

PLANNING NOTICE

An application has been received for a Permit under s.57 of the Land Use Planning Approvals Act 1993:

APPLICANT:	Adams Building Design - PA\25\0022
PROPERTY ADDRESS:	33 Parsonage Street with stormwater easement & works on 25 Parsonage Street & 31 West Church Street DELORAINE (CTs:160068/2, 166766/1, 198981/1)
DEVELOPMENT:	Multiple dwellings (x3) - setbacks, design, fencing, design layout & lighting of parking areas, pedestrian access, attenuation.

The application can be inspected until **Thursday, 8 January 2026**, at www.meander.tas.gov.au or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to planning@mvc.tas.gov.au. Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Dated at Westbury on 13 December 2025.

Jonathan Harmey
GENERAL MANAGER

APPLICATION FORM

PLANNING PERMIT

Land Use Planning and Approvals Act 1993



- Application form & details **MUST** be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work? ☐ Yes ☒ No Indicate by ✓ box
- Have you already received a Planning Review for this proposal? ☐ Yes ☒ No
- Is a new vehicle access or crossover required? ☐ Yes ☒ No

PROPERTY DETAILS:

Address:	<input type="text" value="33 Parsonage Street"/>	Certificate of Title:	<input type="text" value="160068"/>
Suburb:	<input type="text" value="Deloraine"/>	<input type="text" value="7304"/>	Lot No: <input type="text" value="02"/>
Land area:	<input type="text" value="2812.53"/> m ² / ha		
Present use of land/building:	<input type="text" value="Dental Surgery"/>	(vacant, residential, rural, industrial, commercial or forestry)	

- Does the application involve Crown Land or Private access via a Crown Access Licence: ☐ Yes ☒ No
- Heritage Listed Property: ☐ Yes ☒ No

PROPERTY DETAILS:

Address:	<input type="text" value="25 Parsonage Street"/>	Certificate of Title:	<input type="text" value="166766"/>
Suburb:	<input type="text" value="Deloraine"/>	<input type="text" value="7304"/>	Lot No: <input type="text" value="01"/>
Land area:	<input type="text" value="Approximately 3860"/> m ² / ha		
Present use of land/building:	<input type="text" value="Place of Worship"/>	(vacant, residential, rural, industrial, commercial or forestry)	

- Does the application involve Crown Land or Private access via a Crown Access Licence: ☐ Yes ☒ No
- Heritage Listed Property: ☐ Yes ☒ No

PROPERTY DETAILS:

Address: Certificate of Title:

Suburb: Lot No:

Land area: m² / ~~ha~~

Present use of land/building: (vacant, residential, rural, industrial, commercial or forestry)

- Does the application involve Crown Land or Private access via a Crown Access Licence: ☐ Yes ☒ No
- Heritage Listed Property: ☐ Yes ☒ No

DETAILS OF USE OR DEVELOPMENT:

Indicate by ✓ box ☒ Building work ☐ Change of use ☐ Subdivision ☐ Demolition
☐ Forestry ☐ Other

Total cost of development (inclusive of GST): Includes total cost of building work, landscaping, road works and infrastructure

Description of work:

Use of building: (main use of proposed building – dwelling, garage, farm building, factory, office, shop)

New floor area: New building height:

Materials: External walls: Colour:

Roof cladding: Colour:

SEARCH OF TORRENS TITLE

VOLUME 160068	FOLIO 2
EDITION 5	DATE OF ISSUE 28-Apr-2025

SEARCH DATE : 08-Dec-2025

SEARCH TIME : 04.37 pm

DESCRIPTION OF LAND

Town of DELORAINÉ

Lot 2 on Sealed Plan 160068

Derivation : Part of Lot 6, Section S, 1A-0R-23P Gtd. to
William Dodery and Part of Lot 7, Section S, 1A-0R-35P Gtd. to
William Bransgrove
Prior CT 131026/1

SCHEDULE 1

E3206 TRANSFER to GC HEALTH INVESTMENTS PTY LTD
Registered 28-Nov-2018 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP160068 EASEMENTS in Schedule of Easements
SP160068 FENCING COVENANT in Schedule of Easements
SP 9551 FENCING COVENANT in Schedule of Easements
E411248 MORTGAGE to Westpac Banking Corporation Registered
28-Apr-2025 at 12.01 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER: WATSON, BRYAN CLIFFORD DELORAINÉ CLUB INC. FOLIO REFERENCE: CT.131026/1 & CT.108331/1 GRANTEE: PART OF LOT 6, 1 ^A -0 ^R -23 ^P GRANTED TO WILLIAM DODERY & PART OF LOT 7, 1 ^A -0 ^R -35 ^P GRANTED TO WILLIAM BRANGROVE.		PLAN OF SURVEY BY SURVEYOR JOHN WILLIAM DENT of CAMPBELL SMITH PHELPS PEDLEY 3/23 BRISBANE STREET, LAUNCESTON LOCATION TOWN OF DELORAINÉ (SEC. 5) SCALE: 1:400 LENGTHS IN METRES SURVEYORS REF: 335-09		REGISTERED NUMBER SP160068 APPROVED EFFECTIVE FROM 19 OCT 2010 <i>Alice Kawa</i> Recorder of Titles
MAPSHEET MUNICIPAL CODE No. 121 (4640-43)	LAST UPI No FZZ51, GVW82	LAST PLAN No. P131026, D108331	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	

LOT 2 IS COMPILED FROM P131026, SP130945 AND THIS SURVEY.

INSET SCALE 1:1000

<i>Paula</i> COUNCIL DELEGATE	27.8.10 DATE
----------------------------------	-----------------

SCHEDULE OF EASEMENTS	Registered Number SP 16 0 0 68
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	

PAGE 1 OF ²/₃ PAGE/S

EASEMENTS AND PROFITS

~~Each lot on the plan is together with:~~

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- ~~(2) any easements or profits a prendre described hereunder.~~

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

That part of Lot 1 on the Plan marked LBDZY

~~Lot 1 on the Plan is TOGETHER WITH a right of drainage appurtenant to the land marked "LBDZY" on the Plan over the land marked "Drainage Easement 1.83 wide CBDEFHJ" on Plan No. 131026. CBDEFHJ on the Plan.~~

Lot 1 on the Plan is SUBJECT TO a right of drainage:

- ~~(a) appurtenant to the land marked "TUVLYZW" on the Plan over the land shown "Drainage Easement 1.83 wide VLBD" on the Plan;~~
- ~~(b) appurtenant to the land marked "TUVLYXW" on the Plan over the land shown "Drainage Easement 1.83 wide CBDEFHJ" on Plan No. 131026;~~
- ~~(c) appurtenant to the land marked "TUVW" on the Plan over the land shown "Drainage Easement 1.83 wide VLBD" on the Plan; and~~
- ~~(d) appurtenant to the land marked "TUVW" on the Plan over the land shown "Drainage Easement 1.83 wide CBDEFHJ" on Plan No. 131026.~~

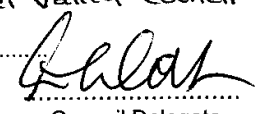
That part of Lot 2 on the Plan marked TUVLYXW

~~Lot 2 on the Plan is TOGETHER WITH a right of drainage:~~

- ~~(a) appurtenant to the land marked "TUVLYXW" on the Plan over the land shown "Drainage Easement 1.83 wide LBD" on the Plan; marked CBDEFHJ on the Plan.~~
- ~~(b) appurtenant to the land marked "TUVBZYXW" on the Plan over the land shown "Drainage Easement 1.83 wide CBDEFHJ" on Plan No. 131026;~~
- ~~(c) appurtenant to the land marked "TUVW" on the Plan over the land shown "Drainage Easement 1.83 wide VLBD" on the Plan; and~~
- ~~(d) appurtenant to the land marked "TUVW" on the Plan over the land shown "Drainage Easement 1.83 wide CBDEFHJ" on Plan No. 131026.~~

Lot 2 on the Plan is SUBJECT TO a right of drainage (appurtenant to the land marked TUVW on the Plan) over the Drainage Easement 1.83 wide marked VL on the Plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

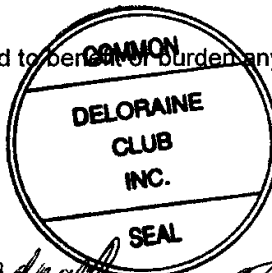
SUBDIVIDER: Campbell Smith Phelps Pedley FOLIO REF: 108331/1 & 131026/1 Bryan Clifford SOLICITOR: Watson & Deloraine Club Inc. & REFERENCE: Lewis Saunders & Co - 20100088	PLAN SEALED BY: <i>Meander Valley Council</i> DATE: 27.8.10 PA1010140 REF NO.
 Council Delegate	
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

<p align="center">ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p align="center">PAGE 2 OF 3 PAGES 3</p>	<p align="center">Registered Number</p> <p align="center">SP160068</p>
<p>SUBDIVIDER: Campbell Smith Phelps Pedley Bryan Clifford Watson & Deloraine Club Inc.</p> <p>FOLIO REFERENCE: 29793/1 & 45271/1 108331/1 & 131026/1</p>	

COVENANT FENCING COVENANT

The Owner of each Lot on the Plan covenants with Deloraine Club Inc (the Vendor) that the Vendor shall not be required to fence.

No other easements, covenants or profits a prendre are created to benefit or burden any Lots shown on the Plan.



The Common Seal of **Deloraine Club Inc** was hereunto affixed in the presence of: *as the registered owner of the land comprised in Certificate of Title Volume 131026/1*

Deane Yardley

PUBLIC OFFICER
Full name:

DEANE YARDLEY (BARTLEY)

Brinn Aloysius Bartlett

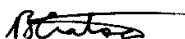
SECRETARY
Full name:

BRINN ALOYSIUS BARTLETT

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 3 PAGES	Registered Number SP160068
SUBDIVIDER: Campbell Smith Phelps Pedley FOLIO REFERENCE: 131026/1 & 108331/1	

Signed by **BRYAN CLIFFORD WATSON**)
 as the registered proprietor of the land)
 comprised in Certificate of Title Volume)
 108331 Folio 1 in the presence of:)




Witness:


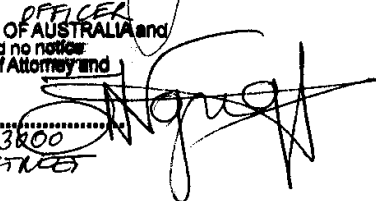
Full name:

Occupation:

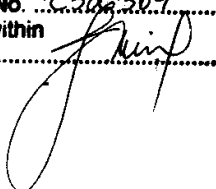
Residential address:


 Jessica Grace
 Law Clerk
 88 ENU Bay Rd,
 Deloraine.

SIGNED, SEALED and DELIVERED
 for and on behalf of COMMONWEALTH BANK
 OF AUSTRALIA by its Attorney
 SIMONA HILL
 under Registration Power of Attorney No. 72/6177
 who certifies that he/she is
 A CONVEYANCING OFFICER
 of the COMMONWEALTH BANK OF AUSTRALIA and
 declares that he/she has received no notice
 of revocation of the said Power of Attorney and
 in the presence of:
 NIOKI NEUGI
 Bank Officer, Melbourne VIC 3000
 L8, 385 BOURKE STREET

COMMONWEALTH BANK OF AUSTRALIA as
 mortgagee in mortgage No. C506309
 hereby consents to the within



NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

SEARCH OF TORRENS TITLE

VOLUME 166766	FOLIO 1
EDITION 1	DATE OF ISSUE 31-Oct-2013

SEARCH DATE : 08-Dec-2025

SEARCH TIME : 04.38 pm

DESCRIPTION OF LAND

Town of DELORAINÉ

Lot 1 on Plan 166766

Derivation : Part of 1A-0R-0P Gtd. to John Dowling, Part of
1A-0R-0P Gtd. to William Beaumont & Part of 1A-0R-0P Gtd. to
William Barnsgrove

Prior CTs 130945/1 and 36094/1

SCHEDULE 1

M346918 & M382848 TRANSFER to ADRIAN MARK PRITCHARD,
CHRISTOPHER FRANK GRACE and LLOYD ANDREW COX
Registered 12-Oct-2012 at 01.00 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP 9551 FENCING COVENANT in Schedule of Easements

33/8004 CONVEYANCE Made Subject to Boundary Fences Condition

SP130945 BENEFITING EASEMENT: (appurtenant to the land marked
CDEFGHANPQRB on Plan 166766) a right of drainage over
the Drainage Easement 1.83 wide marked CJKL on Plan
166766

SP130945 BURDENING EASEMENT: a right of drainage (appurtenant
to Lots 2 and 3 on Sealed Plan 21517) over the
Drainage Easement 1.83 wide marked ABC on Plan 166766

SP130945 BURDENING EASEMENT: a right of drainage (appurtenant
to Lots 2 and 3 on Sealed Plan 21517) over the strip
of land marked M on Plan 166766

SP130945 BURDENING EASEMENT: a right of drainage (appurtenant
to Lot 2 on Sealed Plan 130945) over the Drainage
Easement 1.50 wide shown on Plan 166766

D106256 ADHESION ORDER under Section 110 of the Local
Government (Building and Miscellaneous Provisions)
Act 1993 Registered 31-Oct-2013 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

<p>OWNER</p> <p>FOLIO REFERENCE 130945/1 36094/1</p> <p>GRANTEE PART OF 1A OR OP GTD. TO JOHN DOWLING. PART OF 1A OR OP GTD. TO WILLIAM BARNSGROVE & PART OF 1A OR OP GTD. TO WILLIAM BEAUMONT.</p>		<p>PLAN OF TITLE</p> <p>LOCATION TOWN OF DELORAINE</p> <p>FIRST SURVEY PLAN No. PI98003, 521/7D</p> <p>COMPILED BY LTO</p> <p>SCALE 1: 750 LENGTHS IN METRES</p>		<p>Registered Number</p> <p>P.166766</p> <p>APPROVED 29 OCT 2013</p> <p><i>Alice Kawa</i> Recorder of Titles</p>
<p>MAPSHEET MUNICIPAL CODE No. 121 (4640-43)</p>	<p>LAST UPI No FZZ49, GWD05</p>	<p>LAST PLAN No. SPI30945</p>	<p>ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN</p>	

LOT 1
3846m²

WEST CHURCH STREET

PARSONAGE PLACE

BARRACK STREET

MCG

SEARCH OF TORRENS TITLE

VOLUME 198981	FOLIO 1
EDITION 8	DATE OF ISSUE 18-July-2023

SEARCH DATE : 08-Dec-2025

SEARCH TIME : 04.38 pm

DESCRIPTION OF LAND

Town of DELORAINÉ

Lot 1 on Plan [198981](#)

Derivation : Part of Lot 8 Sec S Gtd to R H Douglas

Prior CT [2797/63](#)SCHEDULE 1

[M501577](#) TRANSFER to BERNARD FRANK HOWE and MARLENE BARBARA
HOWE Registered 05-Feb-2015 at 12.01 pm

SCHEDULE 2

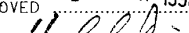
Reservations and conditions in the Crown Grant if any

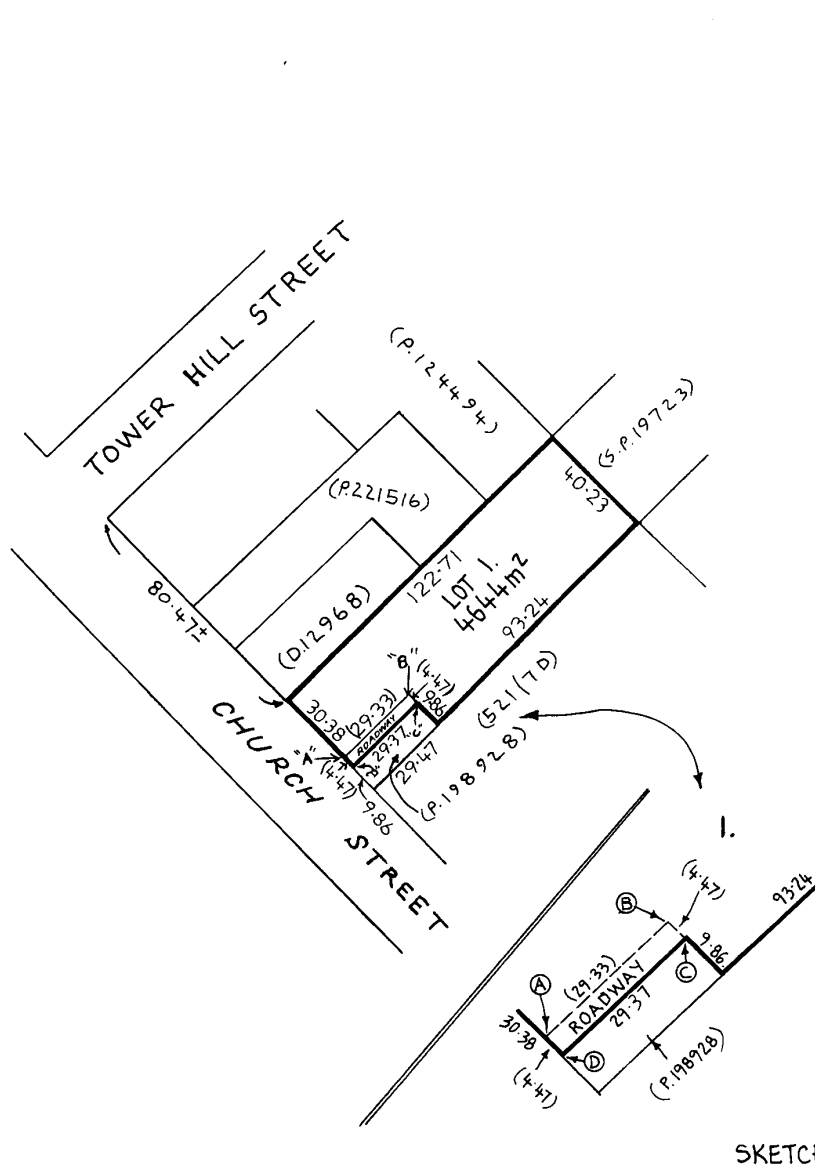
BURDENING EASEMENT: a right of carriage way for John Patrick
Sullivan over the land marked A B C D on Plan No.
[198981](#)

[E353982](#) LEASE to HTH STORES PTY LIMITED of a leasehold estate
for the term of 10 years from 08-Jul-2018 Registered
18-July-2023 at noon
Leasehold Title(s) issued: [198981C/1](#)

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations








OWNER		PLAN OF TITLE		Registered Number	
FOLIO REFERENCE C.T.2797/63		LOCATION		P198981	
GRANTEE		TOWN OF DELORAINE (SECTION S)		APPROVED 1 APR 1998	
		FIRST SURVEY PLAN No. 521/7 D		 Recorder of Titles	
		COMPILED BY L.T.O.			
		SCALE 1: 1500		LENGTHS IN METRES	
MAPSHEET MUNICIPAL CODE No. 121(4640-43)		LAST UPI No 4504935		LAST PLAN No. —	
				ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	



AC A-113

Proposed Units at
33 Parsonage St,
Deloraine, TAS. 7304

Client :
GC Health Investments

Building Areas			Drawing List	
Name	Area	Building Squares	Sheet #	Sheet Name
Existing Dental Clinic	265.49 m²	28.55	1	Cover Page
Unit # 1	173.59 m²	18.67	2	Govt Infrastructure Details
Unit # 2	120.37 m²	12.94	3	Site Plan
Unit # 3	122.57 m²	13.18	4	Site Drainage Plan
	682.01 m²	73.33	5	Existing Dental Clinic Floor Plan
			6	Floor Plan
			7	Elevations (sheet 1)
			8	Elevations (sheet 2)
			9	3D Views
			10	Sun Shade Diagrams
			11	Sealed Surfaces Plan
Site areas				
Name	Area			
Site	2812.53 m²			
Project Details				
Council		Meander Valley Council		
Zone	15.0 General Business			
Planning Overlay	N/A			
PID	1898430			
Title Folio	02			
Title Volume	160068			
Climate Zone		7		
WIND SPEED		TBC		
SOIL CLASS		TBC		
STAR RATING		TBC		
BAL Rating		TBC		
Corrosive Environment		N/A		



Job # 37184197 Seq # 242230599

Provided by: TasWater

Date Generated: 23/07/24 (valid for 30 days)



Legend

- BYDA Enquiry
- Fire Hydrant
- Water Property Connection
- Water Main
- Water Main Critical
- Sewer Maintenance Hole
- Sewer Property Connection
- Sewer Pressurised Main Critical
- Sewer Gravity Main Critical
- Sewer Gravity Main
- Stormwater Maintenance Hole
- Stormwater Property Connection
- Stormwater Gravity Main
- Recycled Water Property Connection
- Recycled Water Main
- Abandoned Line Sewer
- Abandoned Line Water
- Electrical Cable
- Old Town Gas

In an emergency contact
TasWater
Phone: 13 6992

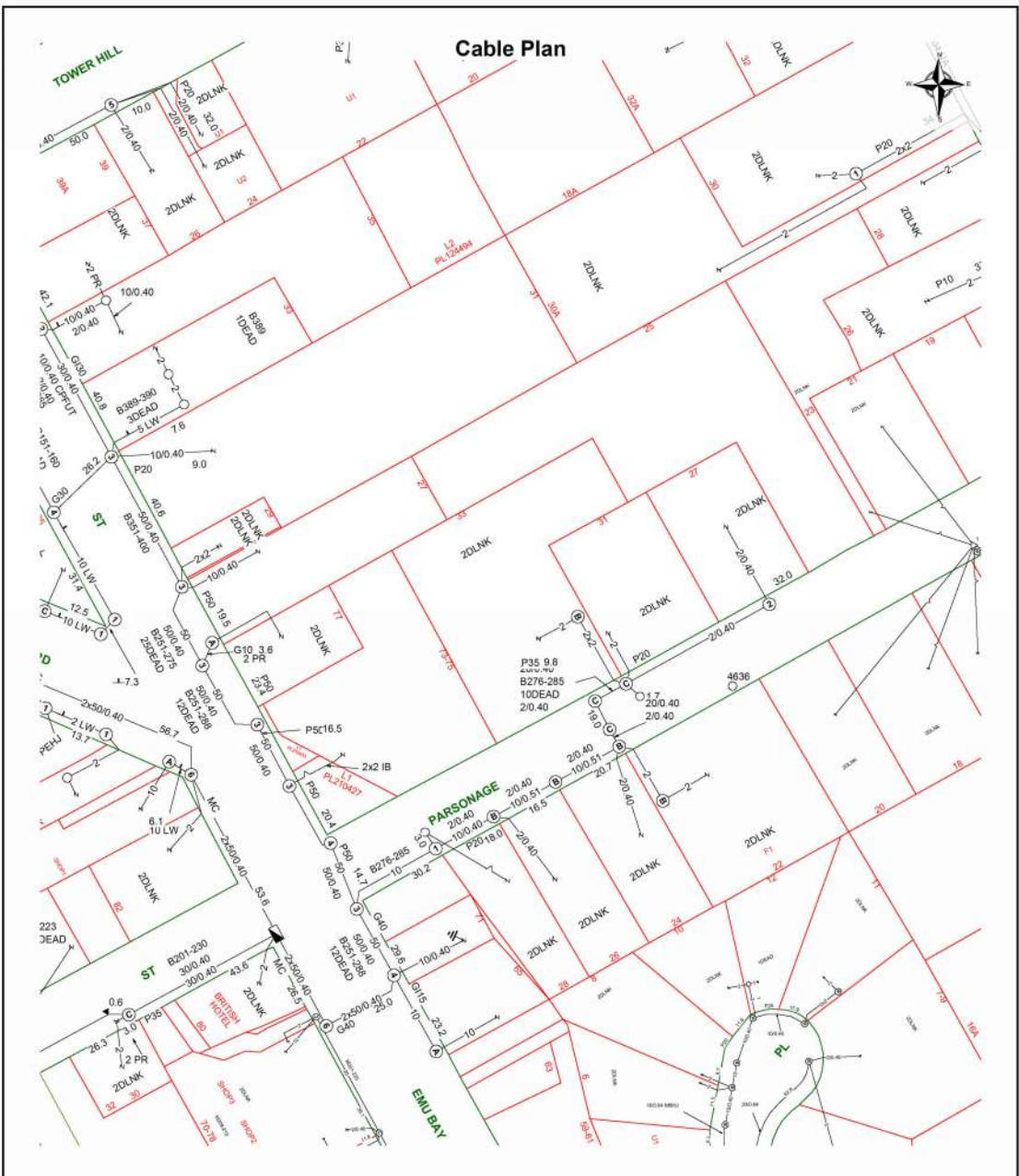
Scale 1:1,000

0 10 20 40 m

Disclaimer: The plan is provided in response to a Before You Dig request. While all reasonable care has been taken to ensure the accuracy of the information on this plan, its purpose is to provide a general indication of the location of TasWater infrastructure. The information provided may contain errors or omissions and the accuracy may not suit all users. A site inspection and investigation is recommended before commencement of any project based on this data.

TasWater Plan v4.1 (24/09/2019) Plans generated by SmarterVX™ Automate

Please note most property connections are representative only. The actual location of the property connection may be significantly different to what is shown on this map.



Report Damage: <https://www.telstra.com.au/customer-service/damage-to-telstra-equipment>
Ph - 13 22 03
Email - Telstra.Plans@team.telstra.com
Planned Services - ph 1800 653 935 (AEST bus hrs only) General Enquiries

TELSTRA LIMITED A.C.N. 086 174 781

Generated On 23/07/2024 08:50:21

Sequence Number: 242230598

Please read Duty of Care prior to any excavating

The above plan must be viewed in conjunction with the Mains Cable Plan on the following page

WARNING
Telstra plans and location information conform to Quality Level "D" of the Australian Standard AS 5488-Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. The exact position of Telstra assets can only be validated by physically exposing it. Telstra does not warrant or hold out that its plans are accurate and accept no responsibility for any inaccuracy. Further on site investigation is required to validate the exact location of Telstra plant prior to commencing construction work. A Certified Locating Organisation is an essential part of the process to validate the exact location of Telstra assets and to ensure the asset is protected during construction works. See the Steps- Telstra Duty of Care that was provided in the email response.



Planning App2 A3

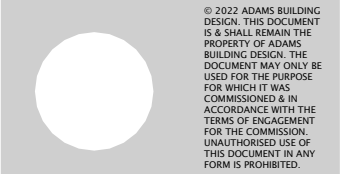
170 Abbott Street
Launceston, Newstead,
TAS 7250.

M : 0411 294 351
E : leigh@abd.com.au
www.adamsbuildingdesign.com.au

ABN 71 048 418 121
acc. # CC886J

4	20.10.25	Planning App 3
3	24.03.25	Planning App 2
2	05.08.24	Planning Approval
1	23.07.24	Concept # 1

No.	Date	Description
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Project :
Proposed Units at
33 Parsonage St,
Deloraine, TAS. 7304

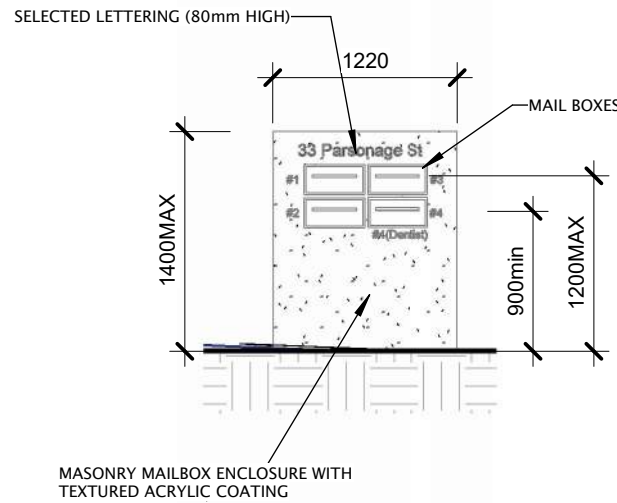
Client :
GC Health Investments

Drawing Title :
Govt Infrastructure Details

Scale :
Starting Date : 22.07.24

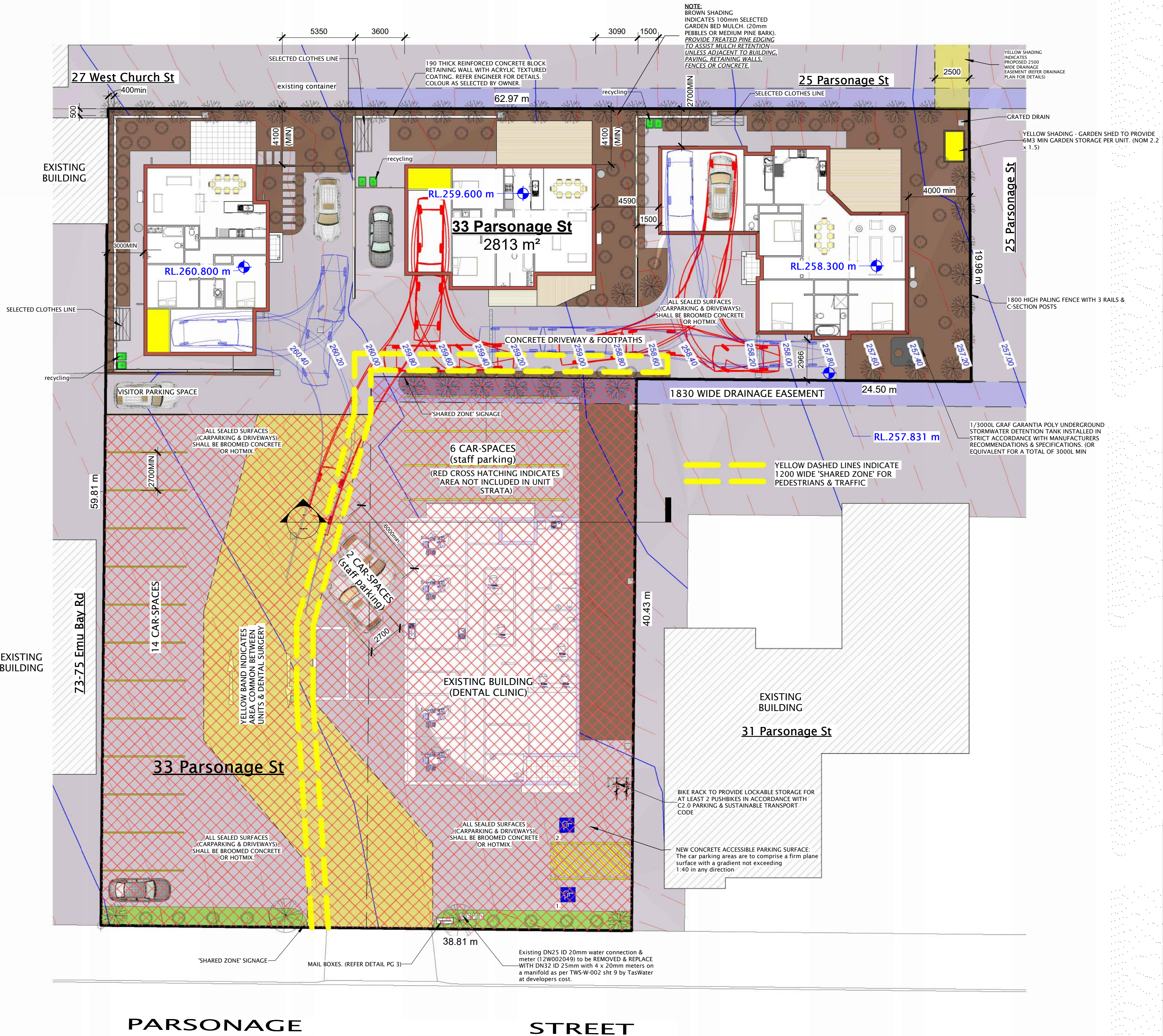
Plot Date : 24/11/2025
4:40:14 PM

Project No. Drawing No.
040724 2 /11



1 : 50

1 : 200



4	20.10.25	Planning App 3
3	24.03.25	Planning App 2
2	05.08.24	Planning Approval
1	23.07.24	Concept # 1



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Project :
Proposed Units at
33 Parsonage St,
Deloraine,TAS. 7304

Client :
GC Health Investments

Drawing Title :
Site Plan

Scale : As indicated

Starting Date : 22.07.24

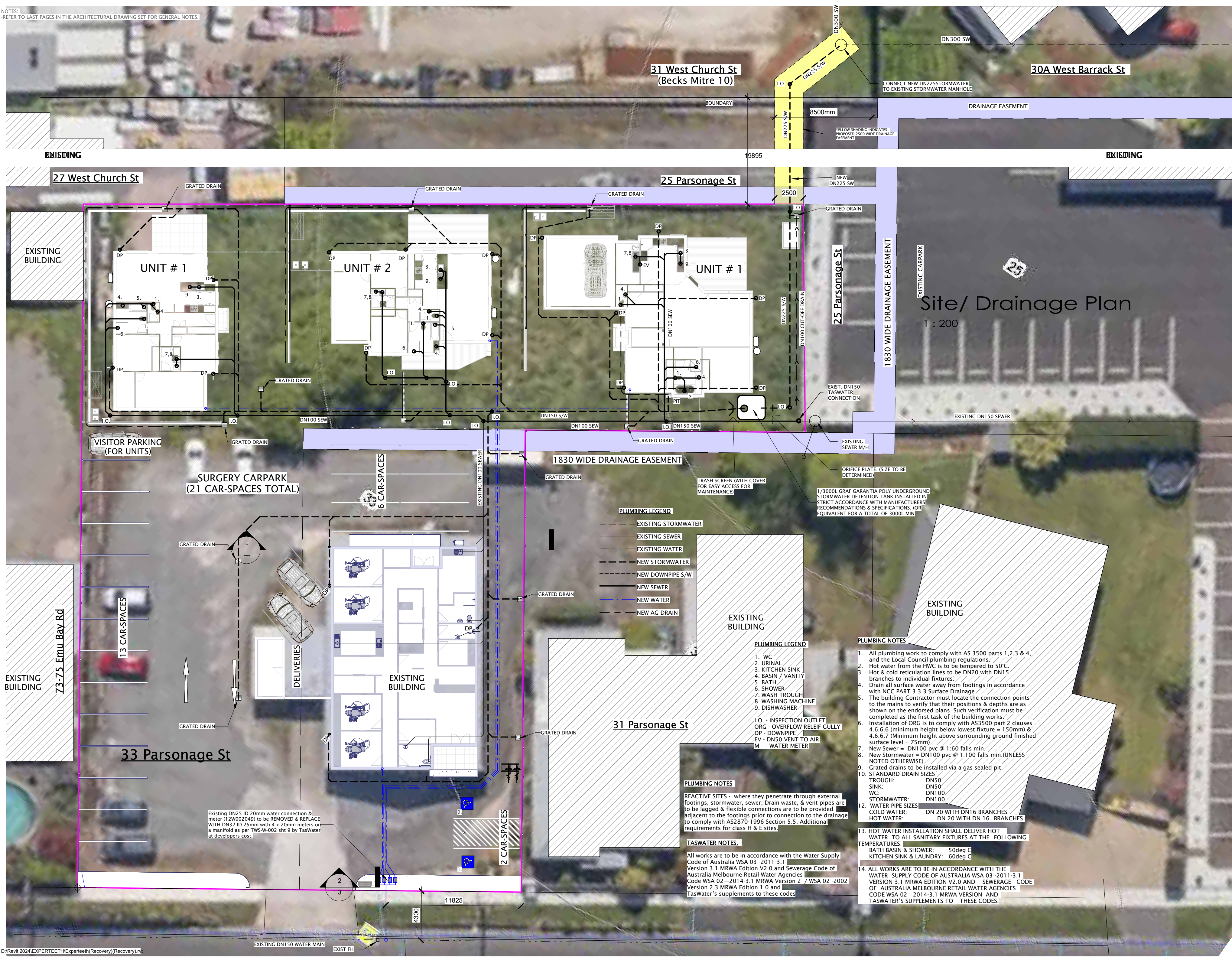
Plot Date : 24/11/2025
4:40:17 PM

Project No. **040724**

NOTES:
-REFER TO LAST PAGES IN THE ARCHITECTURAL DRAWING SET FOR GENERAL NOTES.

170 Abbott Street
Launceston, Newstead,
TAS 7250.
M : 0411 294 351
E : leigh@abd.com.au
www.adamsbuildingdesign.com.au
ABN 71 048 418 121
acc. # CC886J

Building Areas.	
Name	Area
Existing Dental Clinic	265.49 m ²
Unit # 1	173.59 m ²
Unit # 2	120.37 m ²
Unit # 3	122.57 m ²
	682.01 m ²



PLUMBING LEGEND

- EXISTING STORMWATER
- EXISTING SEWER
- EXISTING WATER
- NEW STORMWATER
- NEW DOWNPIPE S/W
- NEW SEWER
- NEW WATER
- NEW AG DRAIN

PLUMBING LEGEND

- 1. WC
- 2. URINAL
- 3. KITCHEN SINK
- 4. BASIN / VANITY
- 5. BATH
- 6. SHOWER
- 7. WASH TROUGH
- 8. WASHING MACHINE
- 9. DISHWASHER

- I.O. - INSPECTION OUTLET
- ORG - OVERFLOW RELIEF GULLY
- DP - DOWNPIPE
- EV - DN50 VENT TO AIR
- M - WATER METER

PLUMBING NOTES

REACTIVE SITES - where they penetrate through external footings, stormwater, sewer, Drain waste, & vent pipes are to be lagged & flexible connections are to be provided adjacent to the footings prior to connection to the drainage to comply with AS2870:1996 Section 5.5. Additional requirements for class H & E sites.

TASWATER NOTES:

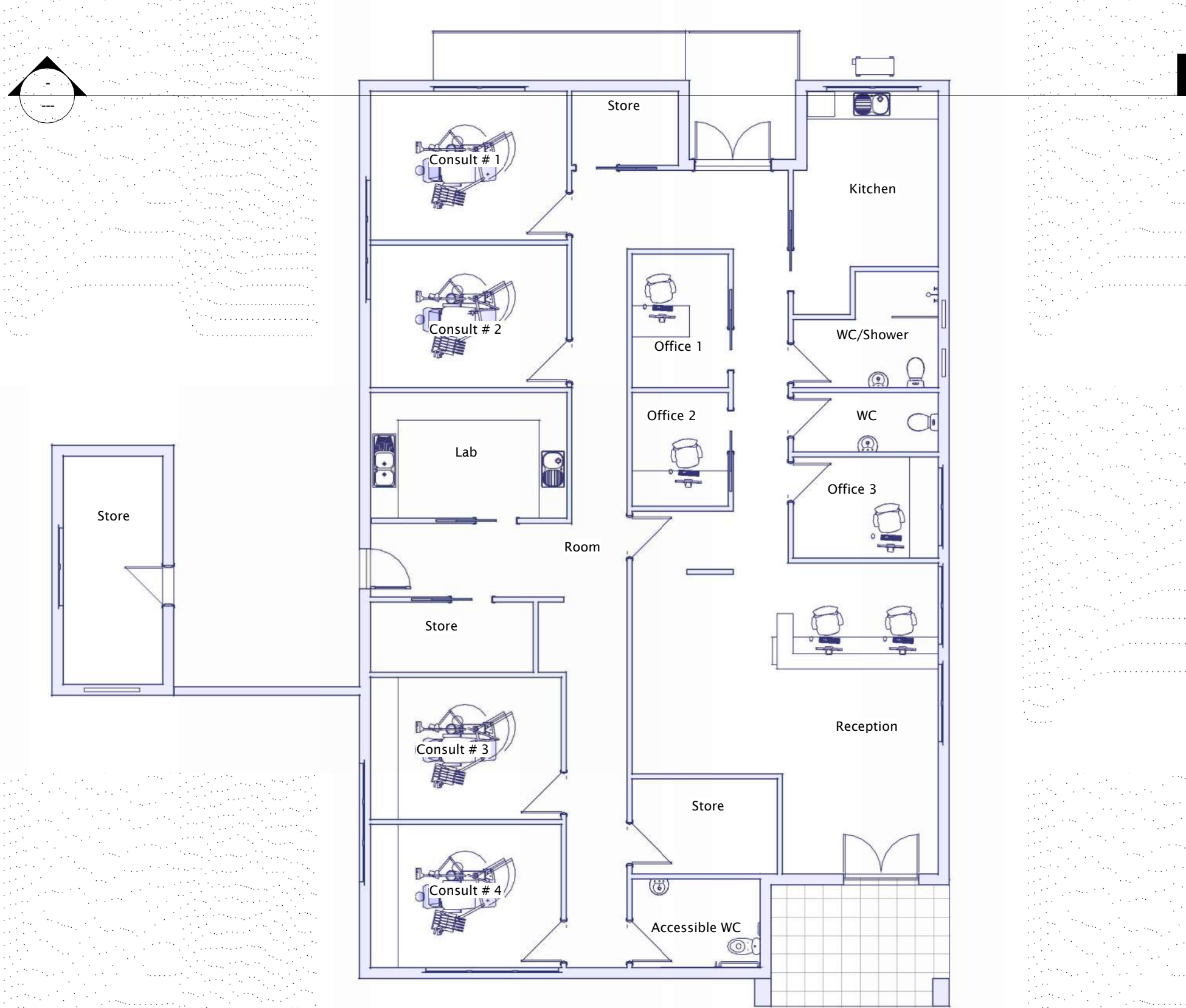
All works are to be in accordance with the Water Supply Code of Australia WSA 03 -2011-3.1 Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02 -2014-3.1 MRWA Version 2 / WSA 02 -2002 Version 2.3 MRWA Edition 1.0 and TasWater's supplements to these codes

PLUMBING NOTES

- All plumbing work to comply with AS 3500 parts 1,2,3 & 4, and the Local Council plumbing regulations.
- Hot water from the HWC is to be tempered to 50°C.
- Hot & cold reticulation lines to be DN20 with DN15 branches to individual fixtures.
- Drain all surface water away from footings in accordance with NCC PART 3.3.3 Surface Drainage.
- The building Contractor must locate the connection points to the mains to verify that their positions & depths are as shown on the endorsed plans. Such verification must be completed as the first task of the building works.
- Installation of ORG is to comply with AS3500 part 2 clauses 4.6.6.6 (minimum height below lowest fixture = 150mm) & 4.6.6.7 (Minimum height above surrounding ground finished surface level = 75mm).
- New Sewer = DN100 pvc @ 1:60 falls min.
- New Stormwater = DN100 pvc @ 1:100 falls min.(UNLESS NOTED OTHERWISE)
- Grated drains to be installed via a gas sealed pit.
- STANDARD DRAIN SIZES
TROUGH: DN50
SINK: DN50
WC: DN100
STORMWATER: DN100
- WATER PIPE SIZES
COLD WATER: DN 20 WITH DN16 BRANCHES
HOT WATER: DN 20 WITH DN 16 BRANCHES

- HOT WATER INSTALLATION SHALL DELIVER HOT WATER TO ALL SANITARY FIXTURES AT THE FOLLOWING TEMPERATURES:
BATH BASIN & SHOWER: 50deg C
KITCHEN SINK & LAUNDRY: 60deg C

- ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA WSA 03 -2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02 -2014-3.1 MRWA VERSION AND TASWATER'S SUPPLEMENTS TO THESE CODES.



Existing Dental Clinic Floor Plan

1 : 100

4	20.10.25	Planning App 3
3	24.03.25	Planning App 2
2	05.08.24	Planning Approval
1	23.07.24	Concept # 1

No.	Date	Description
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Project :
**Proposed Units at
33 Parsonage St,
Deloraine,TAS. 7304**

Client :
GC Health Investments

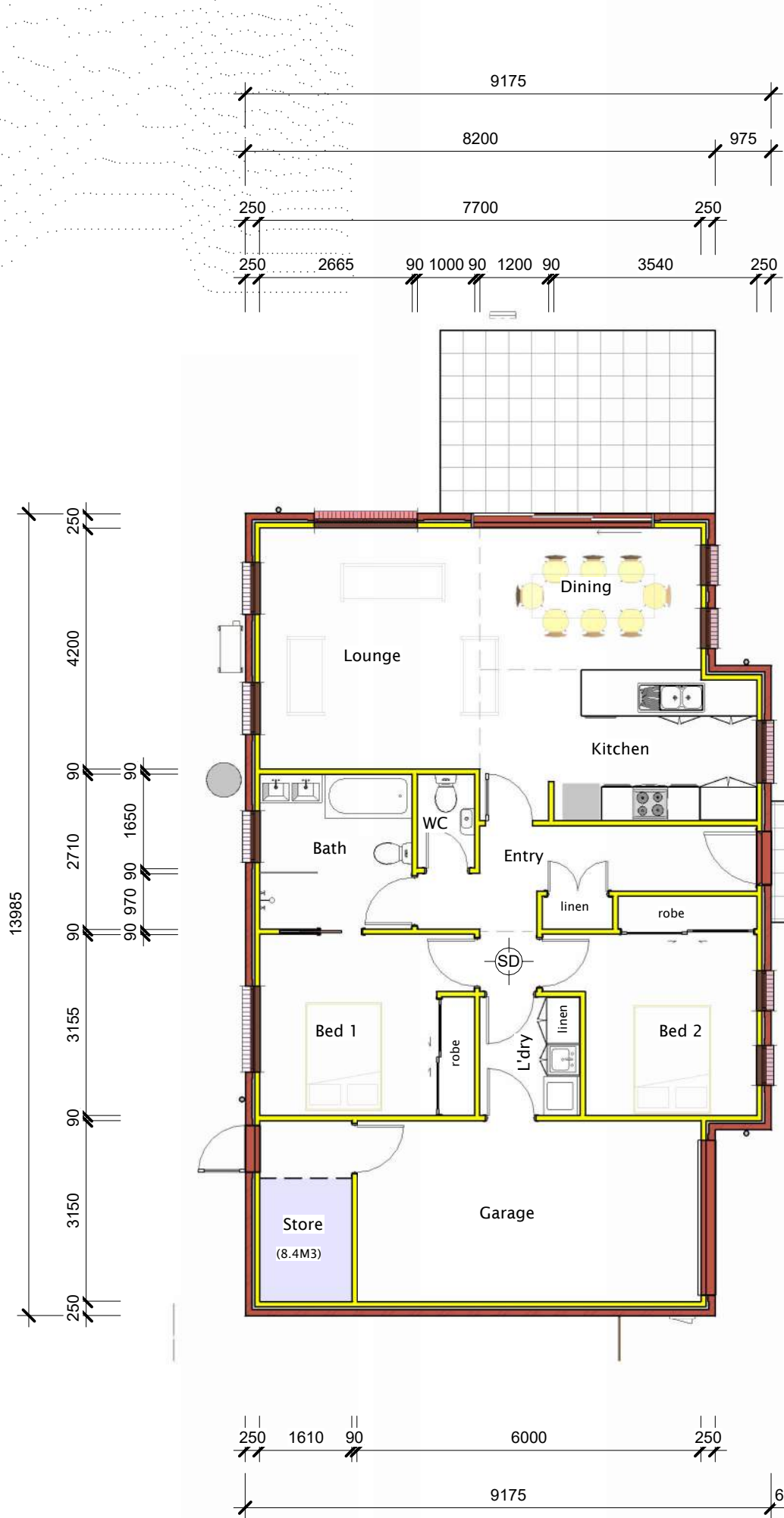
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**Existing Dental Clinic Floor
Plan**

Scale : 1 : 100

Starting Date : 22.07.24

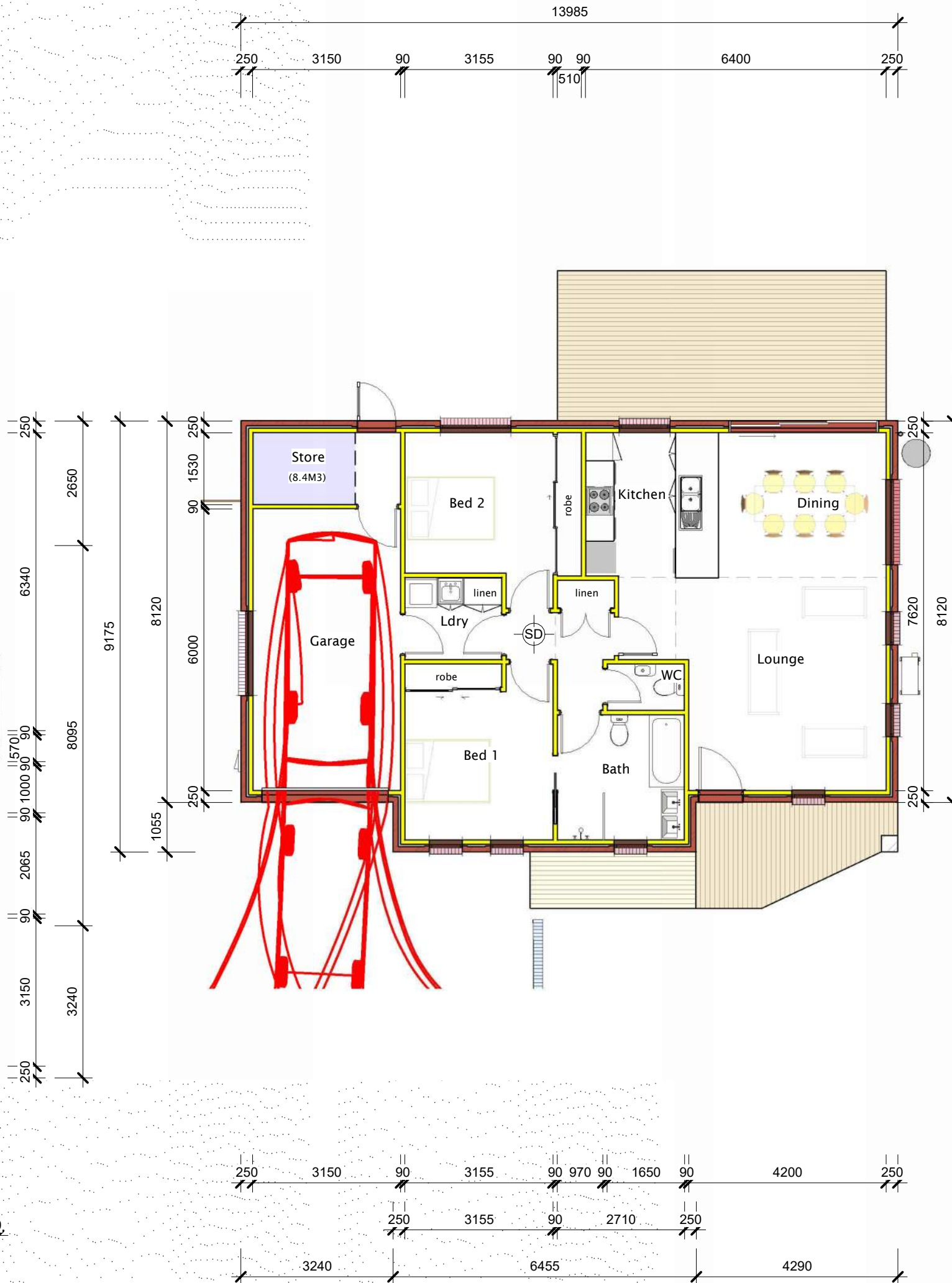
Plot Date : 24/11/2025
4:40:21 PM

Project No.	Drawing No.
040724	5 /11



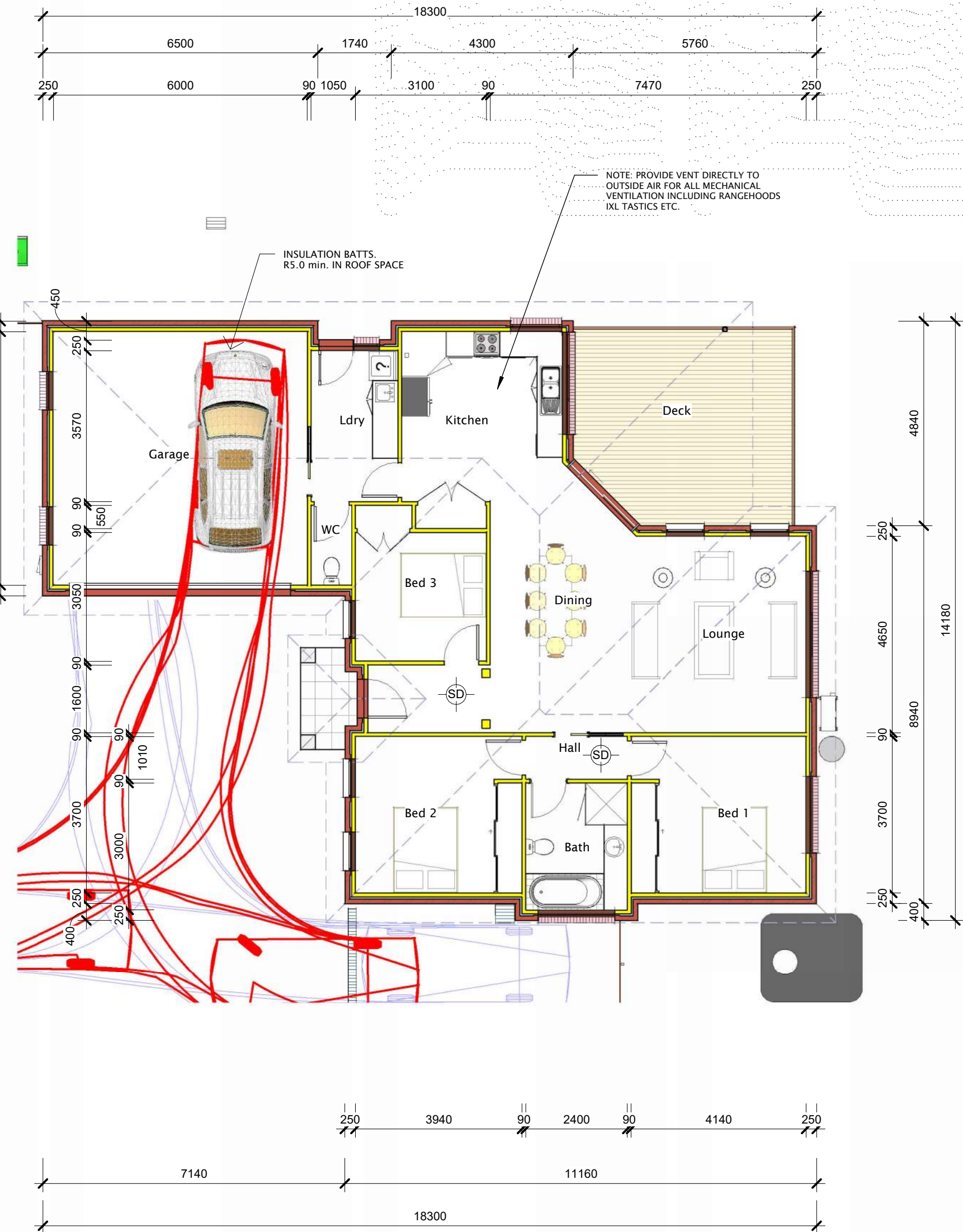
Unit # 1 Floor Plan

1 : 100



Unit # 2 Floor Plan

1 : 100



Unit # 3 Floor Plan

1 : 100

SD - HARDWIRED SMOKE DETECTORS IN ACCORDANCE WITH NCC Vol 2, Part 9.5 & AS 3786. (LINKED)

Building Areas.

Name	Area
Existing Dental Clinic	265.49 m ²
Unit # 1	173.59 m ²
Unit # 2	120.37 m ²
Unit # 3	122.57 m ²
	682.01 m ²

170 Abbott Street
Launceston, Newstead,
TAS 7250.
M : 0411 294 351
E : leigh@abd.com.au
www.adamsbuildingdesign.com.au
ABN 71 048 418 121
acc. # CC886J

No. Date Description

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Planning App2 A3



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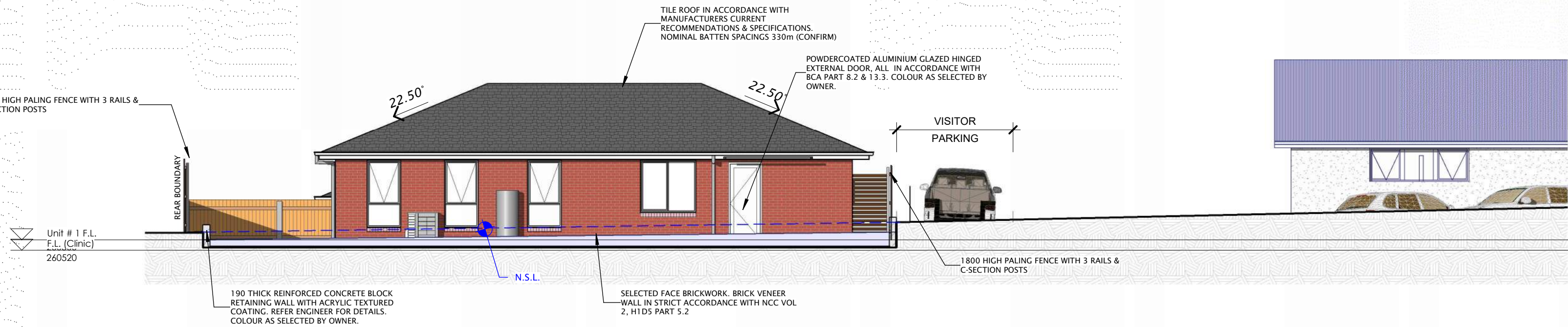
Project :
Proposed Units at
33 Parsonage St,
Deloraine, TAS. 7304

Drawing Title :
Floor Plan

Client :
GC Health Investments

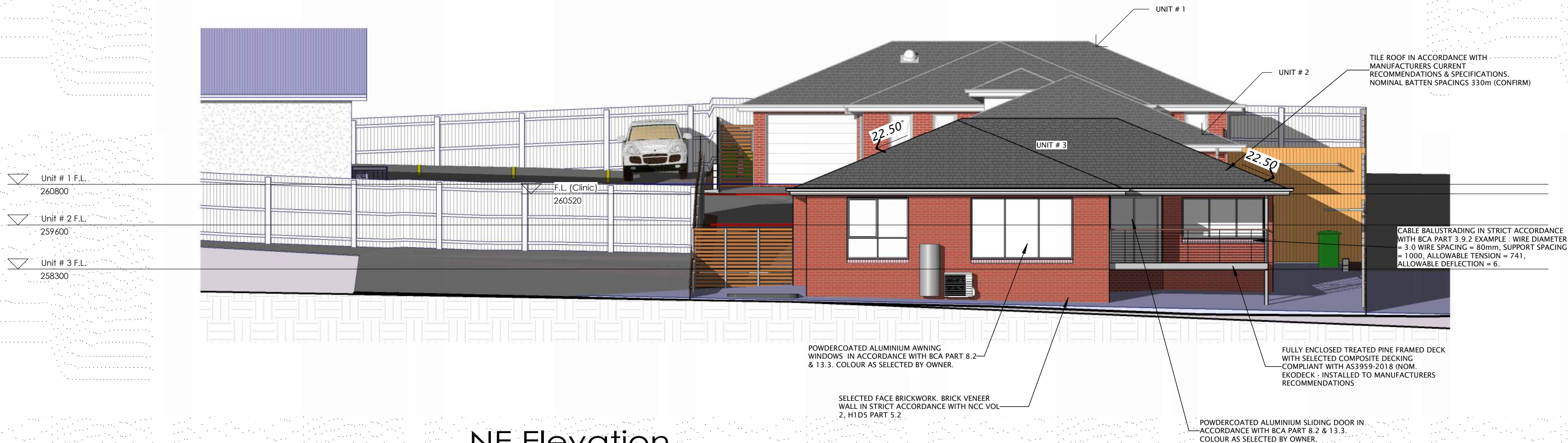
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Starting Date 22.07.24
Plot Date : 24/11/2025
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Project No. 040724
Drawing No. 6 /11



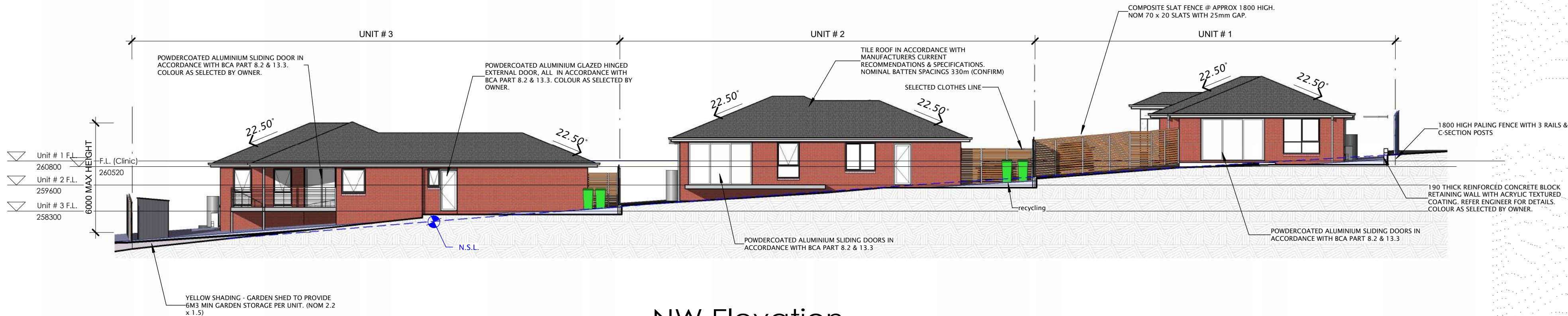
SW Elevation

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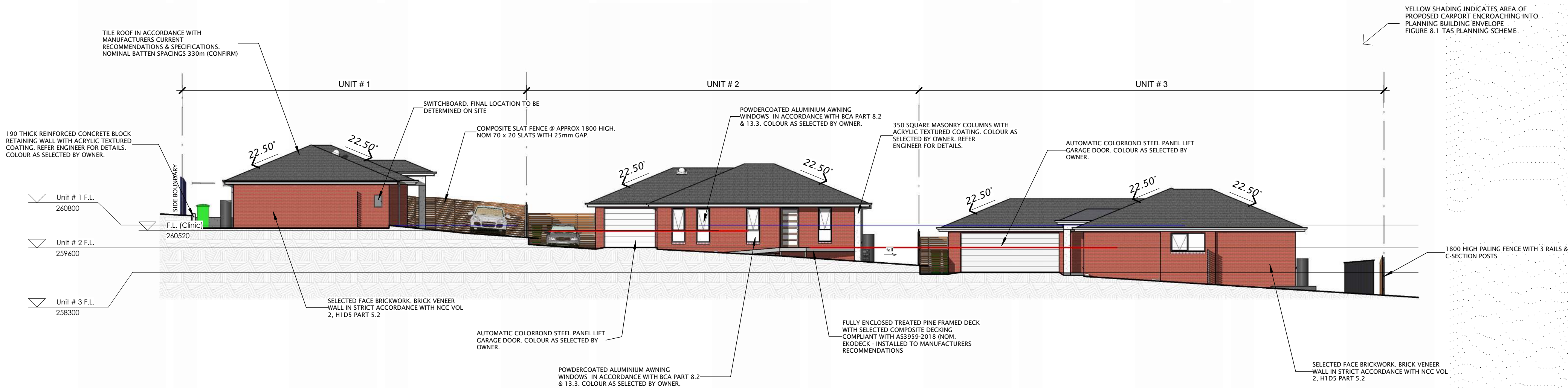
NE Elevation

1 : 100



NW Elevation

1 : 150



SE Elevation

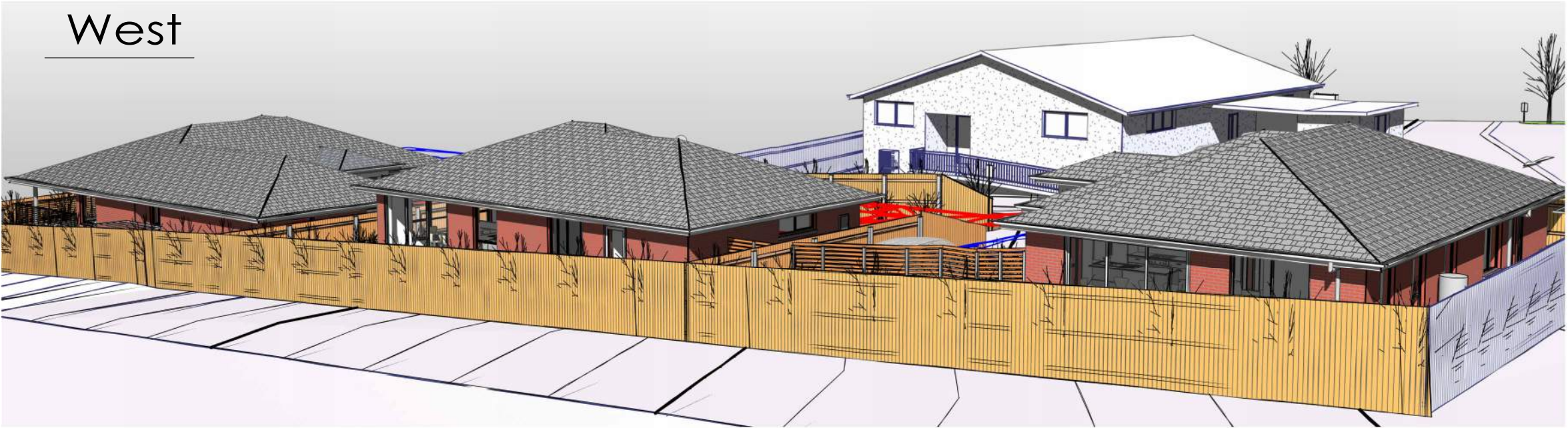
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East

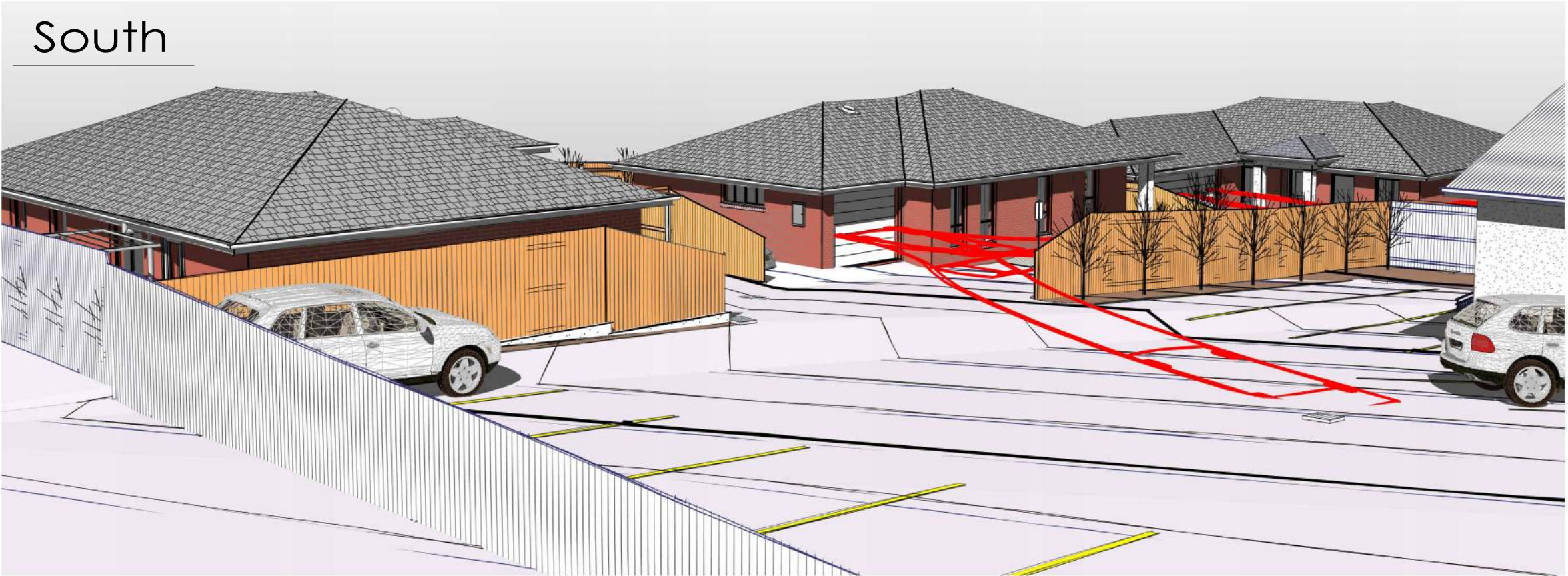


North

West



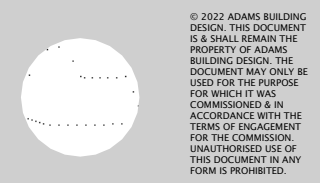
South



NOTE:
GROUND LEVELS INDICATED IN 3D IMAGES
ARE INDICATIVE ONLY & SHOULD NOT
BE RELIED UPON FOR CONSTRUCTION
PURPOSES. REFER SITE, CONTOUR PLAN
& ELEVATIONS FOR TRUE GROUND LEVELS.

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1	23.07.24	Concept # 1

No.	Date	Description
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Project :
**Proposed Units at
33 Parsonage St,
Deloraine,TAS. 7304**

Client :
GC Health Investments

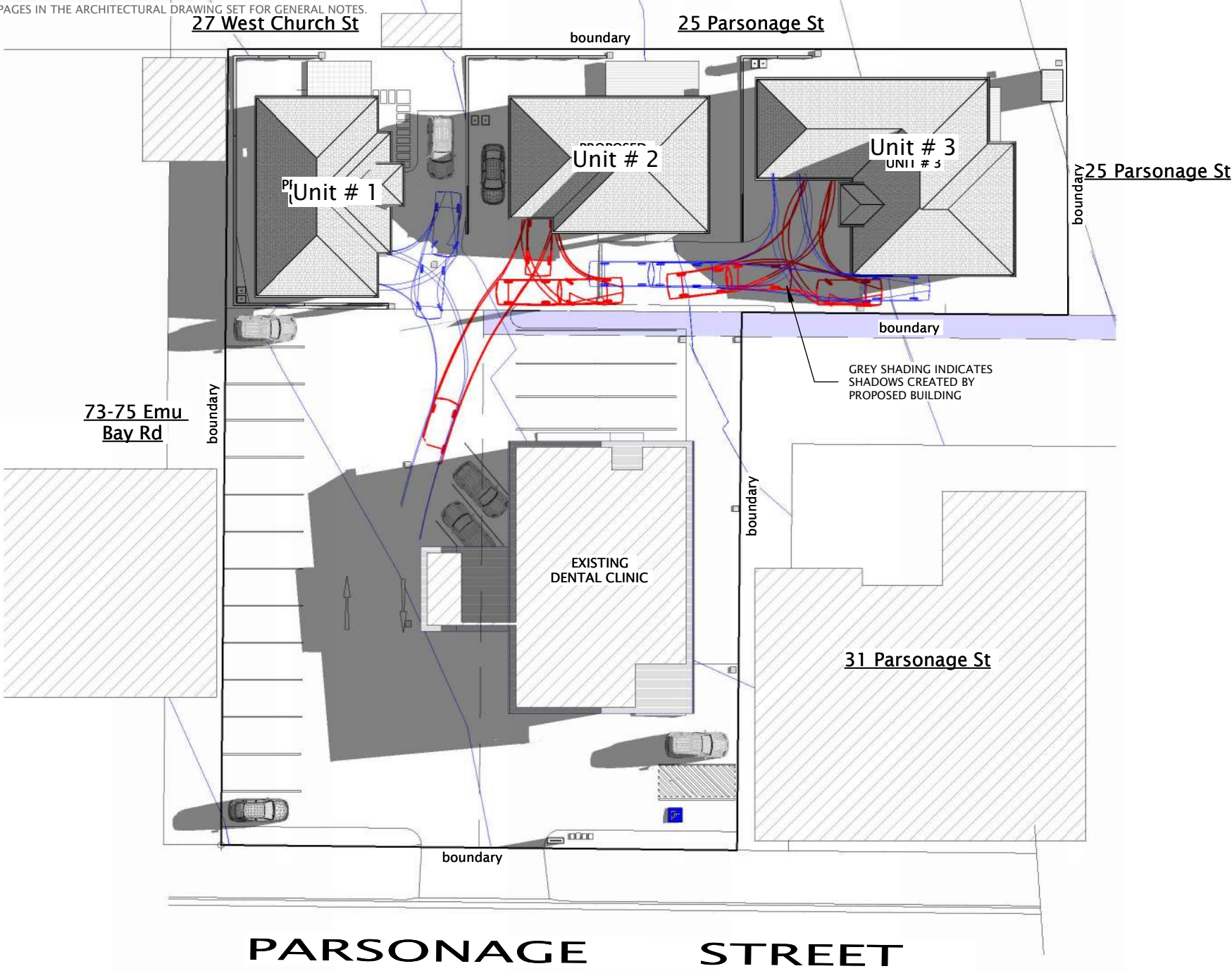
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3D Views

Scale :
Starting Date : 22.07.24

Plot Date : 24/11/2025
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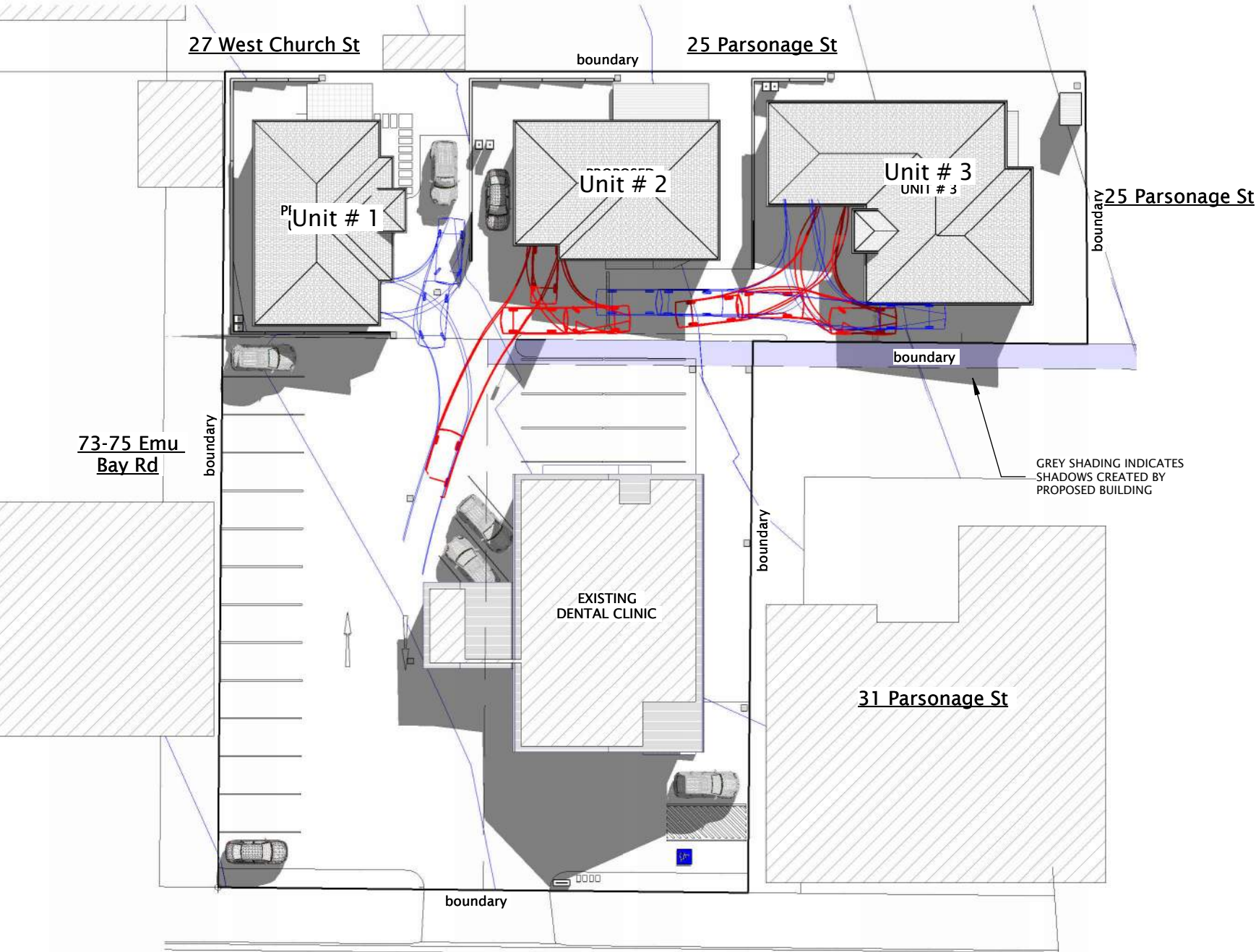
Project No. Drawing No.
040724 9 /11

NOTES:
-REFER TO LAST PAGES IN THE ARCHITECTURAL DRAWING SET FOR GENERAL NOTES.



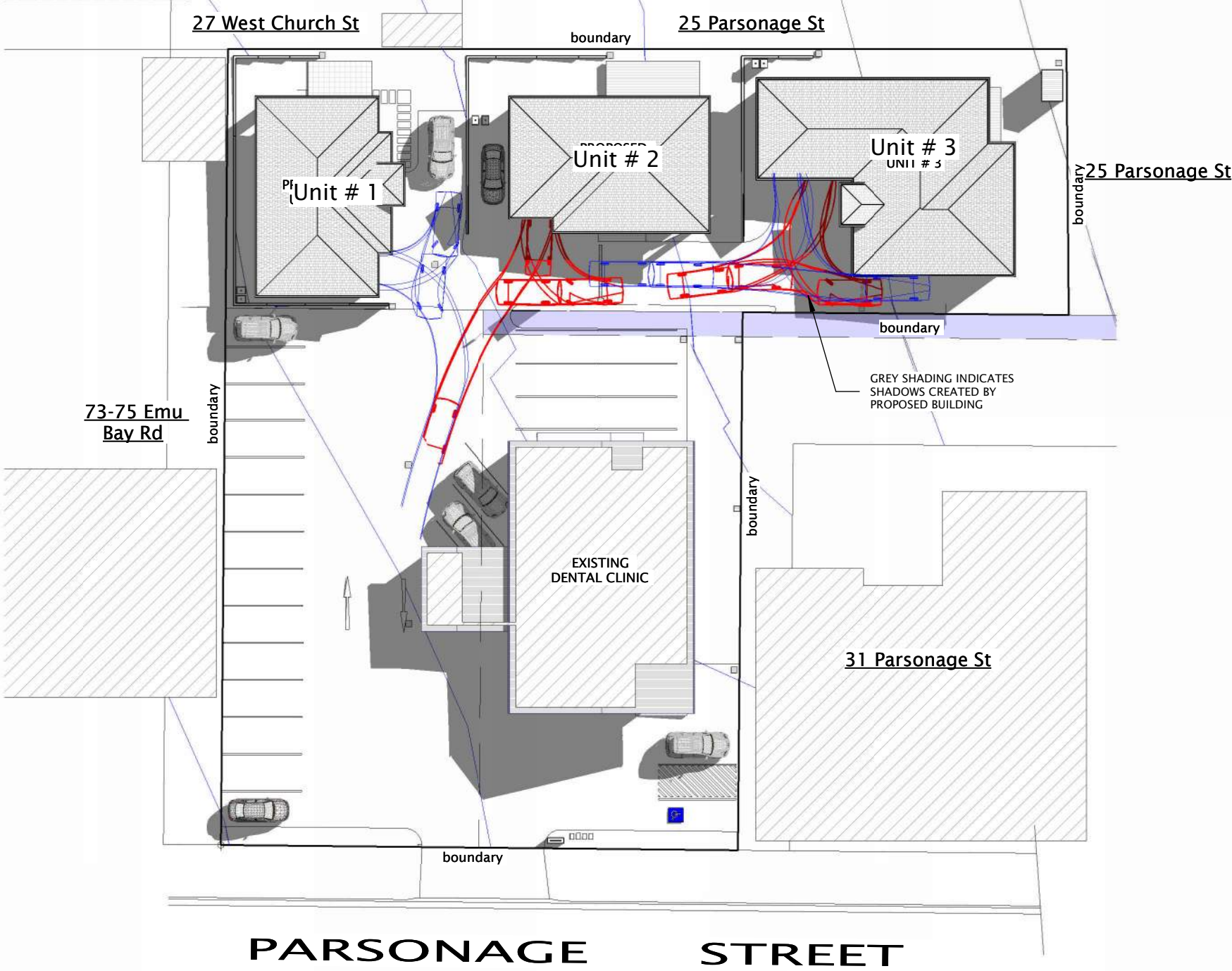
9AM June 21

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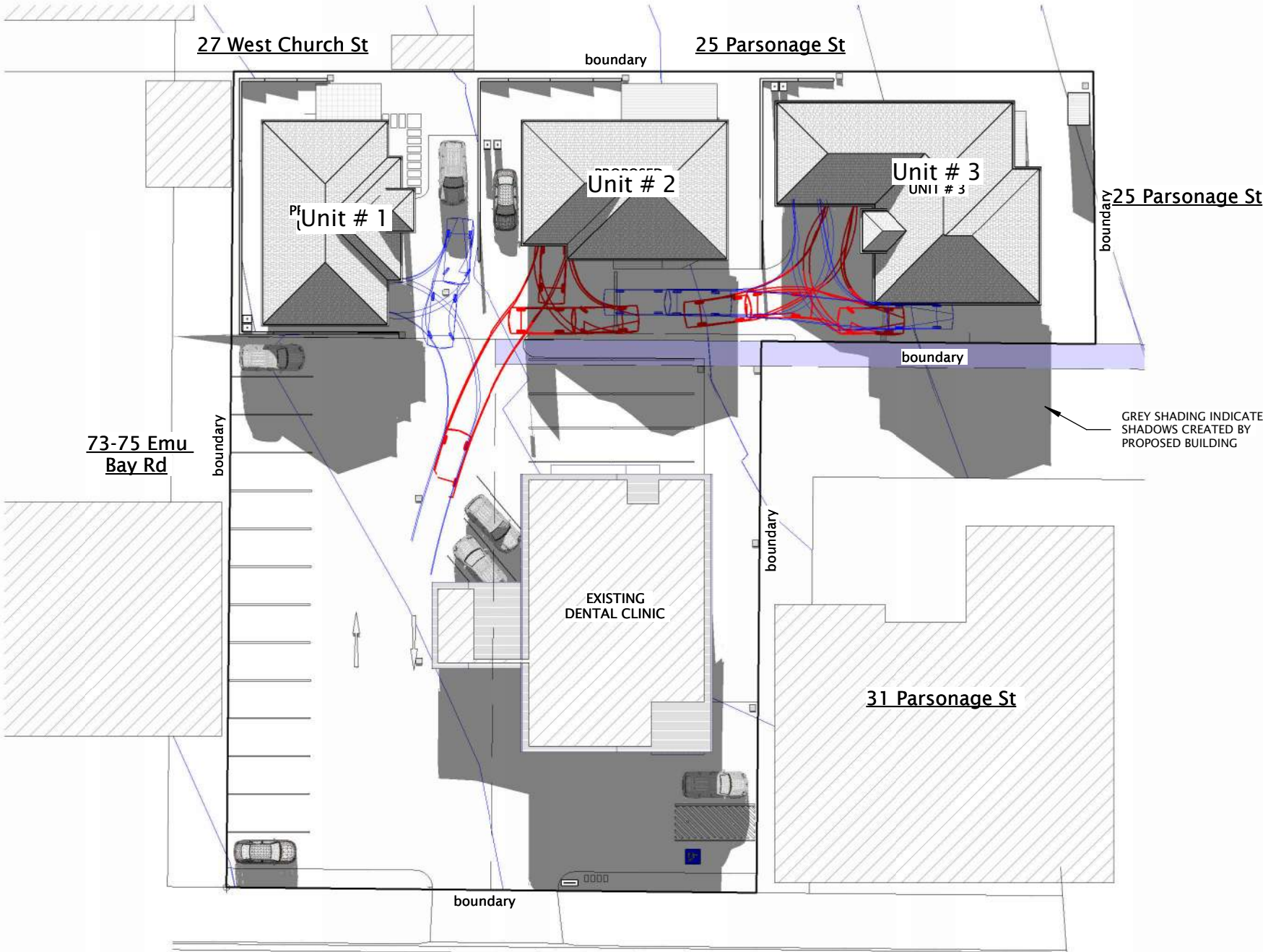
1PM June 21

1 : 400



11AM June 21

1 : 400

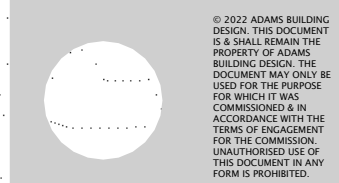


3PM June 21

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No.	Date	Description
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Project :
Proposed Units at
33 Parsonage St,
Deloraine, TAS. 7304

Client :
GC Health Investments

Drawing Title :
Sun Shade Diagrams

Scale : 1 : 400

Starting Date : 22.07.24

Plot Date : 24/11/2025
4:40:44 PM

Project No. Drawing No.
040724 10 /11

SITEWORKS

1. Site to be prepared in accordance with engineers or surveyors report if applicable.
2. Site to be excavated or filled to indicated levels.
3. Drainage works to be in accordance with NCC Volume 1 Section F, Health & Amenity and AS3500.3.2
4. Surface drainage—finished ground to fall away from building for a minimum distance of 1000 at 1:20 minimum and to a point where ponding will not occur.
5. Downpipes to be connected into Council stormwater as soon as the roof is installed.
6. Install AG drain prior to footing excavation. See Drainage Plan for location.
7. Excavated material placed up-slope of AG drain. To be removed when building works are complete and used as fill on site for any low points. Install a sediment fence on the downslope side of material.
8. Construction vehicles to be parked on the street only, to prevent transferring debris onto the Street.
9. Finished slab level to be:
 - 150mm above finished ground level.
 - 50mm above paved surfaces.
 - prevent ponding of water under suspended floors.

LANDSCAPING

Conveniently located taps or a fixed sprinkler system shall be installed for the purpose of watering all lawns & landscaped areas.

SITE SERVICES

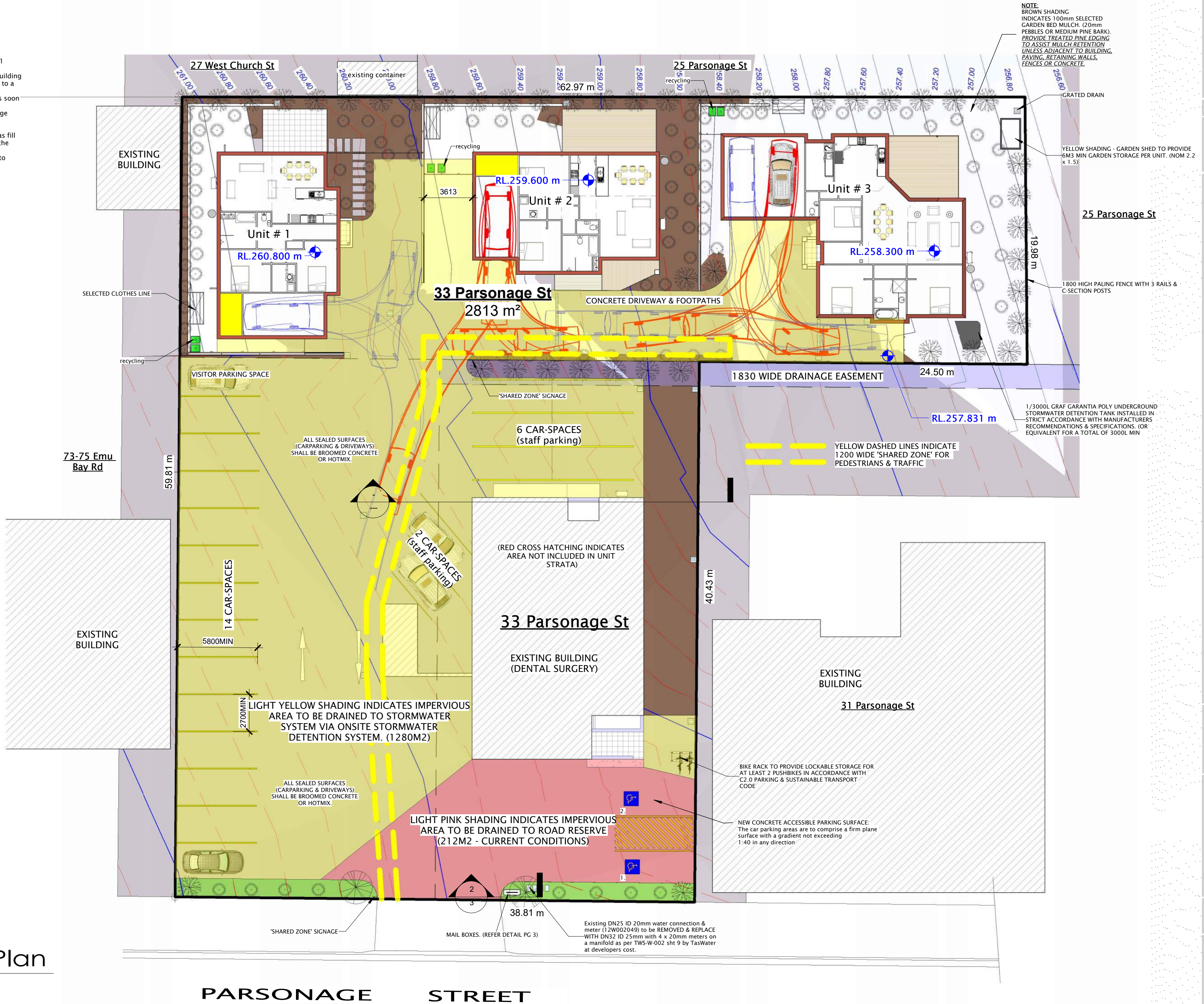
Electricity, Gas, Telephone, Water, Stormwater & Sewer Services locations are to be determined on site & connected as per local authority requirements.

EXTERIOR LIGHTING

Exterior lighting to illuminate pathways & carparking areas must be controlled by a sensor & shielded to prevent direct light being emitted outside the site.

CONTOURS

Contours are indicative only for the site.
Refer Elevations for accurate representation of existing ground levels. The contours on this plan are to be used for the sole purpose of approvals & construction of this proposal & are to be used for no other future purpose.

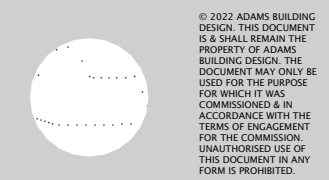


Sealed Surfaces Plan

1 : 200

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No.	Date	Description
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Project :
**Proposed Units at
33 Parsonage St,
Deloraine, TAS. 7304**

Client :
GC Health Investments

Drawing Title :
Sealed Surfaces Plan

Scale :
1 : 200

Starting Date :
22.07.24

Plot Date :
**24/11/2025
4:40:46 PM**

Project No.
040724

Drawing No.
11 /11



Planning Compliance Report

Address: 33 Parsonage Street, Deloraine TAS 7304

Client: GC Health Investments

Council: Meander Valley Council

Zone: 15.0 – General Business Zone

Overlays: None

PID: 1898430

Title Vol/Fol: 160068 / 02

Site Area: 2 812.53 m²

Climate Zone: 7

Existing Use: Dental Surgery (272.59 m²)

Proposed Development: Retention of existing dental surgery and construction of three residential units

Building Areas: U1 173.59 m², U2 120.37 m², U3 122.57 m²

Clause 15.3.1 – Use Standards

Objective:

That uses are consistent with the zone purpose and do not cause unreasonable impacts on adjoining zones.

Acceptable Solutions	Performance Criteria	Response / Assessment
A1.1 – A use listed as No Permit Required or Permitted in Table 15.3 is allowed.	P1.1 – A use must not unreasonably impact residential amenity and must be consistent with the zone purpose.	Existing dental surgery (retained) is Permitted under Health Services. Proposed residential units are Discretionary but complement the business use by

		providing on-site accommodation without impacting operations or amenity. Complies with P1.1.
--	--	----------------------------------------------------------------------------------------------

Clause 15.4.2 – Setback and Building Envelope Requirements

Objective:

That the siting and scale of buildings maintain an appropriate relationship with adjoining land, particularly where adjoining the General Residential Zone, to minimise unreasonable impacts on residential amenity.

Acceptable Solutions	Performance Criteria	Response / Assessment
A1.1 – Frontage setback ≥ 5 m.	P1.1 – Frontage setback provides reasonable streetscape transition.	Existing dental building is retained at the front; new units are to the rear, well behind the front building line. Complies.
A2.1 – Setback from residential zone boundary ≥ 5 m.	P2.1 – Setback avoids unreasonable loss of amenity through bulk, overshadowing, or privacy loss.	Unit 2 setback 4.1 m NW; Unit 3 2.7 m NW and 4.4 m NE. Although non-compliant with A2.1, adjoining 25 Parsonage St is a large ~3 500 m ² site mainly car parking with a 300 m ² building ~20 m away. Minimal impact to amenity. Satisfies P2.1.
A3.1 – Building height ≤ 10 m and within 45° envelope.	P3.1 – Height and form maintain amenity and scale.	All units single storey (< 6 m height). Complies.

Clause E5.0 – Road and Railway Assets Code

Objective:

That development does not adversely affect road safety or traffic efficiency.

Acceptable Solutions	Performance Criteria	Response / Assessment
A1.1 – Use does not increase vehicle movements to a	P1.1 – Traffic generated must not unreasonably impact road efficiency or safety.	Access via existing Parsonage Street crossing retained. Total daily vehicle

category 1-3 road by > 40 per day.		movements well below threshold. Complies.
A2.1 – Access must comply with AS2890.1 and AS2890.2.	P2.1 – Access designed for safe and efficient use.	Shared access way through existing dental car park (marked yellow on plans). Meets AS2890 layout standards. Complies.

Clause E6.0 – Parking and Sustainable Transport Code

Objective:

That an appropriate level of parking is provided to meet demand without adverse impact.

Acceptable Solutions	Performance Criteria	Response / Assessment
A1.1 – Parking spaces provided per Table E6.1.	P1.1 – Sufficient on-site parking provided to meet use demand.	Dental surgery (4 consult rooms) = 18 spaces. Unit 1 (2 bed) = 2, Unit 2 (2 bed) = 2, Unit 3 (3 bed) = 3, plus 1 visitor. Total 26 spaces. Exceeds requirements. Complies.
A2.1 – Parking layout to AS2890.1.	P2.1 – Layout provides safe and efficient movement.	All parking integrated within existing sealed car park with adequate turning circles and clearances. Complies.
A3.1 – Bicycle and motorcycle spaces as per Table E6.2.	P3.1 – Adequate facilities for alternative transport modes.	On-site hardstand and storage areas available for bicycles at each unit. Complies.

Clause E7.0 – Servicing and Stormwater Code

Objective:

That development provides adequate services for wastewater, stormwater and utilities without adverse impact.

Acceptable Solutions	Performance Criteria	Response / Assessment
A1.1 – Each lot / building connected to reticulated services.	P1.1 – Development must provide adequate servicing to satisfy demand.	New DN 225 stormwater main to connect to existing manhole at 31 West Church Street via

		new easement through 25 Parsonage St and 31 West Church St. Meets P1.1.
A2.1 – Stormwater to be gravity-fed where practicable.	P2.1 – Alternative systems must perform equivalently.	Proposed gravity fall connection demonstrated in engineering design. Complies.

Additional Site Information

- Private Open Space: Provided for each unit meeting E8 minimum areas.
- Storage: 6 m³ under-cover garden storage per unit (Units 1 & 2 integrated; Unit 3 separate shed).
- Access: Via shared dental car park access way (yellow marked).
- Clotheslines & Recycling: Provided for each unit.

Assessment Summary

The proposal meets the intent of the General Business Zone and E5, E6 and E7 Codes. It provides adequate setbacks, parking, open space, and servicing without adverse amenity impact to the adjoining residential zone. Overall, the proposal complies with the Performance Criteria of Clauses 15.4.2, E5.0, E6.0 and E7.0.

From: "Leigh Adams" <leigh@abd.com.co>
Sent: Fri, 5 Dec 2025 16:30:57 +1100
To: "Planning - Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: Re: PA\25\0022 - S54 RFI - 33 Parsonage Street, Deloraine - Multiple dwellings

hi Brenton
please see email below from the Falcon Group.
hope this is sufficient.
cheers Leigh

Ben Trimmer | Falcon Building Group

3:49 PM (39 minutes ago)

to Mark, me

Hello Leigh,
We only use the building for office and storage, no metal fabrication
If you can send us a letter to sign we will get it back to you
Feel free to call with any queries - cheers

Kind regards,

Ben Trimmer

0488 905 662

27 West Church Street, Deloraine TAS 7304

falconbuilding.com.au



HOLIDAY CLOSURE NOTICE:

Our office will be closed for the festive season from **Friday, 19th December 2025** and will reopen on **Tuesday, 6th January 2026**.

We wish you a joyful holiday and a prosperous New Year!



A: 170 Abbott Street, Newstead, Launceston, TAS. 7250

M: 0411 294 351