

PLANNING NOTICE

An application has been received for a Permit under s.57 of the Land Use Planning Approvals Act 1993:

APPLICANT:	Design to Live - PA\24\0136
PROPERTY ADDRESS:	12 Sandscape Court HADSPEN (CT: 185620/179)
DEVELOPMENT:	Single dwelling & Residential outbuilding (garage) - Building envelope.

The application can be inspected until **Tuesday, 30 January 2024**, at www.meander.tas.gov.au or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to planning@mvc.tas.gov.au. Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Dated at Westbury on 13 January 2024.

Jonathan Harmey
GENERAL MANAGER

APPLICATION FORM

PLANNING PERMIT

Land Use Planning and Approvals Act 1993



- Application form & details **MUST** be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work? ☐ Yes ☐ No
 - Have you already received a Planning Review for this proposal? ☐ Yes ☐ No
 - Is a new vehicle access or crossover required? ☐ Yes ☐ No
- Indicate by ✓ box

PROPERTY DETAILS:

Address:	<input type="text" value="LOT 179 SANDSCAPE COURT"/>	Certificate of Title:	<input type="text" value="185620/179"/>
Suburb:	<input type="text" value="HADSPEN"/>	<input type="text" value="7290"/>	Lot No: <input type="text"/>
Land area:	<input type="text" value="713"/>	m^2 / ha	
Present use of land/building:	<input type="text" value="VACANT"/>	(vacant, residential, rural, industrial, commercial or forestry)	

- Does the application involve Crown Land or Private access via a Crown Access Licence: ☐ Yes ☐ No
- Heritage Listed Property: ☐ Yes ☐ No

DETAILS OF USE OR DEVELOPMENT:

- Indicate by ✓ box
- | | | | |
|---|--|--------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> Building work | <input type="checkbox"/> Change of use | <input type="checkbox"/> Subdivision | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> Forestry | <input type="checkbox"/> Other | | |

Total cost of development (inclusive of GST): Includes total cost of building work, landscaping, road works and infrastructure

Description of work:

Use of building: (main use of proposed building – dwelling, garage, farm building, factory, office, shop)

New floor area: m^2 New building height: m

Materials: External walls: Colour:
Roof cladding: Colour:

SEARCH OF TORRENS TITLE

VOLUME 185620	FOLIO 179
EDITION 2	DATE OF ISSUE 23-Nov-2023

SEARCH DATE : 09-Jan-2024

SEARCH TIME : 04.50 PM

DESCRIPTION OF LAND

Town of HADSPEN

Lot 179 on Sealed Plan 185620

Derivation : Part of 1000 Acres Gtd. to Alexander Clerk

Prior CT 183285/803

SCHEDULE 1

N165907 TRANSFER to PHILLIP THOMAS HARDY and GRACIE LOUISE
HARDY Registered 23-Nov-2023 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP185620 COVENANTS in Schedule of Easements

SP185620 FENCING COVENANT in Schedule of Easements

SP117185, SP179547, SP180128, SP182324 & SP183285 COVENANTS in
Schedule of EasementsSP117185, SP179547, SP180128, SP182324 & SP183285 FENCING
COVENANT in Schedule of Easements

SP117185 WATER SUPPLY RESTRICTION

SP117185 SEWERAGE AND/OR DRAINAGE RESTRICTION

B461495 PROCLAMATION under Section 9A and 52A of the Roads
and Jetties Act 1935 Registered 19-Sep-1991 at noonB675375 PROCLAMATION under Section 9A and 52A of the Roads
and Jetties Act 1935 Registered 22-Mar-1994 at noonE167898 AGREEMENT pursuant to Section 78 of the Land Use
Planning and Approvals Act 1993 Registered
29-Sep-2020 at noonE296068 AGREEMENT pursuant to Section 78 of the Land Use
Planning and Approvals Act 1993 Registered
28-Jun-2022 at noonUNREGISTERED DEALINGS AND NOTATIONS

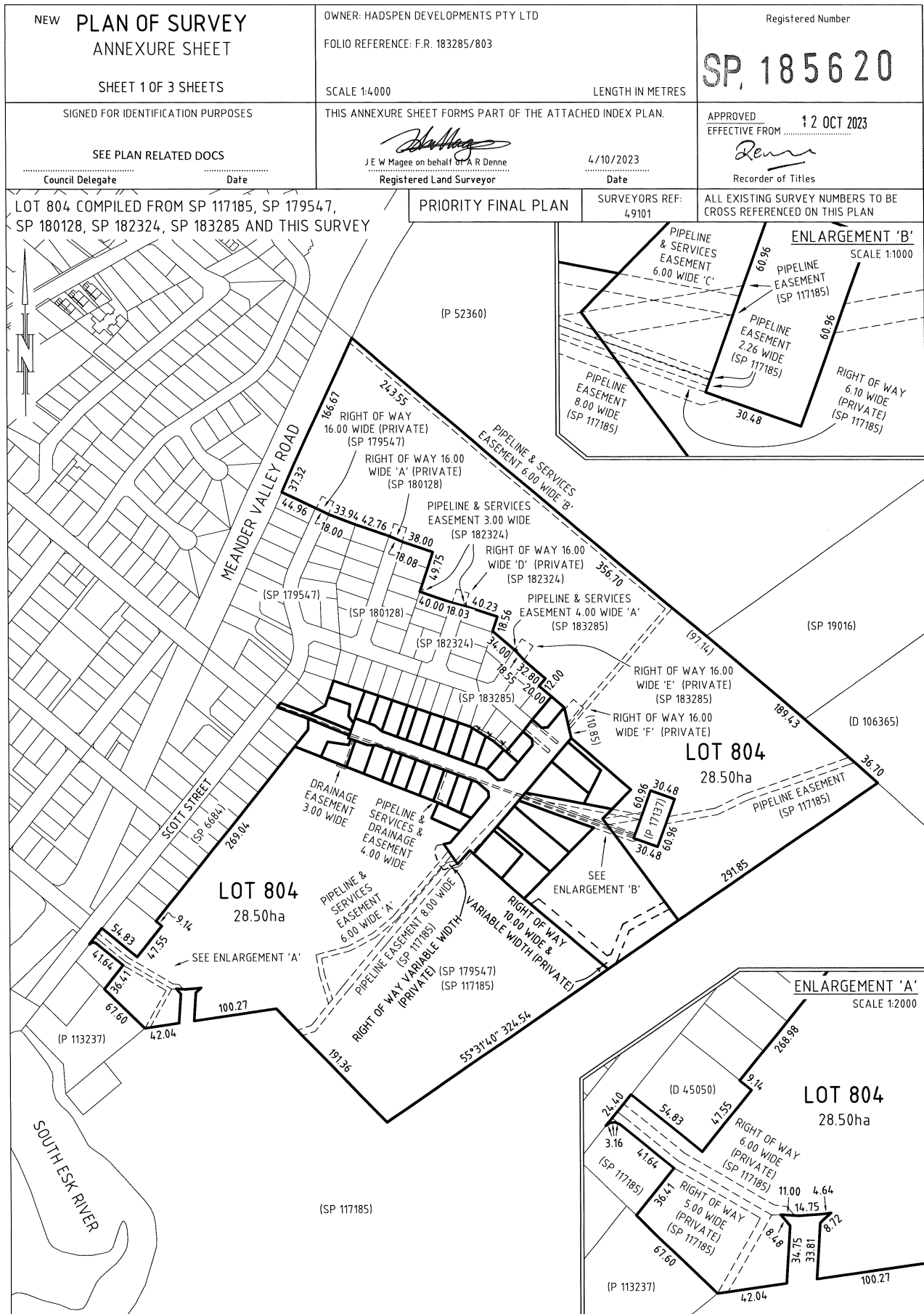
No unregistered dealings or other notations

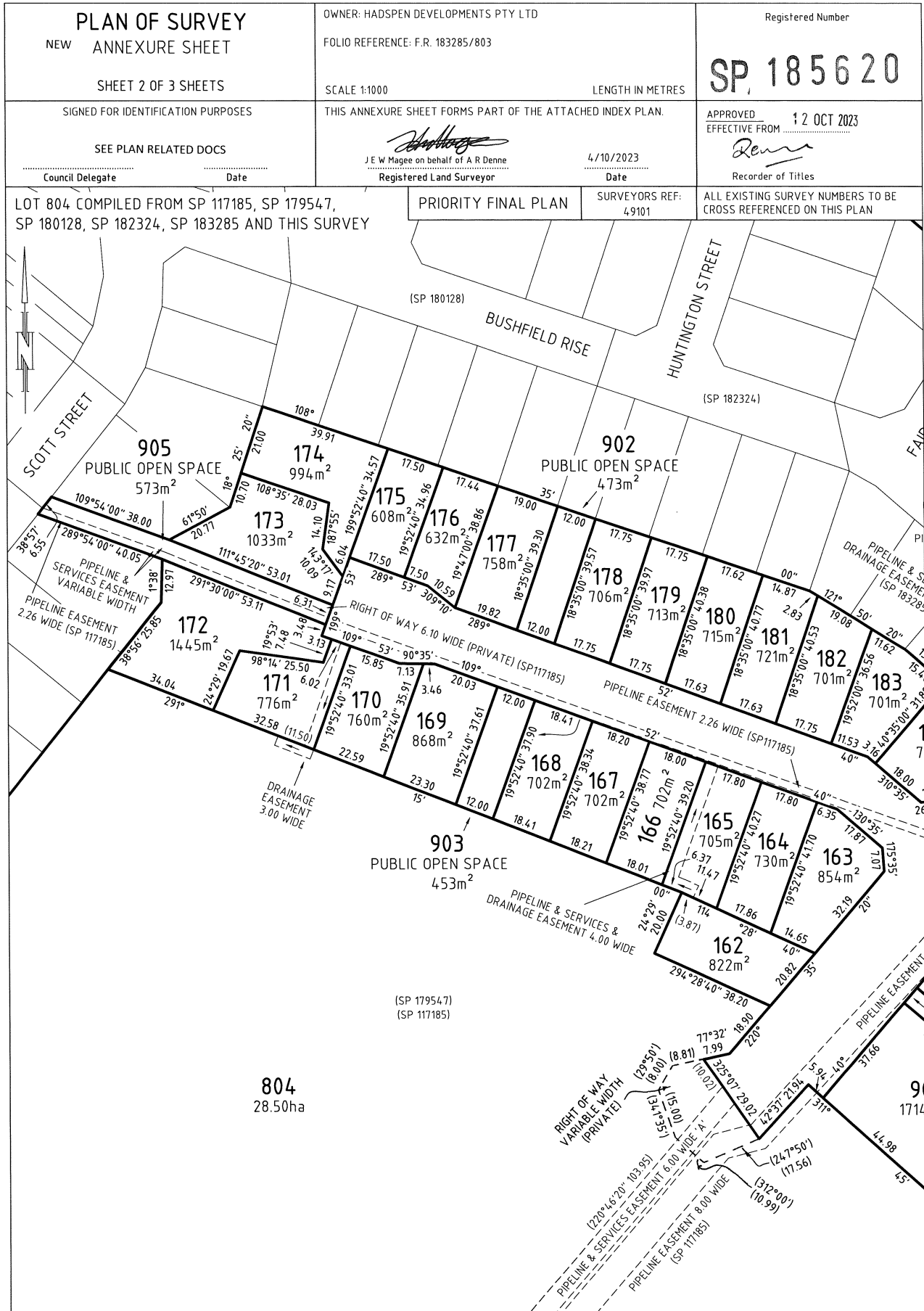
OWNER: HADSPEN DEVELOPMENTS PTY LTD FOLIO REFERENCE: F.R. 183285/803 GRANTEE: PART OF 1000 ACRES GRANTED TO ALEXANDER CLERK	NEW PLAN OF SURVEY BY SURVEYOR: A.R.DENNE of OPDA <small>SURVEYORS, ENGINEERS & PLANNERS</small> 3/23 BRISBANE STREET, LAUNCESTON LOCATION: TOWN OF HADSPEN SCALE 1:2000	Registered Number SP 185620 APPROVED EFFECTIVE FROM 12 OCT 2023 <i>Renne</i> Recorder of Titles
PRIORITY FINAL PLAN		SURVEYORS REF: 49101 ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

LOT 804 COMPILED FROM SP 117185, SP 179547, SP 180128, SP 182324, SP 183285 AND THIS SURVEY

J E W Magee on behalf of A R Denne
 Registered Land Surveyor
 4/10/2023
 Date

SEE PLAN RELATED DOCS
 Council Delegate
 Date





SCHEDULE OF EASEMENTS

NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.

Registered Number

SP 185620

PAGE 1 OF 5 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lot 72 on the Plan is subject to a Right of Drainage of the in favour of the Meander Valley Council over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE (SP 183285)" shown passing through Lot 72 on the Plan.

Lot 72 ("the Lot") on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE (SP 183285)" shown on the Plan ("the Easement Land").

Lot 165 on the Plan is subject to a Right of Drainage of the in favour of the Meander Valley Council over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE" shown passing through Lot 165 on the Plan.

Lot 165 ("the Lot") on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE" shown on the Plan ("the Easement Land").

Lot 171 on the Plan is subject to a Right of Drainage of the in favour of the Meander Valley Council over the land marked "DRAINAGE EASEMENT 3.00 WIDE" shown passing through Lot 171 on the Plan.

Lot 804 on the Plan is subject to a Right of Carriage Way in favour of the Meander Valley Council over the land marked "RIGHT OF WAY 16.00 WIDE (PRIVATE) (SP 179547)" shown passing through Lot 804 on the Plan.

Lot 804 on the Plan is subject to a Right of Carriage Way in favour of the Meander Valley Council over the land marked "RIGHT OF WAY 16.00 WIDE 'A' (PRIVATE) (SP 180128)" shown passing through Lot 804 on the Plan.

Lot 804 on the Plan is subject to a Right of Carriage Way in favour of the Meander Valley Council over the land marked "RIGHT OF WAY 16.00 WIDE D' (PRIVATE) (SP 182324)" shown passing through Lot 804 on the Plan.


Barry David Sproal
Anthony William Saunders

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Hadspen Developments Pty Ltd (ACN 635 047 451)	PLAN SEALED BY: Meander Valley Council
FOLIO REF: Certificate of Title Volume 183285 Folio 803	DATE: 8 September 2023
SOLICITOR Sproal & Associates – BD Sproal	PA 121/0146
& REFERENCE: 222862	REF NO. Council Delegate

NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 5 PAGES	Registered Number SP 185620
SUBDIVIDER: Hadspen Developments Pty Ltd FOLIO REFERENCE: Volume 183285 Folio 803	

Lot 804 on the Plan is subject to a Right of Drainage ~~of the~~ in favour of the Meander Valley Council over the land marked "DRAINAGE EASEMENT 3.00 WIDE" shown passing through Lot 804 on the Plan.

Lot 804 ("the Lot") on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE (SP182324)" shown on the Plan ("the Easement Land").

Lot 804 ("the Lot") on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 4.00 WIDE 'A' (SP183285)" shown on the Plan ("the Easement Land").

Lot 804 ("the Lot") on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 6.00 WIDE 'A'" shown on the Plan ("the Easement Land").

Lot 804 ("the Lot") on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 6.00 WIDE 'B'" shown on the Plan ("the Easement Land").

Lot 804 ("the Lot") on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 6.00 WIDE 'C'" shown on the Plan ("the Easement Land").

Lot 804 on the Plan is subject to a Right of Carriage Way in favour of the Meander Valley Council over the land marked "RIGHT OF WAY 16.00 WIDE 'E' (PRIVATE) (SP 183285)" shown passing through Lot 804 on the Plan.

Lot 804 on the Plan is subject to a Right of Carriage Way in favour of the Meander Valley Council over the land marked "RIGHT OF WAY 16.00 WIDE 'F' (PRIVATE)" shown passing through Lot 804 on the Plan.

Lot 804 on the Plan is subject to a Right of Carriage Way (appurtenant to the Rivers and Water Supply Commission) over the land marked "RIGHT OF WAY 6.10 WIDE (PRIVATE) (SP 117185)" shown passing through Lot 804 on the Plan.


Lot 804 on the Plan is subject to a Right of Carriage Way (appurtenant to Lot 4 on SP 117185) over the land marked "RIGHT OF WAY 6.00 WIDE (PRIVATE) (SP 117185)" shown passing through Lot 804 on the Plan.

Lot 804 on the Plan is subject to a Right of Carriage Way (appurtenant to the Rivers and Water Supply Commission) over the land marked "RIGHT OF WAY 5.00 WIDE (PRIVATE) (SP 117185)" shown passing through Lot 804 on the Plan.

Lot 804 on the Plan is subject to a Pipeline Easement (as defined herein) in favour of the Rivers and Water Supply Commission over the area marked "PIPELINE EASEMENT 2.26 WIDE (SP 117185)" shown passing through Lot 804 on the Plan together with a right of entry for maintenance.

Lots 88,89, 804 and 1200 on the Plan are each subject to a Pipeline Easement (as defined herein) and a Right of Carriage Way in favour of the Rivers and Water Supply Commission over the land marked "PIPELINE EASEMENT 8.00 WIDE (SP 117185)" shown passing through those lots on the Plan.


Barry David Sproal


Anthony William Saunders

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO
SCHEDULE OF EASEMENTS

PAGE 3 OF 5 PAGES

Registered Number

SP 185620

SUBDIVIDER: Hadspen Developments Pty Ltd
FOLIO REFERENCE: Volume 183285 Folio 803

Lot 804 on the Plan is subject to a Pipeline Easement (as defined herein) in favour of the Rivers and Water Supply Commission over the land marked "PIPELINE EASEMENT (SP 117185)" shown passing through Lot 804 on the Plan.

Lot 804 on the Plan is together with a Right of Carriage Way over the land marked "RIGHT OF WAY 10.00 WIDE & VARIABLE WIDTH (PRIVATE)" shown passing through Lot 908 on the Plan.

Lot 804 on the Plan is subject to a Right of Carriage Way in favour of Meander Valley Council over the land marked "RIGHT OF WAY VARIABLE WIDTH (PRIVATE)" shown passing through Lot 804 on the Plan.

Lot 905 ("the Lot") on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT VARIABLE WIDTH" shown on the Plan ("the Easement Land").

Lot 905 on the Plan is subject to a Right of Carriage Way (appurtenant to the Rivers and Water Supply Commission over the land marked "RIGHT OF WAY 6.10 WIDE (PRIVATE) (SP 117185)" shown passing through Lot 905 on the Plan.

Lot 905 on the Plan is subject to a Pipeline Easement (as defined herein) in favour of the Rivers and Water Supply Commission over the area marked "PIPELINE EASEMENT 2.26 WIDE (SP 117185)" shown passing through Lot 905 on the Plan together with a right of entry for maintenance.

Lot 908 on the Plan is subject to a Right of Carriage Way (appurtenant to the Rivers and Water Supply Commission over the land marked "RIGHT OF WAY 6.10 WIDE (PRIVATE) (SP 117185)" shown passing through Lot 908 on the Plan.

Lot 908 on the Plan is subject to a Right of Carriage Way (appurtenant to Lot 804 on the Plan) over the land marked "RIGHT OF WAY 10.00 WIDE & VARIABLE WIDTH (PRIVATE)" shown passing through Lot 908 on the Plan.

Lot 908 on the Plan is subject to a Right of Carriage Way in favour of TasWater over the land marked "RIGHT OF WAY 10.00 WIDE & VARIABLE WIDTH (PRIVATE)" shown passing through Lot 908 on the Plan.

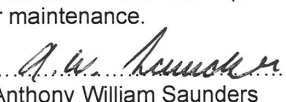
Lot 908 on the Plan is subject to a Pipeline Easement (as defined herein) in favour of the Rivers and Water Supply Commission over the area marked "PIPELINE EASEMENT 2.26 WIDE (SP 117185)" shown passing through Lot 908 on the Plan together with a right of entry for maintenance.

Lot 908 on the Plan is subject to a Pipeline Easement (as defined herein) and a Right of Carriage Way in favour of the Rivers and Water Supply Commission over the area marked "PIPELINE EASEMENT 8.00 WIDE (SP 117185)" shown passing through Lot 908 on the Plan.

Lot 908 ("the Lot") on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 6.00 WIDE 'C'" shown on the Plan ("the Easement Land").

Lot 908 on the Plan is subject to a Pipeline Easement (as defined herein) in favour of the Rivers and Water Supply Commission over the land marked "PIPELINE EASEMENT (SP 117185)" shown passing through Lot 908 on the Plan.

Lot 1200 on the Plan is subject to a Pipeline Easement (as defined herein) in favour of the Rivers and Water Supply Commission over the area marked "PIPELINE EASEMENT 2.26 WIDE (SP 117185)" shown passing through Lot 1200 on the Plan together with a right of entry for maintenance.


Barry David Sproal
Anthony William Saunders

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 5 PAGES	Registered Number SP 185620
SUBDIVIDER: Hadspen Developments Pty Ltd FOLIO REFERENCE: Volume 183285 Folio 803	

Lot 1200 ("the Lot") on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE (SP183285)" shown on the Plan ("the Easement Land").

Lot 1200 ("the Lot") on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 4.00 WIDE 'B' (SP183285)" shown on the Plan ("the Easement Land").

COVENANTS

Each lot on the Plan is burdened by the restrictive covenants created by and more fully set forth in SP 117185.

INTERPRETATION

In this Schedule of Easements:

"Pipeline Easement" means:


The full and free right and liberty to draw water through pipes now or to be installed as hereinafter appears within that portion of each Lot subject thereto marked pipeline easement on the plan and for that purpose to enter thereon and to lay in, under and upon the pipeline easement such pipe or pipes as shall from time to time be necessary for the purposes aforesaid and to draw water through such pipes and at all times to enter into and upon the pipeline easement for the purpose of maintaining any pumping system and inspecting, cleaning, maintaining, removing and renewing such pipes and to carry out all necessary work thereon causing as little damage as possible and making reasonable compensation for all damage done or caused thereby.

"Pipeline & Services Easement" means:

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorized by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorized to do or undertake
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure
- (4) run and pass sewerage, water and electricity through and along the Infrastructure
- (5) do all works reasonably required in connection with such activities or as may be authorized or required by any law:
 - (a) without doing unnecessary damage to the Easement Land, and
 - (b) leaving the Easement Land in a clean and tidy condition.
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorized by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land, and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.


Barry David Sprial


Anthony William Saunders

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ANNEXURE TO
SCHEDULE OF EASEMENTS

PAGE 5 OF 5 PAGES

Registered Number

SP 185620

SUBDIVIDER: Hadspen Developments Pty Ltd
FOLIO REFERENCE: Volume 183285 Folio 803

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

"Infrastructure" means infrastructure owned on for which TasWater is responsible and includes but is not limited to:

- (a) Sewer pipes and water pipes and associated valves,
- (b) Telemetry and monitoring devices,
- (c) Inspection and access pits,
- (d) Electricity assets and other conducting media (excluding telemetry and monitoring devices),
- (e) Markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure,
- (f) Anything reasonably require to support, protect or cover any other Infrastructure,
- (g) Any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewerage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity, and
- (h) Where the context permits, any part of the Infrastructure.

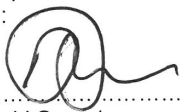
"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

FENCING COVENANT

The Owner of each lot on the Plan covenants with the Vendor (Hadspen Developments Pty Ltd) that the Vendor shall not be required to fence.

EXECUTED by HADSPEN DEVELOPMENTS PTY

LTD being the registered proprietor of the land
comprised in folio of the Register Volume 183285
Folio 803 pursuant to Section 127 of the Corporations
Act 2001:



Barry David Sproal
Director



Anthony William Saunders
Director

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.




PROPOSED DWELLING & SHED
12 SANDSCAPE COURT,
HADSPEN, 7290.



DRAWING #	DRAWING
HDS179-1	COVER PAGE
HDS179-2	SITE PLAN
HDS179-3	GROUND FLOOR PLAN
HDS179-4	EXTERNAL SERVICES
HDS179-5	ELEVATIONS NTH-STH
HDS179-6	ELEVATIONS EST-WST
HDS179-7	PRE-FAB SHED ELEVATIONS
HDS179-8	PERSPECTIVES

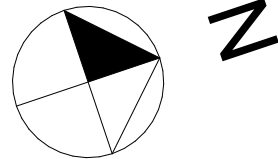
AREAS		COUNCIL		ZONE	
	(m²)	MEANDER VALLEY		GENERAL RESIDENTIAL	
DWELLING	253.60	LAND TITLE REFERENCE	185620/179	ENERGY STAR RATING	TBC
ALFRESCO	18.48	PROPERTY ID	9574082	CLIMATE ZONE	7
PORCH	3.59	LOT SIZE (M²)	713	ALPINE AREA	N/A
SHED	27.00	BAL RATING	LOW	CORROSION ENV'	N/A
		DESIGN WIND CLASS	TBC	SITE HAZARDS	N/A
		SOIL CLASSIFICATION	TBC		
		PLANNING OVERLAY	BUSHFIRE PRONE + LOCAL AREA OBJECTIVES + SPECIFIC AREA PLAN		

ATTACHMENTS

 <div>ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au</div>	CLIENT/S: GRACIE & PHIL HARDY	DRAWING COVER PAGE	I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.	SIGNATURE: DATE: SIGNATURE: DATE:	COPYRIGHT: This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.	REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	HDS179			
	SITE ADDRESS: 12 SANDSCAPE COURT, HADSPEN, 7290.					R1	09/11/2023	FOR REVIEW	DRAWN	D.M.	DRAWING	1/8			
									CHECKED	M.L.	SCALE (@A3)	NTS			



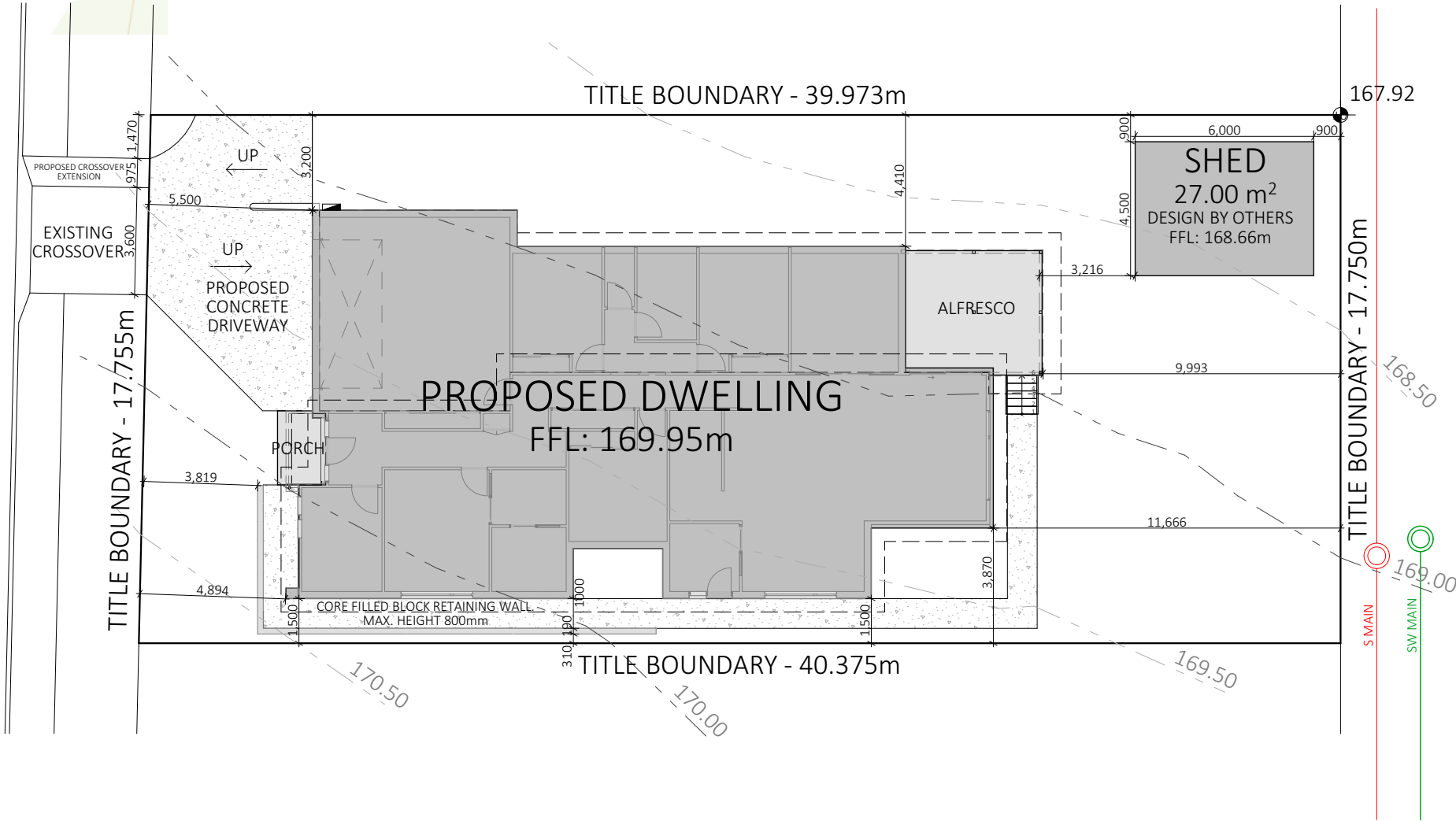
LOCALITY PLAN
NOT TO SCALE



AREA	m ²
DWELLING	253.60
ALFRESCO	18.48
PORCH	3.59
SHED	27.00



SANDSCAPE COURT



ACC # 371799313
ABN. 71 615 812 747
PH. 6344 7319
E. info@designtolive.com.au
W. designtolive.com.au

CLIENT/S:
GRACIE & PHIL HARDY

SITE ADDRESS:
12 SANDSCAPE COURT,
HADSPEN, 7290.

DRAWING
SITE PLAN

I/WE APPROVE THESE DRAWING TO BE
CORRECT PER CONTRACT.

SIGNATURE: DATE:
SIGNATURE: DATE:

COPYRIGHT:
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REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	HDS179
R1	09/11/2023	FOR REVIEW	DRAWN	D.M.	DRAWING	2/8
			CHECKED	M.L.	SCALE (@A3)	1:200



ACC # 371799313
ABN. 71 615 812 747
PH. 6344 7319
E. info@designtolive.com.au
W. designtolive.com.au

CLIENT/S:
GRACIE & PHIL HARDY

SITE ADDRESS:
12 SANDSCAPE COURT,
HADSPEN, 7290.

DRAWING
GROUND FLOOR
PLAN

I/WE APPROVE THESE DRAWING TO BE
CORRECT PER CONTRACT.

SIGNATURE:

DATE:

SIGNATURE:

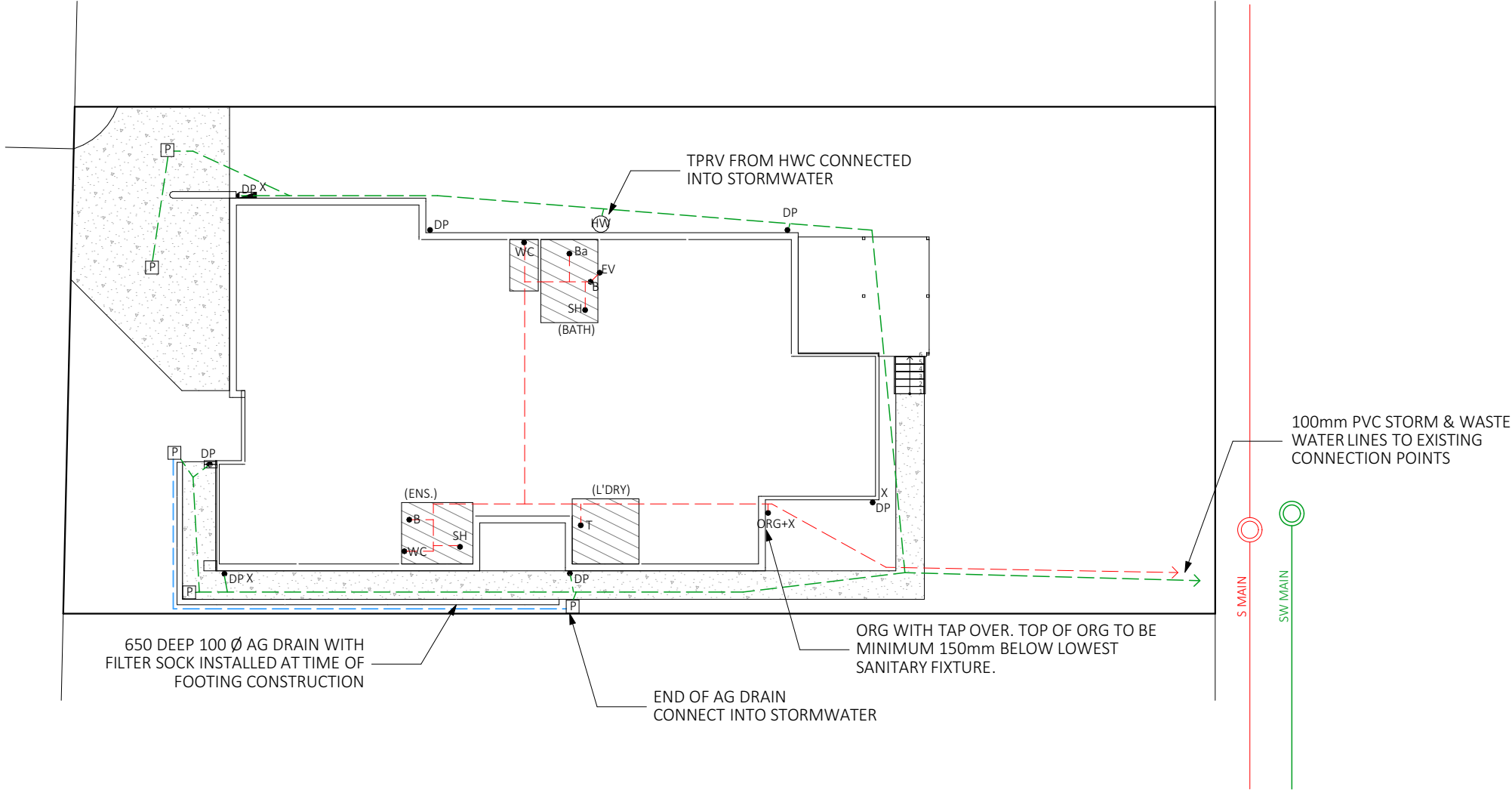
DATE:

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REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	HDS179
R1	09/11/2023	FOR REVIEW	DRAWN	D.M.	DRAWING	3/8
			CHECKED	M.L.	SCALE (@A3)	1:100

- LEGEND**
- B - BASIN
 - Ba - BATH
 - S - SINK (65Ø)
 - T - LAUNDRY TUB (65Ø)
 - SH - SHOWER
 - WC - WATER CLOSET
 - FW - FLOOR WASTE
 - EV - VENT (THROUGH TO ROOF)
 - FWG - FLOOR WASTE GULLY
 - IO - INSPECTION OPENING
 - ORG - O/FLOW RELIEF GULLY
 - RE - RODDING EYE
 - HW - HOT WATER CYLINDER
 - X - EXTERNAL TAP
 - P - DRAINAGE PIT (450 x 450mm)
 - DP - DOWNPIPE (90 Ø)
 - [Hatched Box] - WET AREAS
 - [Green Line] - STORMWATER LINE (100mm PVC)
 - [Red Line] - SEWER LINE (100mm PVC)
 - [Blue Line] - AG DRAIN (100mm PVC)



ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH AS-3500 AND LOCAL PLUMBING CODE AND SHOULD BE CARRIED OUT BY A LICENSED PLUMBER.

INSTALL INSPECTION OPENINGS AT MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES.

PROVIDE SURFACE DRAIN TO BACK OF BULK EXCAVATION TO DRAIN LEVELLED PAD PRIOR TO COMMENCING FOOTING EXCAVATION.

SERVICES

THE HEATED WATER SYSTEM MUST BE DESIGNED AND INSTALLED WITH PART B2 OF THE NCC VOLUME THREE- PLUMBING CODE OF AUSTRALIA.

THERMAL INSULATION FOR HEATED WATER PIPING MUST:
A) BE PROTECTED AGAINST THE EFFECTS OF WEATHER AND SUNLIGHT; AND
B) BE ABLE TO WITHSTAND THE TEMPERATURES WITHIN THE PIPING ; AND
C) USE THERMAL INSULATION IN ACCORDANCE WITH AS/NZS 4859.1

HEATED WATER PIPING THAT IS NOT WITHIN A CONDITIONED SPACE MUST BE THERMALLY INSULATED AS FOLLOWS:

1. INTERNAL PIPING

a) ALL FLOW AND RETURN INTERNAL PIPING THAT IS-
i) WITHIN AN UNVENTILATED WALL SPACE
ii) WITHIN AN INTERNAL FLOOR BETWEEN STOREYS: OR
iii) BETWEEN CEILING INSULATION AND A CEILING
MUST HAVE A MINIMUM R-VALUE OF 0.2

2. PIPING LOCATED WITHIN A VENTILATED WALL SPACE, AN ENCLOSED BUILDING SUBFLOOR OR A ROOF SPACE

a) ALL FLOW AND RETURN PIPING
b) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM,
MUST HAVE A MINIMUM R-VALUE OF 0.45

3. PIPING LOCATED OUTSIDE THE BUILDING OR IN AN UNENCLOSED BUILDING SUB FLOOR OR ROOF SPACE

a) ALL FLOW AND RETURN PIPING
b) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM
MUST HAVE A MINIMUM R-VALUE OF 0.6

PIPING WITHIN AN INSULATED TIMBER FRAMED WALL, SUCH AS THAT PASSING THROUGH A WALL STUD, IS CONSIDERED TO COMPLY WITH THE ABOVE INSULATION REQUIREMENTS.

ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES INTERGRATED CODE (WSA 03-2011-3.1 VERSION 3.1 MRWA VERSION 2.0) AND THE SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES INTERGRATED CODE (WSA 02-2014-3.1 MRWA VERSION 2.0) AND TASWATER'S SUPPLEMENTS TO THESE CODES.



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CLIENT/S:
GRACIE & PHIL HARDY

SITE ADDRESS:
12 SANDSCAPE COURT,
HADSPEN, 7290.

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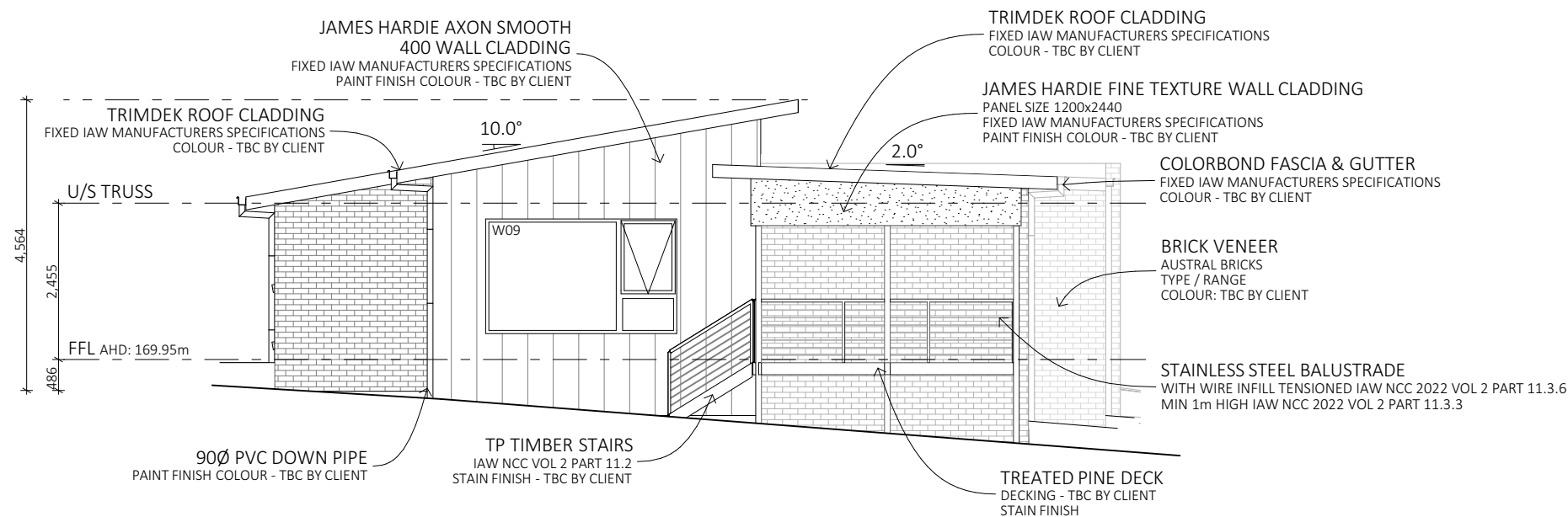
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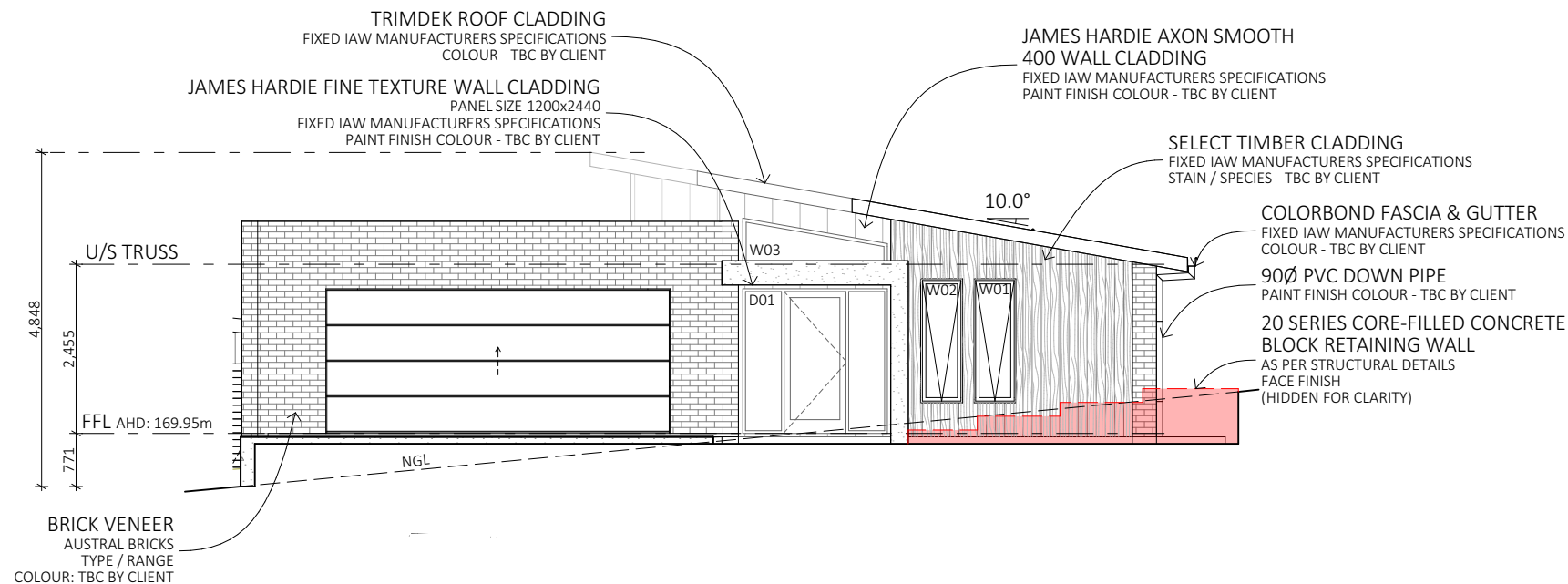
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R1	09/11/2023	FOR REVIEW				
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NORTHERN ELEVATION



SOUTHERN ELEVATION



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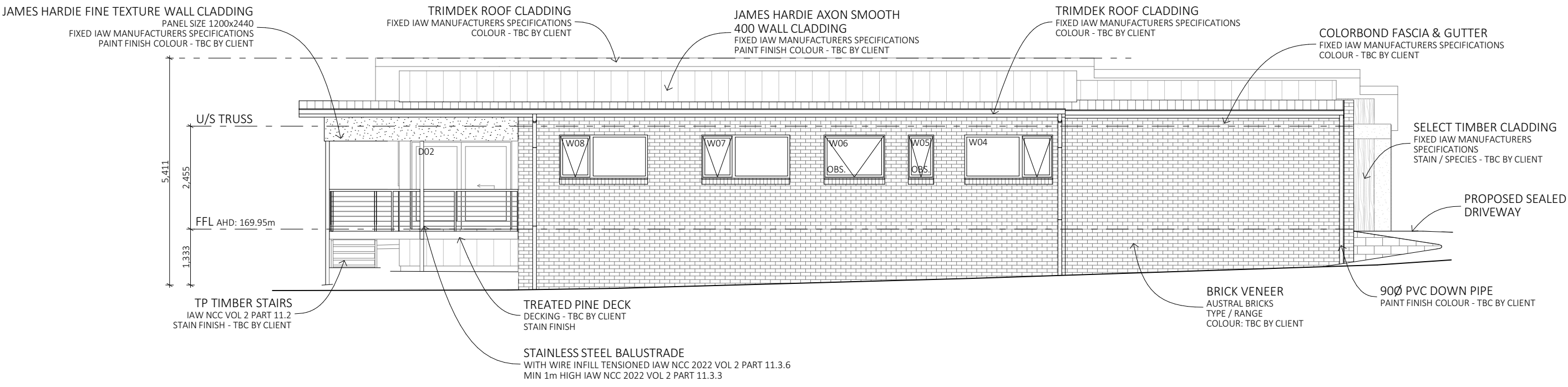
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			CHECKED	M.L.	SCALE (@A3)	1:100




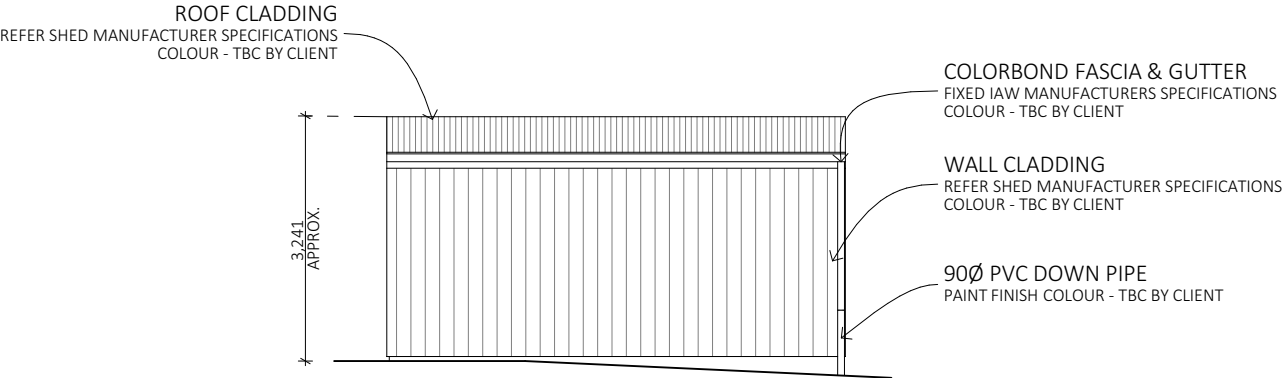
EASTERN ELEVATION



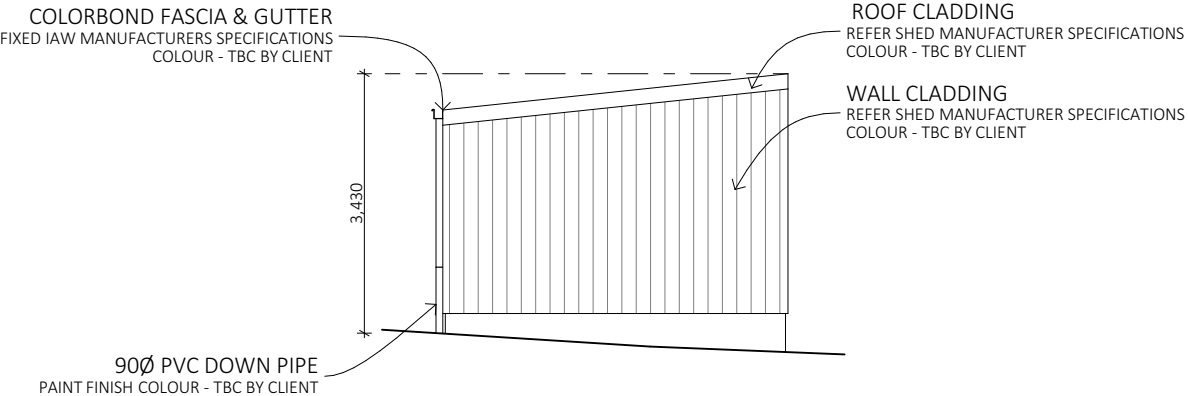
WESTERN ELEVATION



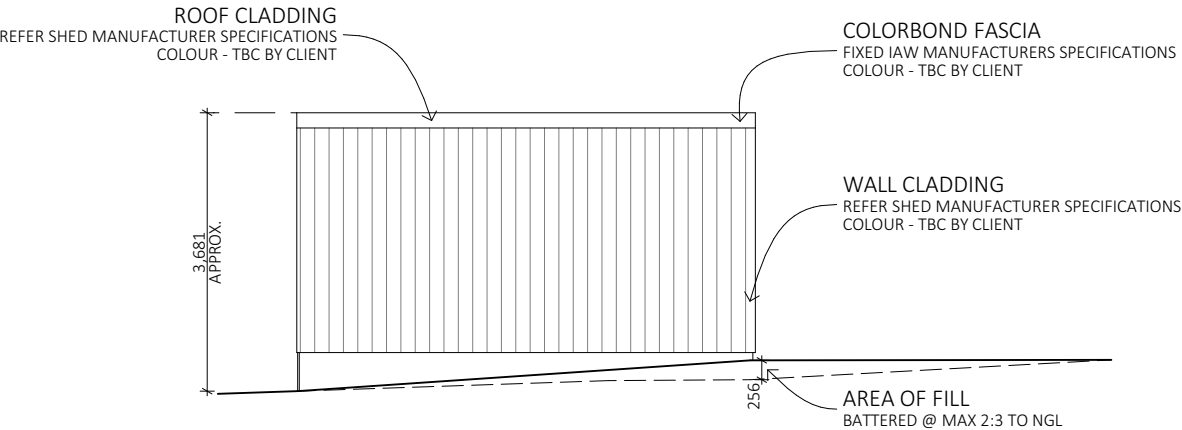
	ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au	CLIENT/S: GRACIE & PHIL HARDY SITE ADDRESS: 12 SANDSCAPE COURT, HADSPEN, 7290.	DRAWING ELEVATIONS EST-WST	I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT. SIGNATURE: _____ DATE: _____ SIGNATURE: _____ DATE: _____	COPYRIGHT: This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.	REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	HDS179
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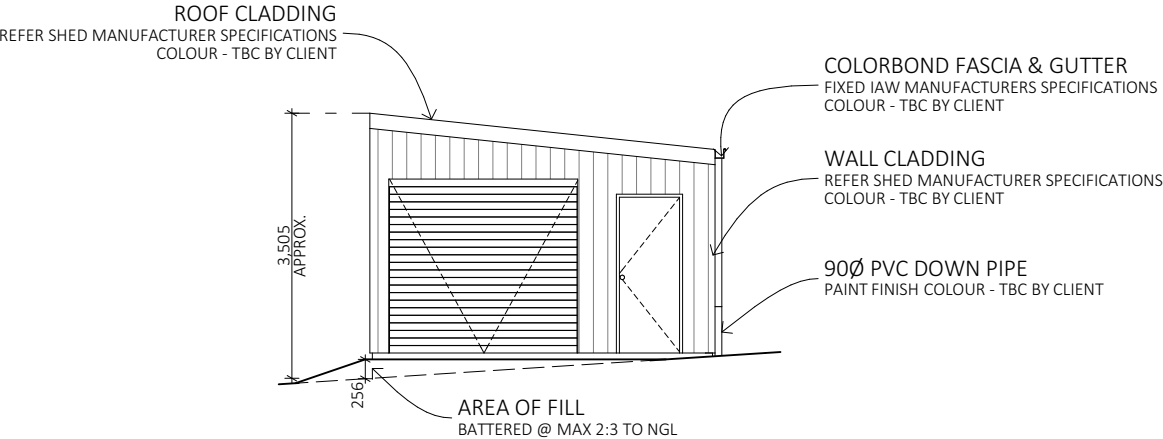
EASTERN ELEVATION



NORTHERN ELEVATION



WESTERN ELEVATION



SOUTHERN ELEVATION



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