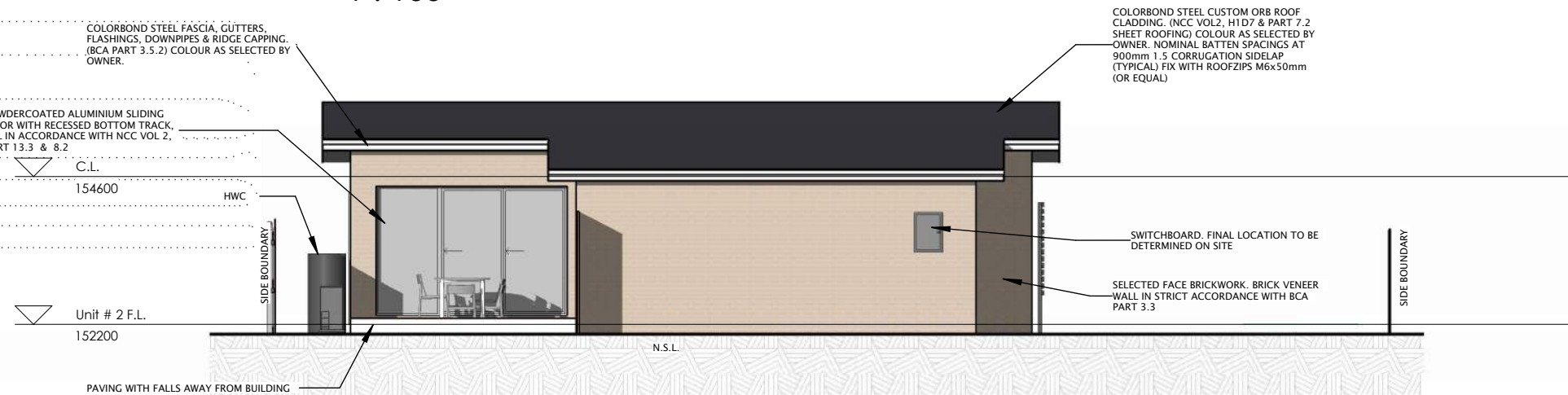
1 : 200

NOTES:
-REFER TO LAST PAGES IN THE ARCHITECTURAL DRAWING SET FOR GENERAL NOTES.



Unit 1 South Elevation

1 : 100



Unit # 2 North Elevation

1 : 100



Unit 3 North Elevation

1 : 100

Planning amend A3

170 Abbott Street
Launceston, Newstead,
TAS 7250.

M : 0411 294 351
E : leigh@abd.com.au
www.adamsbuildingdesign.com.au

ABN 71 048 418 121
acc. # CC886J

7	06.11.25	Planning Amend
6	23.10.25	Planning 2
5	24.09.25	Concept # 5
4	24.09.25	Concept # 4
3	23.09.25	Concept # 3
2	22.09.25	Concept # 2
1	19.09.25	Concept # 1

No.	Date	Description
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Project :
Proposed Units
32c Liffey Street,
Carrick, TAS 7291

Client :
CSH Enterprises P/L

Drawing Title :
Elevations (Sheet 3)

Scale : 1 : 100

Starting Date : 19.09.25

Plot Date : 6/11/2025
8:09:59 AM

Project No. Drawing No.
040925 12 / 15

NOTES:
-REFER TO LAST PAGES IN THE ARCHITECTURAL DRAWING SET FOR GENERAL NOTES.

North West



West



South West

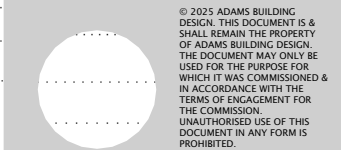


Planning amend A3

170 Abbott Street
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7	06.11.25	Planning Amend
6	23.10.25	Planning 2
5	24.09.25	Concept # 5
4	24.09.25	Concept # 4
3	23.09.25	Concept # 3
2	22.09.25	Concept # 2
1	19.09.25	Concept # 1

No.	Date	Description
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Project :
Proposed Units
32c Liffey Street,
Carrick, TAS 7291

Client :
CSH Enterprises P/L

Drawing Title :
3D Views

Scale :

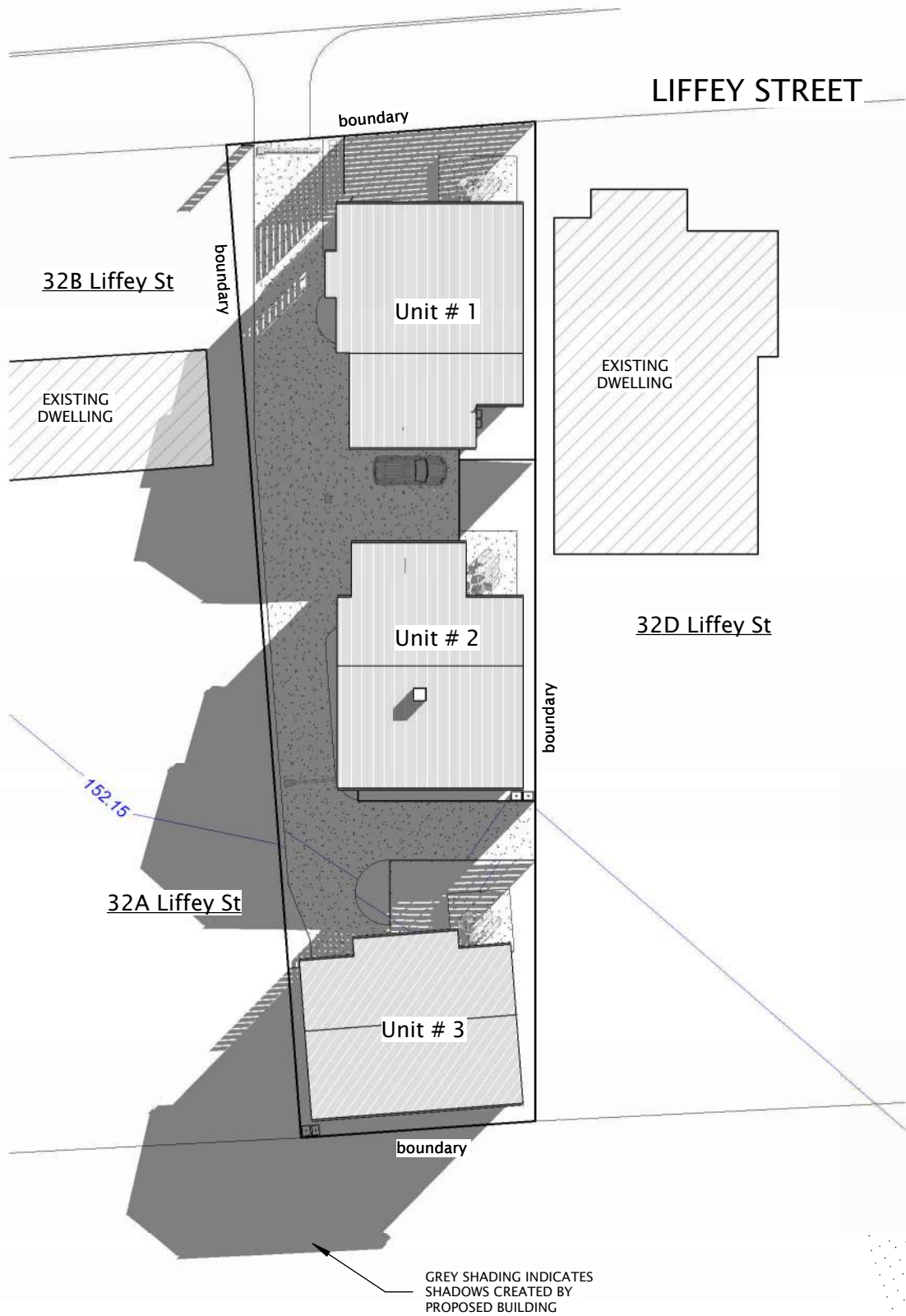
Starting Date : 19.09.25

Plot Date : 6/11/2025
8:10:03 AM

Project No.	Drawing No.
040925	13 / 15

NOTE:
GROUND LEVELS INDICATED IN 3D IMAGES
ARE INDICATIVE ONLY & SHOULD NOT
BE RELIED UPON FOR CONSTRUCTION
PURPOSES. REFER SITE, CONTOUR PLAN
& ELEVATIONS FOR TRUE GROUND LEVELS.

NOTES:
-REFER TO LAST PAGES IN THE ARCHITECTURAL DRAWING SET FOR GENERAL NOTES.



9AM June 21

1 : 400

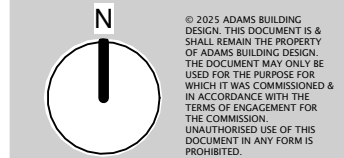


11AM June 21

1 : 400

7	06.11.25	Planning Amend
6	23.10.25	Planning 2
5	24.09.25	Concept # 5
4	24.09.25	Concept # 4
3	23.09.25	Concept # 3
2	22.09.25	Concept # 2
1	19.09.25	Concept # 1

No.	Date	Description
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Project :
**Proposed Units
32c Liffey Street,
Carrick, TAS 7291**

Client :
CSH Enterprises P/L

Drawing Title :
**Sun Shade Diagrams (Sheet
1)**

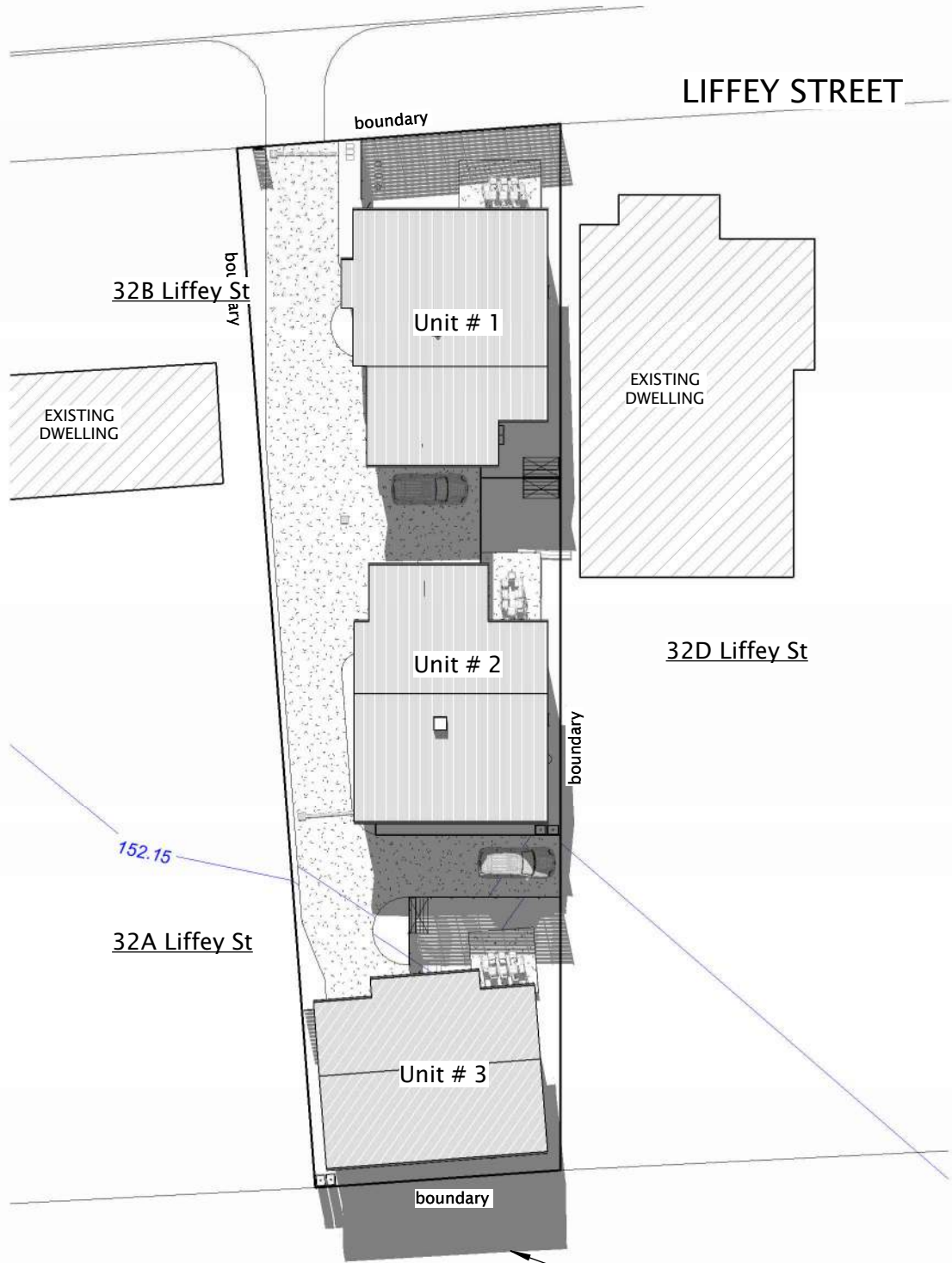
Scale : 1 : 400

Starting Date : 19.09.25

Plot Date : 6/11/2025
8:10:05 AM

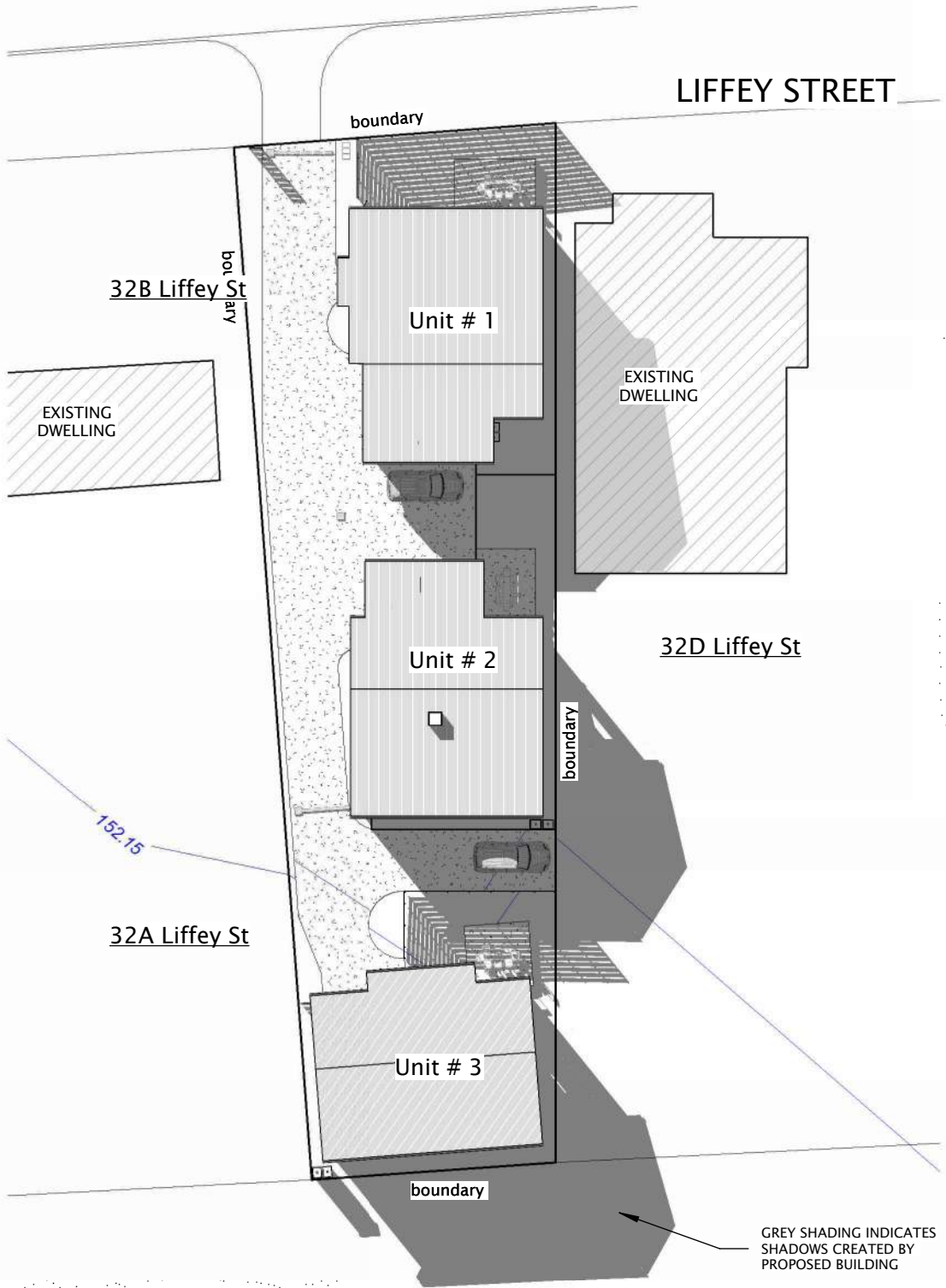
Project No. **040925**
Drawing No. **14 / 15**

NOTES:
-REFER TO LAST PAGES IN THE ARCHITECTURAL DRAWING SET FOR GENERAL NOTES.



1PM June 21

1 : 400



3PM June 21

1 : 400

7	06.11.25	Planning Amend
6	23.10.25	Planning 2
5	24.09.25	Concept # 5
4	24.09.25	Concept # 4
3	23.09.25	Concept # 3
2	22.09.25	Concept # 2
1	19.09.25	Concept # 1

No.	Date	Description
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Project :
**Proposed Units
32c Liffey Street,
Carrick, TAS 7291**

Client :
CSH Enterprises P/L

Drawing Title :
Sun Shade Diagrams (Sheet 2)

Scale : 1 : 400

Starting Date : 19.09.25

Plot Date : 6/11/2025
8:10:06 AM

Project No. **040925**
Drawing No. **15 / 15**



Planning Compliance Report

Project: Three (3) Multiple Dwellings

Site: 32C Liffey Street, Carrick, TAS 7291

PID: 932-8244

Title: Volume 183088 Folio 2

Zone: 8.0 General Residential Zone

Council: Meander Valley Council

Client: CSH Enterprises Pty Ltd

8.4.2 Setbacks and Building Envelope for all dwellings

Objective

The objective of this provision is to provide for setbacks from boundaries and a building envelope that:

- Ensures the height and form of a dwelling respects the existing character of the area;
- Maintains residential amenity between dwellings on adjoining lots by: access to sunlight and daylight to habitable rooms and private open space; privacy; and separation between dwellings.

Acceptable Solution (A3)	Performance Criteria (P3)	Response
A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions that extend not more than 0.9m horizontally beyond the building envelope, must: (a) be contained within a building envelope determined by: (i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a property	The siting and scale of a dwelling must: (a) not cause an unreasonable loss of amenity to adjoining properties, having regard to: (i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property; (ii) overshadowing the private open space of a dwelling on an adjoining	Units 1 and 2 have eastern wall setbacks of 1.2 m, with wall lengths exceeding 9 m. This does not comply with A3 and must therefore be assessed under P3. - Overshadowing diagrams demonstrate any shadow is limited to early morning winter periods and does not unreasonably impact private open space or habitable rooms of the eastern adjoining lot.

with an adjoining frontage; and (ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above existing ground level at the side and rear boundaries to a building height of not more than 8.5m above existing ground level; and (b) only have a setback of less than 1.5m from a side or rear boundary if the dwelling: (i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining property; or (ii) does not exceed a total length of 9m or one third the length of the side boundary (whichever is the lesser).	property; (iii) overshadowing of an adjoining vacant property; and (iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property; (b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and (c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on an adjoining property or another dwelling on the same site.	- The walls are within the building envelope articulated with windows and detailing to reduce visual bulk. - The proposed setback is consistent with other development patterns in Carrick. - Amenity impacts are mitigated through orientation, low wall height, and articulation. Accordingly, the proposal satisfies P3.
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Site-Specific Qualification – Adjoining Carrick Racecourse and Speedway

Objective

To ensure that sensitive uses do not compromise the continued operation of the Carrick Racecourse and Speedway, and that residential amenity is appropriately managed in relation to noise and activity generated by that facility.

Acceptable Solution (A1)	Performance Criteria (P1)	Response
No Acceptable Solution applies.	A sensitive use within proximity of the Carrick Racecourse and Speedway must demonstrate that it will not be subject to an unreasonable level of environmental harm, or cause conflict that would constrain the operation of the facility.	The proposal adjoins the Carrick Racecourse and Speedway to the south. Residential amenity will be maintained by: - Orienting private open space and main living areas away from the southern boundary; - Incorporating acoustic treatments (double glazing, fencing, orientation); - Ensuring ongoing use of the racecourse/speedway is not restricted by the dwellings. Accordingly, the proposed units comply with P1.