

PLANNING NOTICE

An application has been received for a Permit under s.57 of the Land Use Planning Approvals Act 1993:

APPLICANT:	Cohen & Associates Pty Ltd - PA\24\0118
PROPERTY ADDRESS:	1181 Bridgenorth Road ROSEVALE (CT:18738/2)
DEVELOPMENT:	Subdivision (2 lots) with access via road reserve - lot design, vehicle access, driveway, priority vegetation area.

The application can be inspected until **Monday, 12 February 2024**, at www.meander.tas.gov.au or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to planning@mvc.tas.gov.au. Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Dated at Westbury on 27 January 2024.

Jonathan Harmey
GENERAL MANAGER

APPLICATION FORM

PLANNING PERMIT

Land Use Planning and Approvals Act 1993

- Application form & details **MUST** be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work? ☐ Yes ☒ No Indicate by ✓ box
- Have you already received a Planning Review for this proposal? ☐ Yes ☒ No
- Is a new vehicle access or crossover required? ☐ Yes ☒ No

PROPERTY DETAILS:

Address:	<input type="text" value="1181 Bridgenorth Road access via road reserve"/>	Certificate of Title:	<input type="text" value="18738"/>
Suburb:	<input type="text" value="Rosevale"/>	<input type="text" value="7292"/>	Lot No: <input type="text" value="2"/>
Land area:	<input type="text" value="16.3ha"/>	m^2 / ha	
Present use of land/building:	<input type="text" value="Residential/Rural"/>	(vacant, residential, rural, industrial, commercial or forestry)	

- Does the application involve Crown Land or Private access via a Crown Access Licence: ☒ Yes ☐ No
- Heritage Listed Property: ☐ Yes ☒ No

DETAILS OF USE OR DEVELOPMENT:

Indicate by ✓ box	<input type="checkbox"/> Building work	<input type="checkbox"/> Change of use	<input checked="" type="checkbox"/> Subdivision	<input type="checkbox"/> Demolition
	<input type="checkbox"/> Forestry	<input type="checkbox"/> Other		
Total cost of development (inclusive of GST):	<input type="text" value="\$"/>	Includes total cost of building work, landscaping, road works and infrastructure		
Description of work:	<input type="text" value="2 Lot Subdivision"/>			
Use of building:	<input type="text"/>	(main use of proposed building – dwelling, garage, farm building, factory, office, shop)		
New floor area:	<input type="text" value="m²"/>	New building height:	<input type="text" value="m"/>	
Materials:	External walls:	<input type="text"/>	Colour:	<input type="text"/>
	Roof cladding:	<input type="text"/>	Colour:	<input type="text"/>

SEARCH OF TORRENS TITLE

VOLUME 18738	FOLIO 2
EDITION 4	DATE OF ISSUE 24-Jul-2017

SEARCH DATE : 20-Jul-2023

SEARCH TIME : 08.46 AM

DESCRIPTION OF LAND

Parish of BRIDGENORTH, Land District of DEVON
Lot 2 on Plan 18738
Derivation : Whole of Lot 874 Gtd. to T. Onions and Whole of
Lot 1008 Gtd. to J. Thomson
Prior CT 3978/100

SCHEDULE 1

M639118 TRANSFER to ZEKE GOSSAGE and CASSANDRA LORELEI JORDAN
Registered 24-Jul-2017 at noon

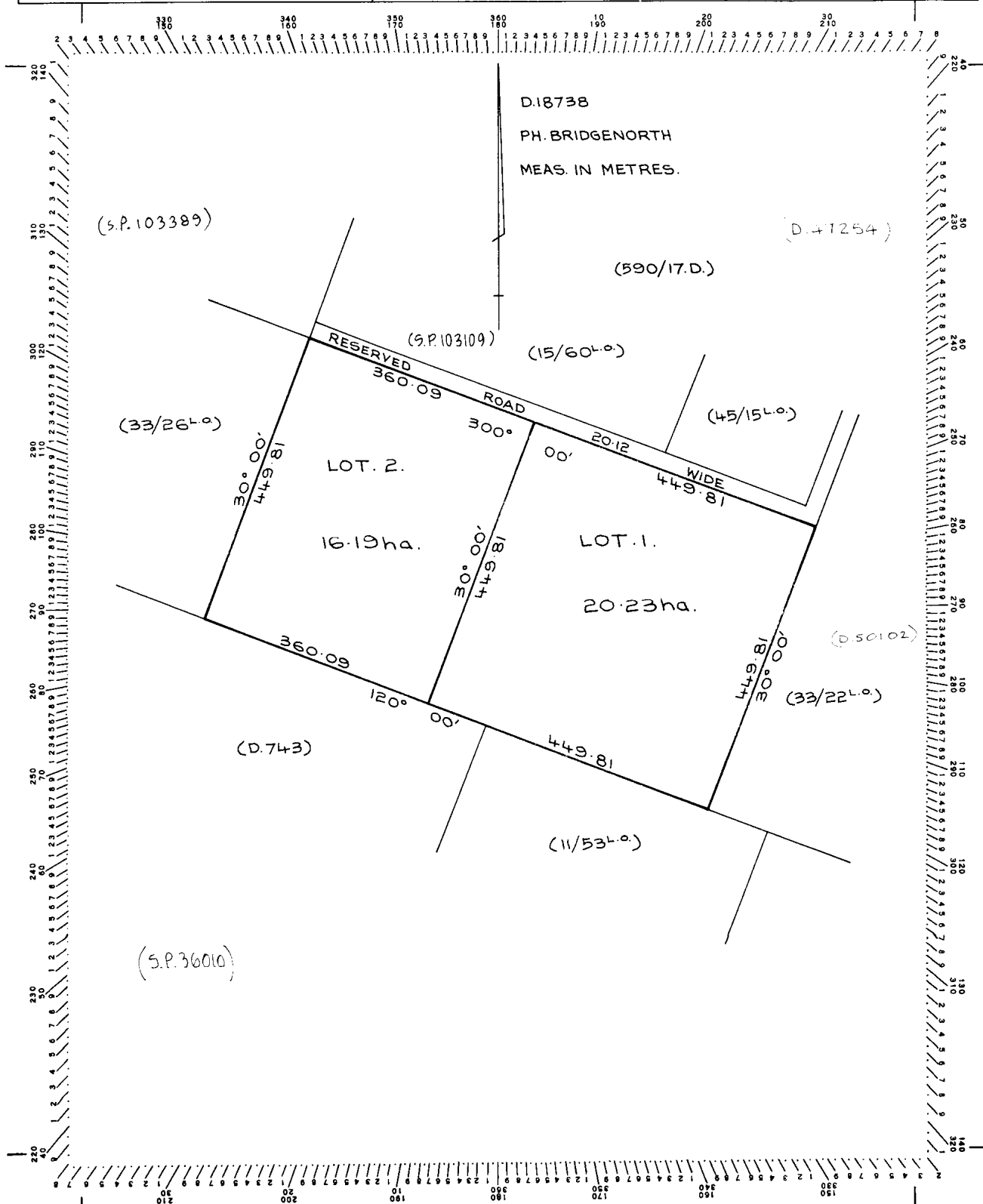
SCHEDULE 2

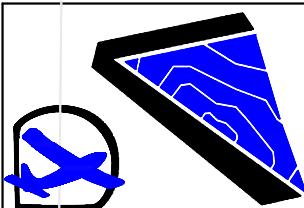
Reservations and conditions in the Crown Grant if any
E99076 MORTGAGE to Commonwealth Bank of Australia
Registered 24-Jul-2017 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

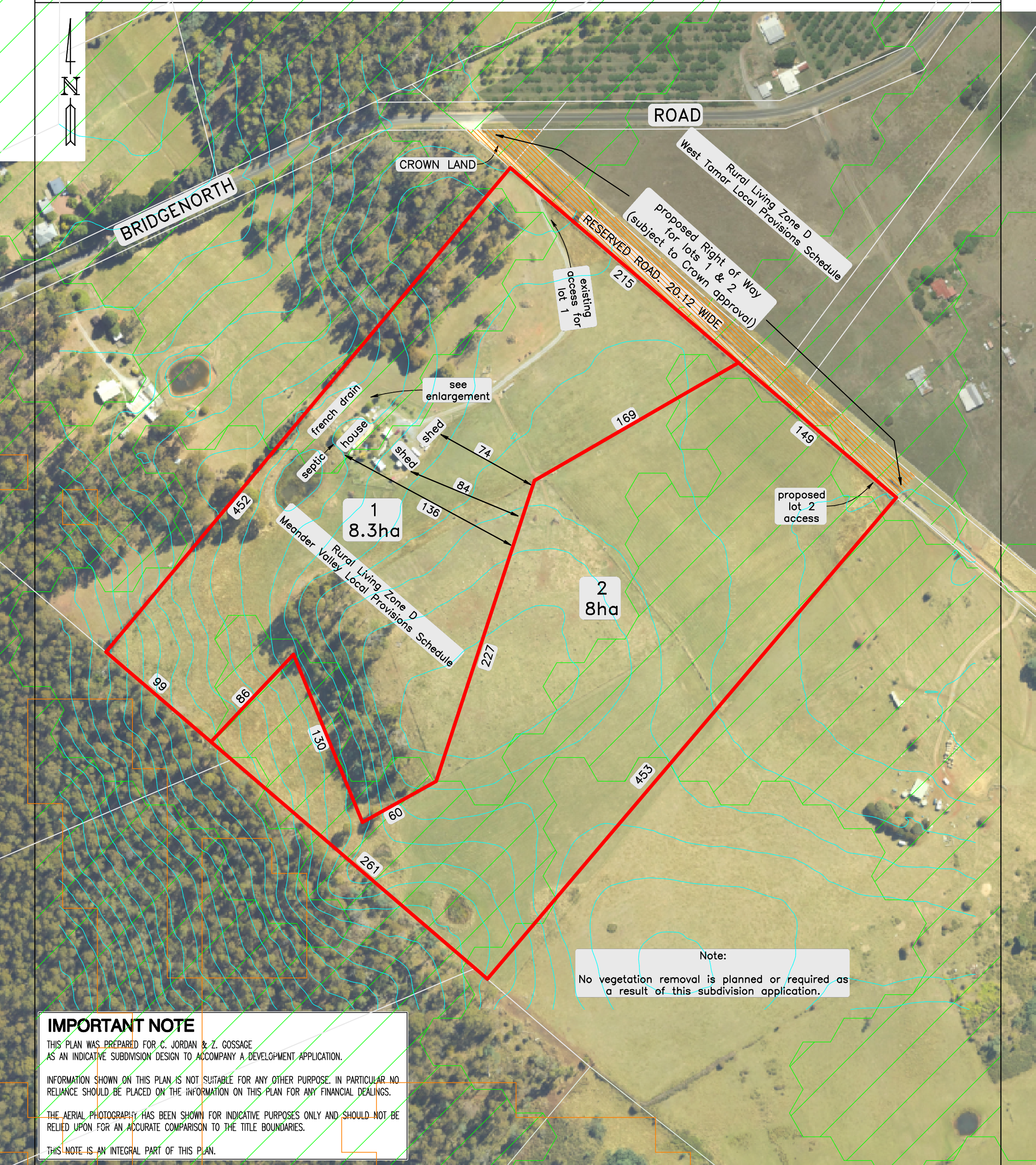
No unregistered dealings or other notations

Owner: DEC'D PERSONS ESTATE	PLAN OF SURVEY by Surveyor of land situated in the LAND DISTRICT OF DEVON · PARISH OF BRIDGENORTH	Registered Number: D.18738
Title Reference: Z.1854		Approved Effective from: 19 AUG 1982
Grantee: WHOLE OF LOT 874 A.R.P. 50.0.0 THOMAS ONIONS & LOT 1008 A.R.P. 40.0.0 JOHN THOMSON.	SCALE 1:6000 MEASUREMENTS IN METRES	<i>J. Brown</i> ACTING DEPUTY Recorder of titles



 <div>COHEN & ASSOCIATES P/L LAND & AERIAL SURVEYORS 103 CAMERON STREET PO BOX 990, LAUNCESTON, TAS, 7250 (03) 6331 4633 admin@surveyingtas.com.au www.surveyingtas.com.au</div>	<div>PLAN OF SUBDIVISION SHEET 1 OF 1</div>	<div>REF: 36-78 (8585)</div>
<div>Municipality: Meander Valley & West Tamar</div> <div>Site Address: 1181 BRIDGENORTH RD ROSEVALE Title Refs: 18738-2</div>	<div>Owners: C.L. Jordan & Z. Gossage</div> <div>Date: 04-09-2023 Revision: 3</div> <div>Scale: 1 : 2500 @ A3</div>	

DISCLAIMER: This is a preliminary plan prepared without field survey and forms part of an application to subdivide the land described and is not to be used for any other purpose. Contours and levels may be transcribed from other sources and their accuracy has not been verified. These should not be used. The dimensions, area, location of improvements and number of lots are approximate and may vary as a result of decisions by the Municipality, Land Use Planning Review Panel, engineering or other advice. Easements may not be shown as these are to be determined at the time of survey. The plan is not to be copied unless this note is included.



IMPORTANT NOTE

THIS PLAN WAS PREPARED FOR C. JORDAN & Z. GOSSAGE
AS AN INDICATIVE SUBDIVISION DESIGN TO ACCOMPANY A DEVELOPMENT APPLICATION.

INFORMATION SHOWN ON THIS PLAN IS NOT SUITABLE FOR ANY OTHER PURPOSE. IN PARTICULAR NO
RELIANCE SHOULD BE PLACED ON THE INFORMATION ON THIS PLAN FOR ANY FINANCIAL DEALINGS.

THE AERIAL PHOTOGRAPHY HAS BEEN SHOWN FOR INDICATIVE PURPOSES ONLY AND SHOULD NOT BE
RELIED UPON FOR AN ACCURATE COMPARISON TO THE TITLE BOUNDARIES.

THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.



ABN: 70 689 298 535
ACN: 144 472 659



COHEN & Associates Pty. Ltd.

LAND & AERIAL SURVEYORS
Operating in Tasmania Since 1946

ADRIAN R. FAIRFIELD, DIRECTOR
103 Cameron Street
PO Box 990 Launceston TAS 7250
Office: (03) 6331 4633
admin@surveyingtas.com.au
www.surveyingtas.com.au

Our ref: 36-78 (8585)

2 November 2023

Planning and Development
Meander Valley Council
P O Box 102
WESTBURY TAS 7303

Via Email

To whom it may concern,

**Re: Development Application – 2 Lot Subdivision
1181 Bridgenorth Road, Rosevale**

We are pleased to submit this Development Application for the proposed 2 lot subdivision at the above address.

We enclose:

- PDF copy of the proposed Plan of Subdivision
- Copy of the relevant title
- Bushfire Hazard Assessment Report and Management Plan prepared by Rebecca Green
- Planning Supportive Letter prepared by Rebecca Green
- Aerial image showing existing wastewater system for Lot 1
- Application for Planning Approval with Crown consent

Please forward the invoice for the planning application to admin@surveyingtas.com.au.

We note that application for purchase of right of way over the reserve road will be submitted to the Crown shortly.

We seek Council's approval for the subdivision and will be pleased to supply additional information as required.

Yours faithfully,

Melissa Perry of
Cohen & Associates Pty. Ltd.

Encl.

Planning Department
Meander Valley Council
PO Box 102
WESTBURY TAS 7303

2 October 2023

Dear Sir/madam,

RE: Planning Application, Subdivision – 1181 Bridgenorth Road, Rosevale

This letter is prepared in support of a proposal on behalf of C.L. Jordan and Z. Gossage for a two-lot subdivision at land identified in CT 18738/2. An existing single dwelling and outbuildings are located on proposed Lot 1.

One lot currently exists; the subdivision will create one additional lot. Lot 1 will maintain existing access to reserved road off Bridgenorth Road, with Lot 2 provided with a new access to reserved road.

Lot number	Area
1	8.3ha
2	8.0ha

The subject land is zoned Rural Living Zone D within the Tasmanian Planning Scheme - Meander Valley Local Provisions Schedule, effective 19th April 2021, and subject to the Bushfire-Prone Areas Code, and the Natural Assets Code (Priority vegetation area).

Access to the lots is via a road reserve located within the West Tamar local government area, whilst the main subdivision is within the Meander Valley local government area. The application will require and is provided with Crown consent to the making of the application under Section 52 LUPAA, and application to purchase a right of way over the reserved road will be made. The only works proposed as part of the subdivision within the West Tamar local government area are those works in accordance with the Bushfire Hazard Management Plan requiring the access from Bridgenorth Road to the boundary with Lot 1 to be widened to a 4.0m wide carriageway.

Rural Living Zone

11.5 Development Standards for Subdivision

11.5.1 Lot Design

A1 – Lot 1 and Lot 1 will each have an area less than 10ha (8.3ha and 8.0ha respectively). Each lot 1 is able to contain a minimum area of 15m x 20m clear of all setbacks required by clause 11.4.2 A2 and A3 and any easements (minimum 20m from a frontage and minimum 10m from a side and rear boundary). The existing dwelling on Lot 1 is consistent with the setback required by clause 11.4.2 A2 and A3.

P1 – Lot 1 and Lot 2 rely upon assessment against the performance criteria due to being less than 10ha (8.3ha and 8.0ha respectively). Both lots has sufficient useable area and dimensions for the intended residential use (existing residential use in the case of Lot 1), having regard to intended location of buildings on each lot. The Bushfire Hazard Management Plan details future buildable areas (Lot 2) that consider the constraints of the sites including, bushfire risk. The existing onsite wastewater management system for Lot 1 is wholly contained within the proposed new boundaries. Lot 2 is sufficient in area to accommodate onsite wastewater and stormwater disposal for a typical 4-bedroom residential dwelling. The lots provide for adequate provision of private open space and is consistent with the character of the pattern of development on established properties in the area, with many titles even smaller. Lot 1 and Lot 2 are to be no more than 20% smaller than the applicable lot size required by clause 11.5.1 A1. The proposal is consistent with the performance criteria.

A2 – Each lot is to have a frontage to a reserved road and rely upon assessment against the performance criteria.

P2 – Both lots are to have frontage to a reserved road of at least 149 metres. Lot 1 will be provided with an upgraded access to Bridgenorth Road (widened and a single passing bay within the boundary of the Lot) and Lot 2 will be provided with a new access, whilst the requirements of the Bushfire Hazard Management Plan in relation to property access to Lot 2 will be required for any future habitable building on that lot. Application to purchase a right of way over the reserved road will be made. The frontage is consistent with the pattern of existing established properties in the area, many of which having access over a reserved road, i.e. 1181 Bridgenorth Road and 1173 Bridgenorth Road. The proposal is consistent with the performance criteria.

A3 - Each lot is provided with a vehicular access from the boundary of the lot to a road in accordance with the requirements of the road authority.

11.5.2 Roads

A1 – Proposal complies, the subdivision does not include any new roads.

11.5.3 Services

A1 – Each lot is not able to be connected to the relevant water supply service.

A2 – Not applicable, the subject land is within Rural Living Zone D where there is no requirement for each lot to be connected to a reticulated sewerage system.

CODES

C2.0 Parking and Sustainable Transport Code

Proposal complies where relevant to C2.5.1, no changes to existing parking arrangements for the Lot 1 is proposed, at least 2 car parking spaces are existing and provided on site. Lot 2

has sufficient area to accommodate on site car parking at the time of consideration of a future dwelling.

C3.0 Road and Railway Assets Code

One new vehicle crossing is proposed to Lot 2 to the reserved road, which will not result in any increase in traffic movement by the proposed subdivision. Any further development on Lot 2 may be required to consider this Code further dependent on the use, although likely to be a single dwelling with less than 9 vehicle movements per day on average anticipated. The subdivision is not within a road or railway attenuation area.

C7.0 Natural Assets Code

The application of this Code does apply to this subject site as the Code applies to priority vegetation areas within the Rural Living Zone.

C7.7.2 Subdivision within a priority vegetation area

P1.1 and P1.2 – There are no listed threatened Flora or Fauna species on the subject site or in close proximity.

The proposal does not require native vegetation clearance or removal for the subdivision. The proposed indicative build area on Lot 2 is located within an existing cleared area, as demonstrated in the Bushfire Hazard Assessment Report. The hazard management area around the existing habitable building on Lot 1 is to be established and maintained prior to the Council sealing the final plan of survey, this involves only the cutting of the existing grass to a height of less than 10cm.

The access to the building locations from Bridgenorth Road, although requiring the placement of gravel to provide for all-weather accessibility, including widening and a single passing bay within the boundary of Lot 1, no bulk earthworks or vegetation removal appear necessary to construct/upgrade the driveway to Lot 1.

C13.0 Bushfire-Prone Areas Code

Attached to this submission is a Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan prepared by Rebecca Green BFP—116, dated: 2 October 2023 demonstrating compliance with the relevant acceptable solutions.

The proposal is considered to be consistent with the Tasmanian Planning Scheme - Meander Valley and West Tamar and should therefore be considered for approval.

Kind Regards,



Rebecca Green

Senior Planning Consultant
m – 0409 284422
e – admin@rgassociates.com.au

Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan

1181 Bridgenorth Road, Rosevale



Prepared for (Client)

Cohen & Associates P/L

PO Box 990

LAUNCESTON TAS 7250

Assessed & Prepared by

Rebecca Green

Senior Planning Consultant & Accredited Bushfire Hazard Assessor

Rebecca Green & Associates

PO Box 2108 LAUNCESTON TAS 7250

Mobile: 0409 284 422

Version 1

2 October 2023

Job No: RGA-B2387

Executive Summary

The proposed development at 1181 Bridgenorth Road, Rosevale, is subject to bushfire threat. A bushfire attack under extreme fire weather conditions is likely to subject buildings at this site to considerable radiant heat, ember attack along with wind and smoke.

The site requires bushfire protection measures to protect the buildings and people that may be on site during a bushfire.

These measures include provision of hazard management areas in close proximity to the buildings, implementation of safe egress routes, establishment of a water supply and construction of buildings as described in AS 3959-2018 Construction of Buildings in Bushfire Prone Areas.

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Schedule 1 – Bushfire Report

1.0 Introduction

The Bushfire Attack Level (BAL) Report and Bushfire Hazard Management Plan (BHMP) has been prepared for submission with a Planning Permit Application under the *Land Use Planning and Approvals Act 1993; Bushfire-Prone Areas Code* and/or a Building Permit Application under the *Building Act 2016 & Regulations 2016*.

The Bushfire Attack Level (BAL) is established taking into account the type and density of vegetation within 100 metres of the proposed building site and the slope of the land; using the simplified method in AS 3959-2018 Construction of Buildings in Bushfire Prone Areas; and includes:

- The type and density of vegetation on the site,
- Relationship of that vegetation to the slope and topography of the land,
- Orientation and predominant fire risk,
- Other features attributing to bushfire risk.

On completion of assessment, a Bushfire Attack Level (BAL) is established which has a direct reference to the construction methods and techniques to be undertaken on the buildings and for the preparation of a Bushfire Hazard Management Plan (BHMP).

1.1 Scope

This report was commissioned to identify the Bushfire Attack Level for the existing property. ALL comment, advice and fire suppression measures are in relation to compliance with *Bushfire-Prone Areas Code* of the Tasmanian Planning Scheme – Meander Valley & West Tamar, the Building Code of Australia and Australian Standards, *AS 3959-2018, Construction of buildings in bushfire-prone areas*.

1.2 Limitations

The inspection has been undertaken and report provided on the understanding that:-

1. The report only deals with the potential bushfire risk, all other statutory assessments are outside the scope of this report.
2. The report only identifies the size, volume and status of vegetation at the time the site inspection was undertaken and cannot be relied upon for any future development.
3. Impacts of future development and vegetation growth have not been considered.

No action or reliance is to be placed on this report; other than for which it was commissioned.

1.3 Proposal

The proposal is for the development of a 2 Lot Subdivision. Access to both lots is over a reserved road within the West Tamar local government area with the main subdivision within the Meander Valley local government area.

2.0 Site Description for Proposal (Bushfire Context)

2.1 Locality Plan

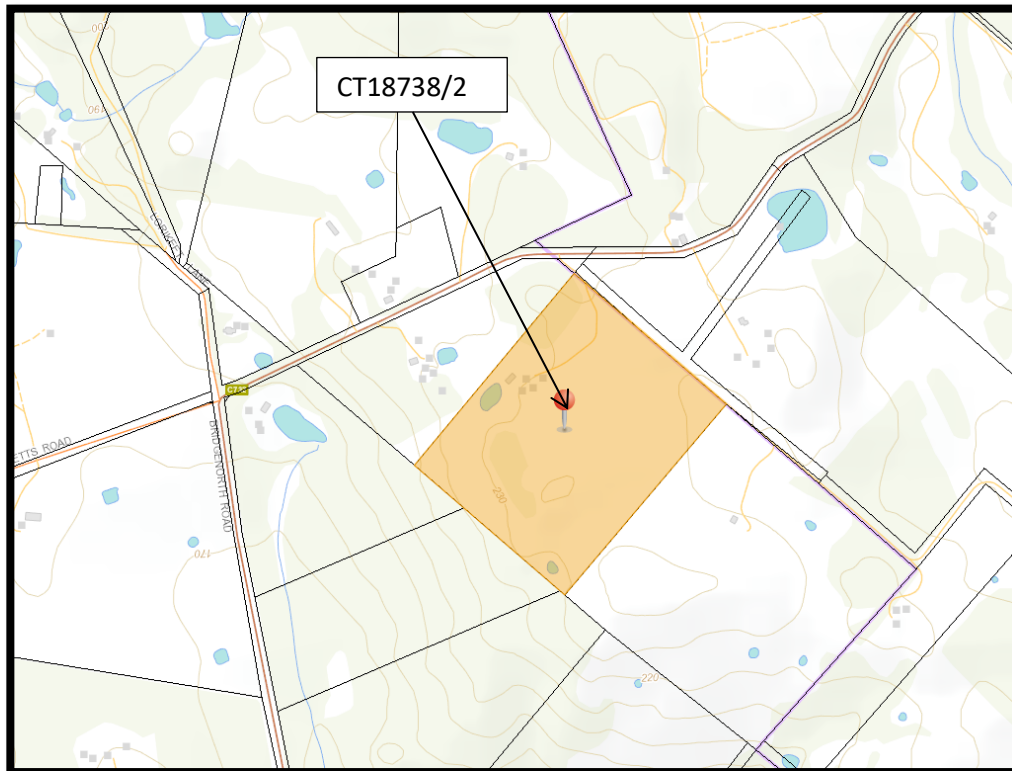


Figure 1: Location Plan of 1181 Bridgenorth Road, Rosevale

2.2 Site Details

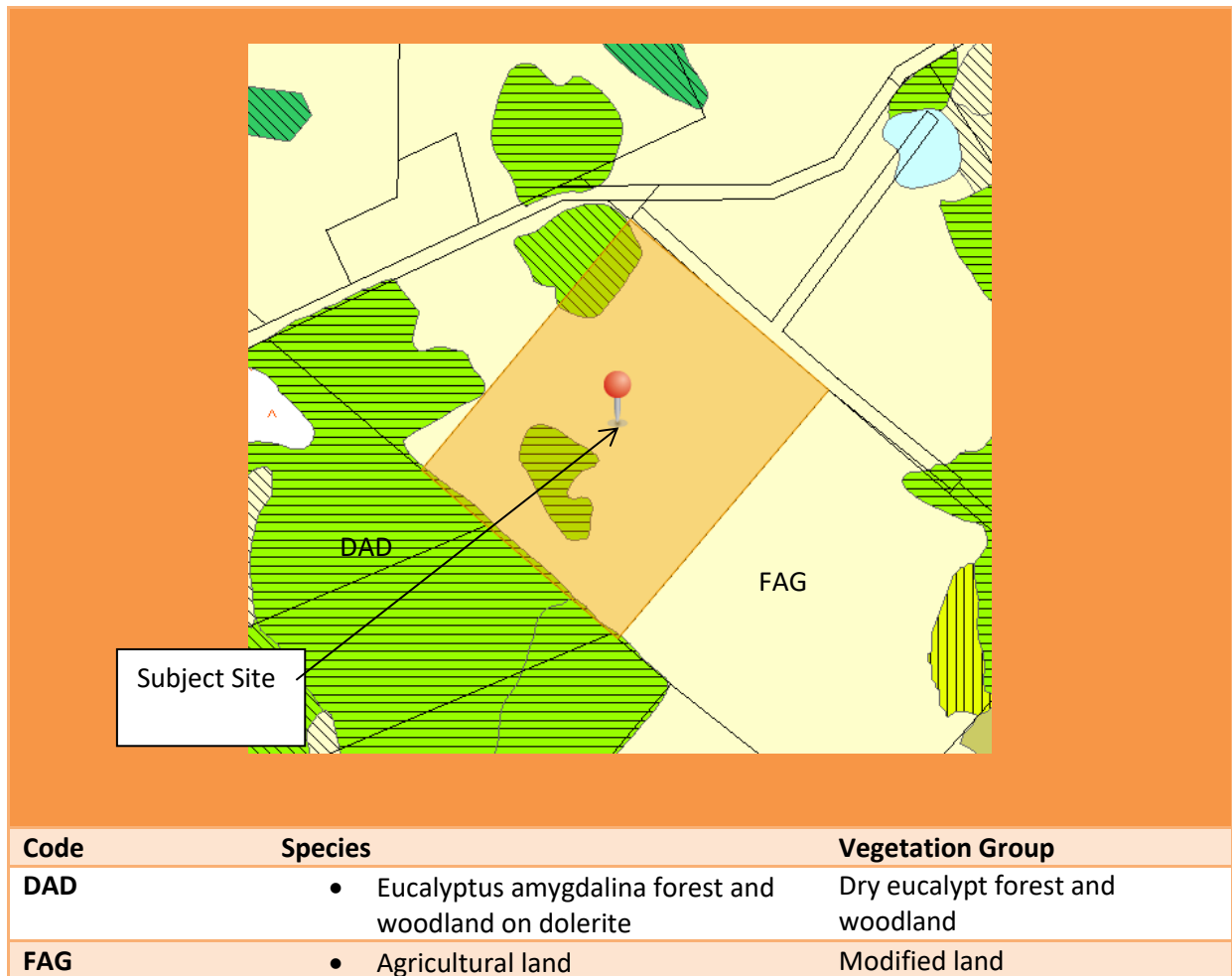
Property Address	1181 Bridgenorth Road, Rosevale
Certificate of Title	Volume 18738 Folio 2
Owner	Zeke Gossage and Cassandra Lorelei Jordan
Existing Use	Dwelling
Type of Proposed Work	2 Lot Subdivision
Water Supply	On-site for fire fighting
Road Access	Bridgenorth Road via Crown reserved road

3.0 Bushfire Site Assessment

3.1 Vegetation Analysis

3.1.1 TasVeg Classification

Reference to Tasmanian Vegetation Monitoring & Mapping Program (TASVEG) indicates the land in and around the property is generally comprising of varying vegetation types including:



3.1.2 Site & Vegetation Photos

	
Existing access – reserved road from Bridgenorth Road (3.4m wide)	Existing access into Lot 1 (2.3m wide)
	
Existing access into Lot 1 (2.5m wide)	Looking northeast – Lot 1
	
Existing dwelling – Lot 1	Looking southeast – Lot 1
	
Looking southwest – Lot 1	Looking northwest – Lot 1
	
Fibreglass tank off large shed – Lot 1 (not to standard for fire fighting)	Concrete house tank – Lot 1 (not to standard for fire fighting)



Existing turn area – Lot 1



Reserved road along Lot 1 frontage (3.6m wide)



Reserved road along Lot 1/Lot 2 frontage (3.6m wide)



Looking northeast across reserved road - Lot 2



Looking southeast – Lot 2



Looking southwest – Lot 2



Looking northwest – Lot 2



Proposed access location – Lot 2

3.2 BAL Assessment – Subdivision

The Acceptable Solution in Clause 13.6.1, C13.0 Bushfire-Prone Areas Code requires all lots within the proposed subdivision to demonstrate that each lot can achieve a Hazard Management Area between the bushfire vegetation and each building on the lot with distances equal to or greater than those specified in Table 2.6 of AS3959-2018 Construction of Buildings in Bushfire Prone Areas for **BAL 19 (Lot 1) and BAL 12.5 (Lot 2).**

Lot 1

Vegetation classification AS3959	North <input type="checkbox"/> North-East <input checked="" type="checkbox"/>	South <input type="checkbox"/> South-West <input checked="" type="checkbox"/>	East <input type="checkbox"/> South-East <input checked="" type="checkbox"/>	West <input type="checkbox"/> North-West <input checked="" type="checkbox"/>
Group A	<input checked="" type="checkbox"/> Forest	<input type="checkbox"/> Forest	<input type="checkbox"/> Forest	<input type="checkbox"/> Forest
Group B	<input type="checkbox"/> Woodland	<input type="checkbox"/> Woodland	<input type="checkbox"/> Woodland	<input type="checkbox"/> Woodland
Group C	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land
Group D	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub
Group E	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga
Group F	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest
Group G	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland
	<input checked="" type="checkbox"/> Managed Land	<input checked="" type="checkbox"/> Managed Land	<input checked="" type="checkbox"/> Managed Land	<input checked="" type="checkbox"/> Managed Land
Effective slope (degrees)	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°	<input type="checkbox"/> Up/0°
	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°	<input checked="" type="checkbox"/> >0-5°
	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°
	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°
	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°
Likely direction of bushfire attack	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Prevailing winds	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Distance to classified vegetation	0-<6m managed 6-<56m grassland >56m to forest	0-<2.9m managed >2.9m grassland	0-<38m managed >38m grassland	0-<5m managed 5-<32m grassland >32m managed (neighbouring property)
REQUIRED Distance to classified vegetation for BAL 19	10-<14m	10-<14m	10-<14m	11-<16m

Lot 2

Vegetation classification AS3959	North <input type="checkbox"/> North-East <input checked="" type="checkbox"/>	South <input type="checkbox"/> South-West <input checked="" type="checkbox"/>	East <input type="checkbox"/> South-East <input checked="" type="checkbox"/>	West <input type="checkbox"/> North-West <input checked="" type="checkbox"/>
Group A	<input type="checkbox"/> Forest	<input type="checkbox"/> Forest	<input type="checkbox"/> Forest	<input checked="" type="checkbox"/> Forest
Group B	<input type="checkbox"/> Woodland	<input type="checkbox"/> Woodland	<input type="checkbox"/> Woodland	<input type="checkbox"/> Woodland
Group C	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land
Group D	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub
Group E	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga
Group F	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest
Group G	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland
	<input checked="" type="checkbox"/> Managed Land	<input type="checkbox"/> Managed Land	<input type="checkbox"/> Managed Land	<input type="checkbox"/> Managed Land
Effective slope (degrees)	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°	<input type="checkbox"/> Up/0°
	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°	<input checked="" type="checkbox"/> >0-5°
	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°
	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°
	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°
Likely direction of bushfire attack	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Prevailing winds	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Distance to classified vegetation	0m to grassland	0m to grassland	0m to grassland	0m to grassland
REQUIRED Distance to classified vegetation for BAL 12.5	14-<50m	14-<50m	14-<50m	16-<50m – grassland 38-<100m from forest on southwestern portion of Lot 1

3.3 Outbuildings

Not applicable – existing and greater than 6.0m from habitable building on Lot 1.

3.4 Road Access

Roads are to be constructed to provide vehicle access to the site to assist firefighting and emergency personnel to defend the building or evacuate occupants; and provide access at all times to the water supply for firefighting purposes on the building site.

Private access roads are to be maintained from the entrance to the property cross over with the public road through to the buildings on the site.

Lot 2 - (new)	Private access driveways are to be <u>constructed / maintained</u> from the entrance of the property cross over at the public road through to any future habitable building and on-site dedicated firefighting water supply. Private access roads are to be maintained to a standard not less than specified in Table C13.2D (within road reserve) and Table C13.2C (within Lot 2 boundary).
Lot 1 (existing) (less than 100m on reserved road)	Private access driveways are to be <u>upgraded/maintained</u> (widened where possible and installation of one passing bay within lot) from the entrance of the property cross over at the public road through to any future habitable building and on-site dedicated firefighting water supply. Private access roads are to be maintained to a standard not less than specified in Table C13.2C.

Table C13.2C: Standards for Property Access

The following design and construction requirements apply to property access length is 200 metres or greater or access for a fire appliance to a fire fighting point:

- (a) All weather construction;
- (b) Load capacity of at least 20 tonnes, including for bridges and culverts;
- (c) Minimum carriageway width of 4 metres;
- (d) Minimum vertical clearance of 4 metres;
- (e) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway;
- (f) Cross falls of less than 3 degrees (1:20 or 5%);
- (g) Dips less than 7 degrees (1:8 or 12.5%) entry and exit angle;
- (h) Curves with a minimum inner radius of 10 metres;
- (i) Maximum gradient of 15 degrees (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5.5 or 18%) for unsealed roads; and
- (j) Terminate with a turning area for fire appliances provided by one of the following:

- i) A turning circle with a minimum inner radius of 10 metres;
- ii) A property access encircling the building; or
- iii) A hammerhead “T” or “Y” turning head 4 metres wide and 8 metres long.
- (k) Passing bays of 2m additional carriageway width and 20m length provided every 200m.

Table C13.2D: Standards for Property Access

The following design and construction requirements apply to property access length is greater than 30 metres, and access is provided to 3 or more properties:

- (a) All weather construction;
- (b) Load capacity of at least 20 tonnes, including for bridges and culverts;
- (c) Minimum carriageway width of 4 metres;
- (d) Minimum vertical clearance of 4 metres;
- (e) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway;
- (f) Cross falls of less than 3 degrees (1:20 or 5%);
- (g) Dips less than 7 degrees (1:8 or 12.5%) entry and exit angle;
- (h) Curves with a minimum inner radius of 10 metres;
- (i) Maximum gradient of 15 degrees (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5.5 or 18%) for unsealed roads; and
- (j) Terminate with a turning area for fire appliances provided by one of the following:
 - i) A turning circle with a minimum inner radius of 10 metres;
 - ii) A property access encircling the building; or
 - iii) A hammerhead “T” or “Y” turning head 4 metres wide and 8 metres long.
- (k) Passing bays of 2m additional carriageway width and 20m length provided every 100m.

3.5 Water Supply

A building that is constructed in a designated bushfire prone area must provide access at all times to a sufficient supply of water for firefighting purposes on the building site.

The exterior elements of a habitable building in a designated Bushfire prone area must be within reach of a 120m long hose (reticulated) or 90m long hose (static) (lay) connected to –

- (i) A fire hydrant system designed and constructed in accordance with TasWater Supplement to Water Supply Code of Australia WSA 03-2011-3.1 MRWA Edition 2.0; or
- (ii) A stored water supply in a water tank, swimming pool, dam or lake available for fire fighting at all times which has the capacity of at least 10,000L for each separate building area to be protected.

Lot 2– Static Water Supply (new)	<p>On-site water supply is required for <u>any new habitable building</u>.</p> <p>A water tank of at least 10,000 litres per building area to be protected and above ground pipes and fittings used for a stored water supply must be of non-rusting, non-combustible, non-heat-deforming materials and must be situated more than 6m from a building area to be protected.</p>
Lot 1 – Static Water Supply (new)	<p>On-site water supply is required for the existing habitable building prior to Final Plan of Survey for subdivision to be signed off by Council.</p> <p>A water tank of at least 10,000 litres per building area to be protected and above ground pipes and fittings used for a stored water supply must be of non-rusting, non-combustible, non-heat-deforming materials and must be situated more than 6m from a building area to be protected.</p>

It should be recognised that although water supply as specified above may be in compliance with the requirements of the Building Code of Australia, the supply may not be adequate for all firefighting situations.

Table C13.5: Static Water Supply for Fire Fighting

Column 1		Column 2
Element		Requirement
A.	Distance between building area to be protected and water supply	<p>The following requirements apply:</p> <ul style="list-style-type: none"> (a) The building area to be protected must be located within 90 metres of the fire fighting water point of a static water supply; and (b) The distance must be measured as a hose lay, between the fire fighting water point and the furthest part of the building area.
B.	Static Water Supplies	<p>A static water supply:</p> <ul style="list-style-type: none"> (a) May have a remotely located offtake connected to the static water supply; (b) May be a supply for combined use (fire fighting and other uses) but the specified minimum quantity of fire fighting water must be available at all times; (c) Must be a minimum of 10,000 litres per building area to be protected. This volume of water must not be used for any other purpose including fire fighting sprinkler or spray systems; (d) Must be metal, concrete or lagged by non-combustible materials if above ground; and (e) If a tank can be located so it is shielded in all directions in compliance with Section 3.5 of AS 3959-2018 the tank may be constructed of any material provided that the lowest 400mm of the tank exterior is protected by: <ul style="list-style-type: none"> (i) Metal;

		(ii) Non-combustible material; or (iii) Fibre-cement a minimum 6mm thickness.
C.	Fittings, pipework and accessories (including stands and tank supports)	<p>Fittings and pipework associated with a fire fighting water point for a static water supply must:</p> <ul style="list-style-type: none"> (a) Have a minimum nominal internal diameter of 50mm; (b) Be fitted with a valve with a minimum nominal diameter of 50mm; (c) Be metal or lagged by non-combustible materials if above ground; (d) if buried, have a minimum depth of 300mm; (e) Provide a DIN or NEN standard forged Storz 65mm coupling fitted with a suction washer for connection to fire fighting equipment; (f) Ensure the coupling is accessible and available for connection at all times; (g) Ensure the coupling is fitted with a blank cap and securing chain (minimum 220mm length); (h) Ensure underground tanks have either an opening at the top of not less than 250mm diameter or a coupling compliant with this Table; and (i) If a remote offtake is installed, ensure the offtake is in a position that is: <ul style="list-style-type: none"> (i) Visible; (ii) Accessible to allow connection by fire fighting equipment; (iii) At a working height of 450-600mm above ground level; and (iv) Protected from possible damage, including damage from vehicles.
D.	Signage for static water connections	<p>The fire fighting water point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must comply with:</p> <ul style="list-style-type: none"> (a) water tank signage requirements within AS 2304-2011 Water storage tanks for fire protection systems; or (b) <i>Water Supply Signage Guideline</i>, version 1.0, Tasmanian Fire Service, February 2017.
E.	Hardstand	<p>A hardstand area for fire appliances must be provided:</p> <ul style="list-style-type: none"> (1) No more than 3m from the fire fighting water point, measured as a hose lay (including the minimum water level in dams, swimming pools and the like); (2) No closer than 6m from the building area to be protected; (3) a minimum width of 3m constructed to the same standard as the carriageway; and (4) Connected to the property access by a carriageway equivalent to the standard of the property access.

4.0 Bushfire-Prone Areas Code Assessment Criteria

Assessment has been completed below to demonstrate the BAL and BHMP have been developed in compliance with the Acceptable Solutions and/or the Performance Criteria as specified in the Bushfire-Prone Areas Code.

C13.4 – Exemptions – Not applicable.

C13.6 Development Standards for Subdivision

C13.6.1 Provision of hazard management areas

		Comments
<input checked="" type="checkbox"/> A1	(a) & (b)	Specified distances for Hazard Management Areas for BAL 12.5 (Lot 2), and BAL 19 (Lot 1) as specified on the plan are in accordance with AS3959. The proposal complies.
<input type="checkbox"/> P1		

C13.6.2 Public and fire fighting access

		Comments
<input type="checkbox"/> A1	(a)	Not applicable.
<input checked="" type="checkbox"/> A1	(b)	The private driveway to Lot 1 will be upgraded/maintained in accordance with Table C13.2C prior to the final plan of survey being sealed by Council. The private driveway to Lot 2 will be constructed/maintained in accordance with Table C13.2D (road reserve portion) and C13.2C (within Lot 2 portion) at the time of future habitable building. Access is required to on-site dedicated firefighting water supply and where greater than 30m.
<input type="checkbox"/> P1		
<input checked="" type="checkbox"/> A2		Not applicable.
<input type="checkbox"/> P2	No PC	

C13.6.3 Provision of water supply for fire fighting purposes

		Comments
<input type="checkbox"/> A1	(a) (b)	Not applicable Not applicable.
<input type="checkbox"/> P1	No PC	
<input checked="" type="checkbox"/> A2	(a) (b)	Not applicable. Any new habitable building on Lot 2, at building application stage consideration with a stored water supply in a water supply tank at least 10,000 litres per building area to be protected, with a fitting suitable for TFS access in accordance with Table C13.5 shall be considered. The existing dwelling on Lot 1, prior to the final plan of survey being sealed by Council, shall be provided with a stored water supply at least 10,000 litres per building area to be protected, in accordance with Table C13.5.
<input type="checkbox"/> A2	(c)	Not applicable.

5.0 Layout Options

Not relevant to this proposal.

6.0 Other Planning Provisions

Not relevant to this proposal.

7.0 Conclusions and Recommendations

Mitigation from bushfire is dependent on the careful management of the site by maintaining reduced fuel loads within the hazard management areas and within the site generally and to provide sources of water supply dedicated for firefighting purposes and the construction and maintenance of a safe egress route.

The site has been assessed as demonstrating a building area that have the dimensions equal to or greater than the separation distance required for BAL 12.5 (Lots 2) and BAL 19 (Lot 1) in Table 2.6 of AS 3959 – 2018 Construction of Buildings in Bushfire Prone Areas.

Access

The private driveway to Lot 2 will be constructed in accordance with Table C13.2D/C13.2C at the time of future habitable building.

The private driveway to Lot 1 shall be upgraded prior to the council sealing the final plan of survey and maintained into perpetuity in accordance with Table C13.2C from Bridgenorth Road.

Water Supplies

Any new habitable building on Lot 2 at building application stage consideration with a stored water supply in a water supply tank at least 10,000 litres per building area to be protected, with a fitting suitable for TFS access in accordance with Table C13.5 shall be considered.

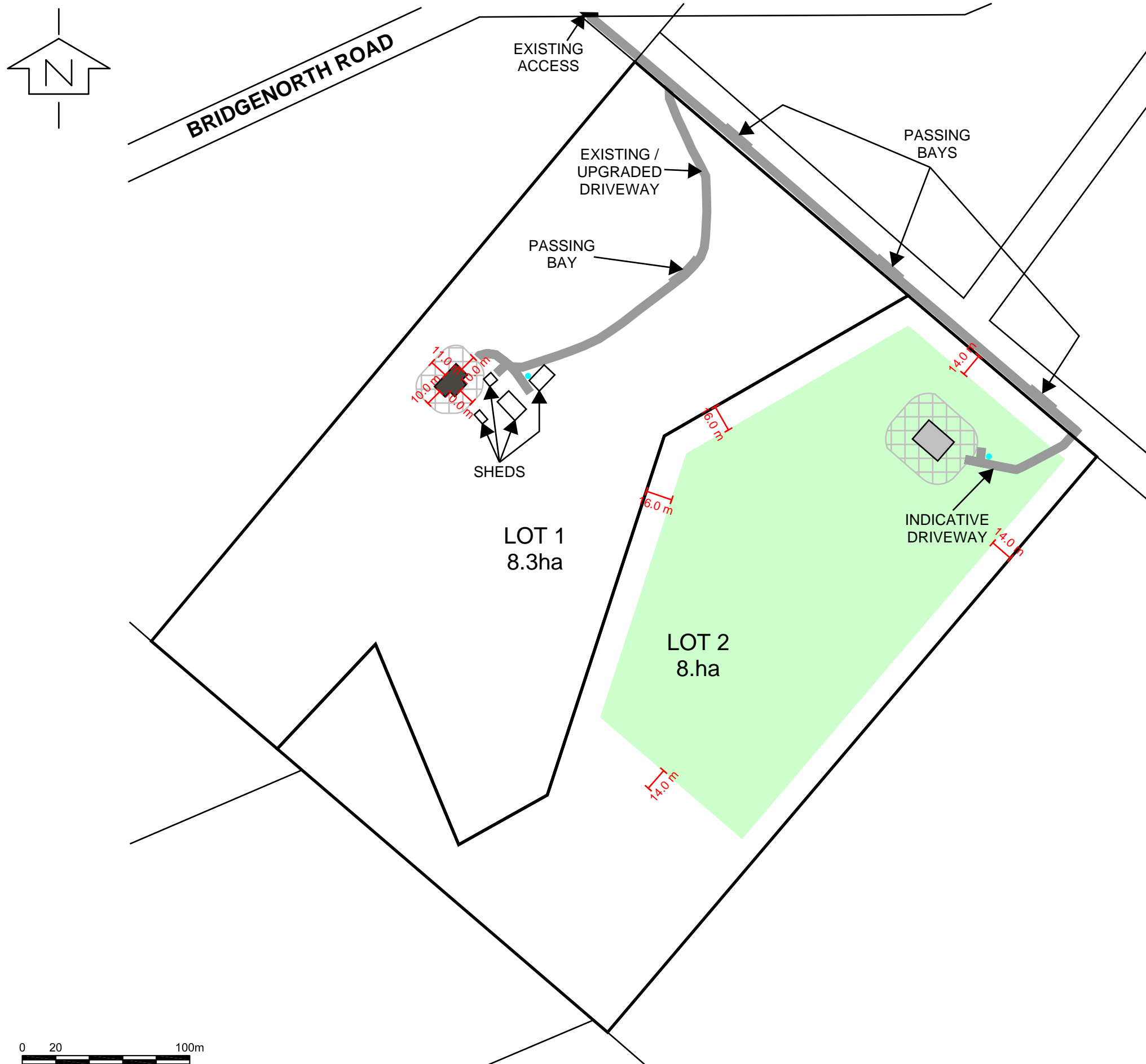
The existing dwelling on Lot 1 prior to the council sealing the final plan of survey, must be provided with a stored water supply in a water supply tank at least 10,000 litres per building area to be protected with installation of a fitting suitable for TFS access and signage in accordance with Table C13.5.


Fuel Managed Areas

Hazard Management Areas as detailed within the plan shall be constructed and maintained as detailed in Schedule 2. For Lot 2, Hazard Management Area to be established and maintained prior to the construction of any habitable building on the lot and managed into perpetuity.

For Lot 1, Hazard Management Area is to be managed prior to the final plan of survey being sealed by Council and must be managed into perpetuity.

Schedule 2 – Bushfire Hazard Management Plan





LEGEND

INDICATIVE 15m X 20m DWELLING

HAZARD MANAGEMENT AREA

INDICATIVE BAL - 12.5 BUILDABLE AREA

PROPOSED STATIC WATER SUPPLY (SUGGESTED LOCATION)

EXISTING DWELLING

- NOTES
- PROPERTY ACCESS & ROAD REQUIREMENTS TO BE IN ACCORDANCE WITH TABLE C13.2C/C13.2D - REFER TO SECTION 3.4 OF BUSHFIRE HAZARD ASSESSMENT REPORT

- FIREFIGHTING WATER SUPPLY TO BE IN ACCORDANCE WITH TABLE C13.5 - REFER TO SECTION 3.5 OF BUSHFIRE HAZARD ASSESSMENT REPORT

- HAZARD MANAGEMENT AREA TO BE MAINTAINED IN A MINIMUM FUEL CONDITION - REFER TO SECTION 3.2 OF BUSHFIRE HAZARD ASSESSMENT REPORT

- THIS BHMP MUST BE READ IN CONJUNCTION WITH BUSHFIRE HAZARD ASSESSMENT REPORT REF: RGA-B2387, R.GREEN, 2 OCTOBER 2023

- THIS BHMP HAS BEEN PREPARED TO SATISFY THE REQUIREMENTS OF C13.0 BUSHFIRE - PRONE AREAS CODE OF TASMANIAN PLANNING SCHEME - MEANDER VALLEY (EFFECTIVE 19 APRIL 2021) & WEST TAMAR (EFFECTIVE 9 FEBRUARY 2022)

Form 55

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To: Owner /Agent
 Address
 Suburb/postcode³

Qualified person details:

Qualified person:
Address: Phone No:
 Fax No:
Licence No: Email address:

Qualifications and Insurance details:

Accredited to report on bushfire hazards under Part IVA of the *Fire Services Act 1979*

(description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise:

Analysis of hazards in bushfire prone areas

(description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address: Lot No:
 Certificate of title No:
The assessable item related to this certificate:

(description of the assessable item being certified)

Assessable item includes –

- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: *(description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)*

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work:



or

a building, temporary structure or plumbing installation:



In issuing this certificate the following matters are relevant –

Documents:	Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan (Rebecca Green & Associates, 2 October 2023, Version 1, Job No. RGA-B2387)
Relevant	N/A
References:	<i>Tasmanian Planning Scheme – Meander Valley & West Tamar, Bushfire-Prone Areas Code</i> <i>Australian Standard 3959-2018</i>

Substance of Certificate: (what it is that is being certified)

1. Assessment of the site Bushfire Attack Level (to Australian Standard 3959-2018)
2. Bushfire Hazard Management Plan showing BAL-19 (Lot 1), BAL-12.5 (Lot 2) solutions.

Scope and/or Limitations

Scope

This report and certification was commissioned to identify the Bushfire Attack Level for the existing property. All comment, advice and fire suppression measures are in relation to compliance with *Tasmanian Planning Scheme – Meander Valley & West Tamar, Bushfire-Prone Areas Code C13.0*, the *Building Act 2016 & Regulations 2016*, *Building Code of Australia* and *Australian Standard 3959-2018, Construction of buildings in bushfire-prone areas*.

Limitations

The assessment has been undertaken and report provided on the understanding that:-

1. The report only deals with the potential bushfire risk all other statutory assessments are outside the scope of this certificate.
2. The report only identifies the size, volume and status of vegetation at the time the inspection was undertaken and cannot be relied upon for any future development.
3. Impacts of future development and vegetation growth have not been considered.
4. No assurance is given or inferred for the health, safety or amenity of the general public, individuals or occupants in the event of a Bushfire.
5. No warranty is offered or inferred for any buildings constructed on the property in the event of a Bushfire.

No action or reliance is to be placed on this certificate or report; other than for which it was commissioned.

I certify the matters described in this certificate.

	Signed:	Certificate No:	Date:
Qualified person:		RG-179/2023	2 October 2023

Attachment 1 – Certificate of Compliance to the Bushfire-prone Area Code

BUSHFIRE-PRONE AREAS CODE

CERTIFICATE¹ UNDER S51(2)(d) *LAND USE PLANNING AND APPROVALS ACT 1993*

1. Land to which certificate applies

The subject site includes property that is proposed for use and development and includes all properties upon which works are proposed for bushfire protection purposes.

Street address:

1181 Bridgenorth Road, Rosevale

Certificate of Title / PID:

CT18738/2, PID2248886

2. Proposed Use or Development

Description of proposed Use and Development:

2 Lot Subdivision

Applicable Planning Scheme:

Tasmanian Planning Scheme – Meander Valley & West Tamar

3. Documents relied upon

This certificate relates to the following documents:

Title	Author	Date	Version
Plan of Subdivision Ref: 36-58 (8585)	Cohen & Associates P/L	04-09-2023	3
Bushfire Hazard Assessment Report	Rebecca Green	2 October 2023	1
Bushfire Hazard Management Plan	Rebecca Green	2 October 2023	1

¹ This document is the approved form of certification for this purpose and must not be altered from its original form.

4. Nature of Certificate

The following requirements are applicable to the proposed use and development:

<input type="checkbox"/>	E1.4 / C13.4 – Use or development exempt from this Code	
	Compliance test	Compliance Requirement
<input type="checkbox"/>	E1.4(a) / C13.4.1(a)	Insufficient increase in risk

<input type="checkbox"/>	E1.5.1 / C13.5.1 – Vulnerable Uses	
	Acceptable Solution	Compliance Requirement
<input type="checkbox"/>	E1.5.1 P1 / C13.5.1 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/>	E1.5.1 A2 / C13.5.1 A2	Emergency management strategy
<input type="checkbox"/>	E1.5.1 A3 / C13.5.1 A2	Bushfire hazard management plan

<input type="checkbox"/>	E1.5.2 / C13.5.2 – Hazardous Uses	
	Acceptable Solution	Compliance Requirement
<input type="checkbox"/>	E1.5.2 P1 / C13.5.2 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/>	E1.5.2 A2 / C13.5.2 A2	Emergency management strategy
<input type="checkbox"/>	E1.5.2 A3 / C13.5.2 A3	Bushfire hazard management plan

<input checked="" type="checkbox"/>	E1.6.1 / C13.6.1 Subdivision: Provision of hazard management areas	
	Acceptable Solution	Compliance Requirement
<input type="checkbox"/>	E1.6.1 P1 / C13.6.1 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/>	E1.6.1 A1 (a) / C13.6.1 A1(a)	Insufficient increase in risk
<input checked="" type="checkbox"/>	E1.6.1 A1 (b) / C13.6.1 A1(b)	Provides BAL-19 for all lots (including any lot designated as 'balance') <i>Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan, prepared by</i>

		<i>Rebecca Green & Associates, 2 October 2023 demonstrating BAL 19 for Lot 1, BAL 12.5 for Lot 2.</i>
<input type="checkbox"/>	E1.6.1 A1(c) / C13.6.1 A1(c)	Consent for Part 5 Agreement

<input checked="" type="checkbox"/>	E1.6.2 / C13.6.2 Subdivision: Public and fire fighting access	
	Acceptable Solution	Compliance Requirement
<input type="checkbox"/>	E1.6.2 P1 / C13.6.2 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/>	E1.6.2 A1 (a) / C13.6.2 A1 (a)	Insufficient increase in risk
<input checked="" type="checkbox"/>	E1.6.2 A1 (b) / C13.6.2 A1 (b)	Access complies with relevant Tables <i>Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan, prepared by Rebecca Green & Associates, 2 October 2023.</i>

<input checked="" type="checkbox"/>	E1.6.3 / C13.1.6.3 Subdivision: Provision of water supply for fire fighting purposes	
	Acceptable Solution	Compliance Requirement
<input type="checkbox"/>	E1.6.3 A1 (a) / C13.6.3 A1 (a)	Insufficient increase in risk
<input type="checkbox"/>	E1.6.3 A1 (b) / C13.6.3 A1 (b)	Reticulated water supply complies with relevant Table
<input type="checkbox"/>	E1.6.3 A1 (c) / C13.6.3 A1 (c)	Water supply consistent with the objective
<input type="checkbox"/>	E1.6.3 A2 (a) / C13.6.3 A2 (a)	Insufficient increase in risk
<input checked="" type="checkbox"/>	E1.6.3 A2 (b) / C13.6.3 A2 (b)	Static water supply complies with relevant Table <i>Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan, prepared by Rebecca Green & Associates, 2 October 2023.</i>
<input type="checkbox"/>	E1.6.3 A2 (c) / C13.6.3 A2 (c)	Static water supply consistent with the objective

5. Bushfire Hazard Practitioner

Name: Rebecca Green

Phone No: 0409 284 422

Postal Address: PO Box 2108
Launceston, Tas 7250

Email Address: admin@rgassociates.com.au

Accreditation No: BFP – 116

Scope: 1, 2, 3A, 3B, 3C


6. Certification

I certify that in accordance with the authority given under Part 4A of the *Fire Service Act 1979* that the proposed use and development:

☐ Is exempt from the requirement Bushfire-Prone Areas Code because, having regard to the objective of all applicable standards in the Code, there is considered to be an insufficient increase in risk to the use or development from bushfire to warrant any specific bushfire protection measures, or

☒ The Bushfire Hazard Management Plan/s identified in Section 3 of this certificate is/are in accordance with the Chief Officer's requirements and compliant with the relevant **Acceptable Solutions** identified in Section 4 of this Certificate.

Signed:
certifier



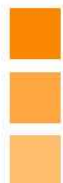
Name: Rebecca Green

Date: 2 October 2023

Certificate
Number: RGA-054/2023

(for Practitioner Use only)

Attachment 2 – AS3959-2018 Construction Requirements



BAL Assessments

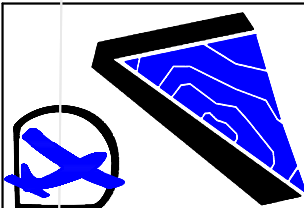
Revised for 2018 edition

	BAL—LOW	BAL-12.5	BAL-19	BAL-29	BAL-40	BAL –FZ (FLAMEZONE)
SUBFLOOR SUPPORTS	No special construction requirements	No special construction requirements	Enclosure by external wall or by steel, bronze or aluminium mesh	Enclosure by external wall or by steel, bronze of aluminium mesh. Non-combustible or naturally fire resistant timber supports where the subfloor is unenclosed	If enclosed by external wall refer below “External Walls” section in table or non-combustible sub-floor supports, or tested for bushfire resistance to AS1530.8.1	Enclosure by external wall or non-combustible with an FRL of 30/-/- or to be tested for bushfire resistance to AS1530.8.2
FLOORS	No special construction requirements	No special construction requirements	Concrete slab on ground or enclosure by external wall, metal mesh as above or flooring less than 400mm above ground level to be non-combustible, naturally fire resistant timber or protected on the underside with sarking or mineral wool insulation	Concrete slab on ground or enclosure by external wall, metal mesh as above or flooring less than 400mm above ground level to be non-combustible, naturally fire resistant timber or protected on the underside with sarking or mineral wool insulation	Concrete slab on ground or enclosure by external wall or protection of underside with a non-combustible material such as fibre cement sheet or be non-combustible or to be tested for bushfire resistance to AS1530.8.1	Concrete slab on ground or enclosure by external wall or an FRL of 30/30/30 or protection of underside 30 minute incipient spread of fire system or to be tested for bushfire resistance to AS1530.8.2
EXTERNAL WALLS	No special construction requirements	As for BAL-19	Parts less than 400mm above ground or decks etc to be of non-combustible material, 6mm fibre cement clad or bushfire resistant/ naturally fire resistant timber	Non-combustible material (masonry, brick veneer, mud brick, aerated concrete, concrete) or timber framed, or steel framed walls sarked on the outside and clad with 6mm fibre cement sheeting or steel sheeting or bushfire resistant timber	Non-combustible material (masonry, brick veneer, mud brick, aerated concrete, concrete) or timber framed, or steel framed walls sarked on the outside and clad with 9mm fibre cement sheeting or steel or to be tested for bushfire resistance to AS1530.8.1	Non-combustible material (masonry, brick veneer, mud brick, aerated concrete, concrete) with a minimum thickness of 90mm or a FRL of -/30/30 when tested from outside or to be tested for bushfire resistance to AS1530.8.2
EXTERNAL WINDOWS	No special construction requirements	4mm grade A Safety Glass of glass blocks within 400m of ground, deck etc with Openable portion metal screened with frame of metal or metal reinforced PVC-U or bushfire resisting timber	5mm toughened glass or glass bricks within 400mm of the ground, deck etc with openable portion metal screened with frame of metal or metal reinforced PVC-U or bushfire resisting timber. Above 400mm annealed glass can be used with all glass screened	5mm toughened glass with openable portion screened and frame of metal or metal reinforced PVC-U, or bushfire resistant timber and portion within 400mm of ground, deck, screen etc screened	6mm toughened glass. Fixed and openable portion screened with steel or bronze mesh	Protected by bushfire shutter or FRL of -/30/- and openable portion screened with steel or bronze mesh or be tested for bushfire resistance to AS1530.8.2
EXTERNAL DOORS	No special construction requirements	As for BAL-19 except that door framing can be naturally fire resistant (high density) timber	Screened with steel, bronze or aluminium mesh or glazed with 5mm toughened glass, non-combustible or 35mm solid timber for 400mm above threshold, metal or bushfire resistant timber framed for 400mm above ground, decking etc. tight-fitting with weather strips at base	Screened with steel, bronze or aluminium mesh or non-combustible, or 35mm solid timber for 400mm above threshold. Metal or bushfire resistant timber framed tight-fitting with weather strips at base	Non-combustible or 35mm solid timber, screened with steel or bronze mesh, metal framed, tight-fitting with weather strips at base	Protected by bushfire shutter or tight-fitting with weather strips at base and a FRL of -/30/-
ROOFS	No special construction requirements	As for BAL-19 (including roof to be fully sarked)	Non-combustible covering, roof/wall junctions sealed. Openings fitted with non-combustible ember guards. Roof to be fully sarked.	Non-combustible covering. Roof/wall junction sealed. Openings fitted with non-combustible ember guards. Roof to be fully sarked	Non-combustible covering. Roof/wall junction sealed. Openings fitted with non-combustible ember guards. Roof to be fully sarked and no roof mounted evaporative coolers	Roof with FRL of 30/30/30 or tested for bushfire resistance to AS1530.8.2. Roof/wall junction sealed. Openings fitted with non-combustible ember guards. No roof mounted evaporative coolers
VERANDAS DECKS ETC.	No special construction requirements	As for BAL-19	Enclosed sub floor space—no special requirements for materials except within 400mm of ground. No special requirements for supports or framing. Decking to be non-combustible or bushfire resistant within 300mm horizontally and 400mm vertically from a glazed element	Enclosed sub floor space or non-combustible or bushfire resistant timber supports. Decking to be non-combustible or bushfire resistant timbers	Enclosed sub-floor space or non-combustible supports. Decking to be non-combustible	Enclosed sub floor space or non-combustible supports. Decking to have no gaps and be non-combustible

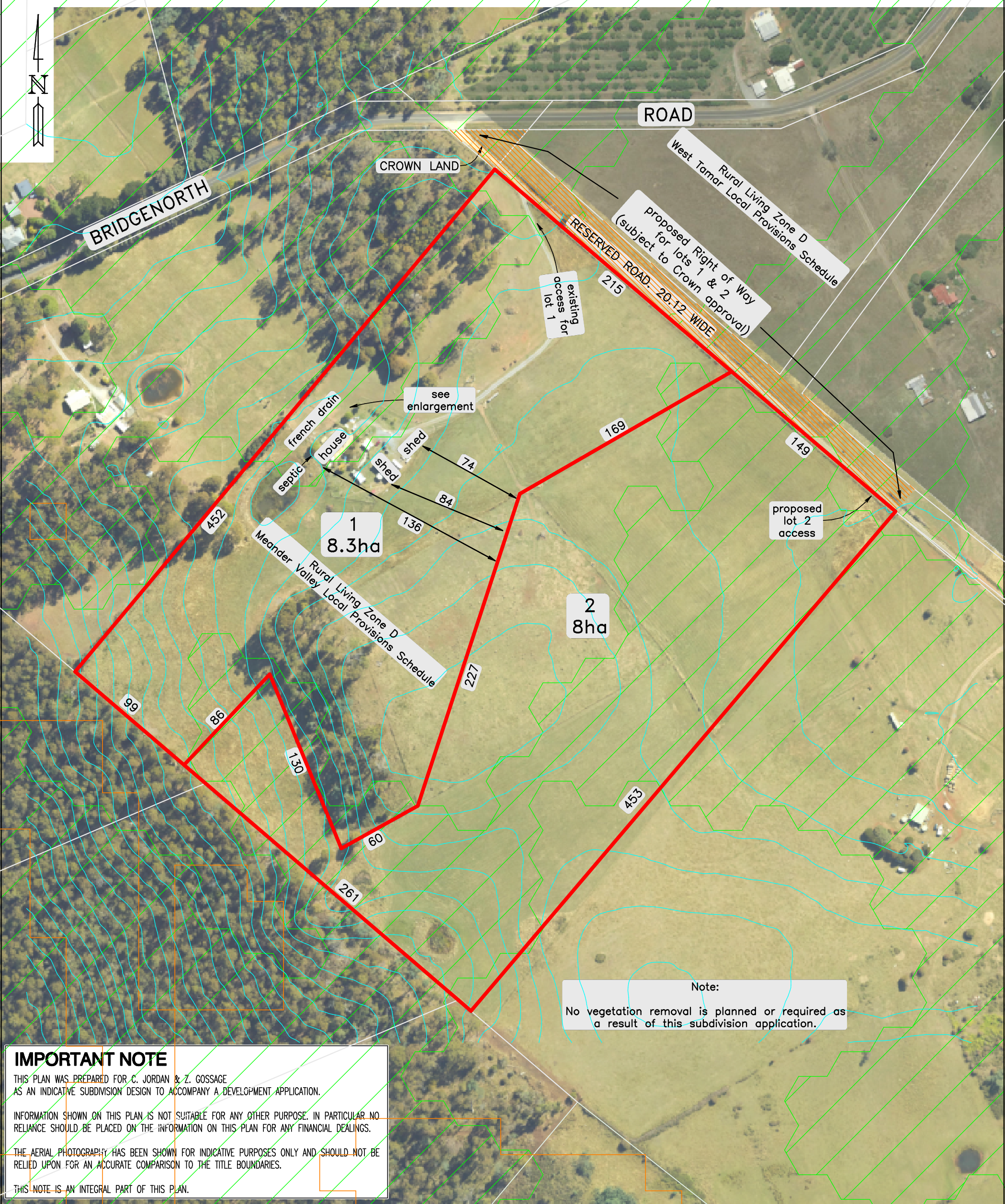
Please note: The information in the table is a summary of the construction requirements in the AS3959-2018 standard and is not intended as a design or construction guide. You should consult the standard for the full technical details.

Attachment 3 – Proposal Plan

Cohen & Associates P/L

 <div>COHEN & ASSOCIATES P/L LAND & AERIAL SURVEYORS 103 CAMERON STREET PO BOX 990, LAUNCESTON, TAS, 7250 (03) 6331 4633 admin@surveyingtas.com.au www.surveyingtas.com.au</div>	<div>PLAN OF SUBDIVISION SHEET 1 OF 1</div>	REF: 36-58 (8585)
Municipality: Meander Valley & West Tamar	Owners:	
Site Address: 1181 BRIDGENORTH RD ROSEVALE	Date:	C.L. Jordan & Z. Gossage 04-09-2023 Revision: 3
Title Refs: 18738-2	Scale:	1 : 2500 @ A3

DISCLAIMER: This is a preliminary plan prepared without field survey and forms part of an application to subdivide the land described and is not to be used for any other purpose. Contours and levels may be transcribed from other sources and their accuracy has not been verified. These should not be used. The dimensions, area, location of improvements and number of lots are approximate and may vary as a result of decisions by the Municipality, Land Use Planning Review Panel, engineering or other advice. Easements may not be shown as these are to be determined at the time of survey. The plan is not to be copied unless this note is included.



Note:
No vegetation removal is planned or required as a result of this subdivision application.

IMPORTANT NOTE

THIS PLAN WAS PREPARED FOR C. JORDAN & Z. GOSSAGE AS AN INDICATIVE SUBDIVISION DESIGN TO ACCOMPANY A DEVELOPMENT APPLICATION.

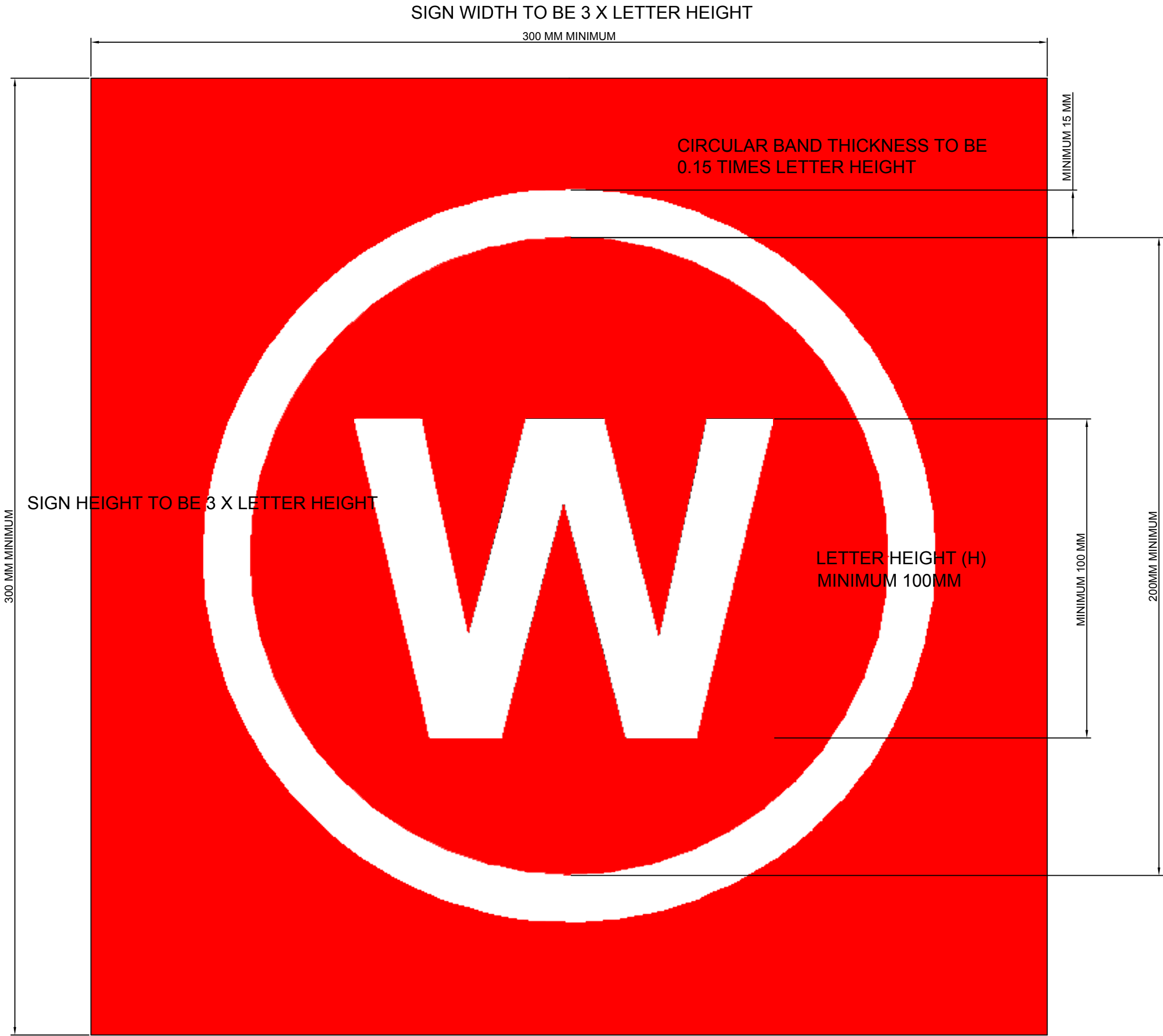
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THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

Attachment 4 – Tasmania Fire Service Water Supply Signage Guideline

10,000 LITRE DOMESTIC FIREFIGHTING STATIC WATER INDICATOR SIGN



LETTERING TO BE UPPERCASE AND NOT LESS THAN 100MM IN HEIGHT

INSIDE DIAMETER OF CIRCULAR BAND TO BE 2 TIMES LETTER HEIGHT

SIGN SIZE DIMENSIONS
3 X LETTER HEIGHT HIGH AND 3 X LETTER HEIGHT WIDE.

THICKNESS OF CIRCULAR BAND TO BE 0.15 TIMES LETTER HEIGHT

TEXT STYLE TO BE IN ACCORDANCE WITH AS1744.2015, SERIES F

SIGN TO BE IN FADE RESISTING MATERIAL WITH WHITE REFLECTIVE LETTERING AND CIRCLE ON A RED BACKGROUND

RED TO BE R-13 SIGNAL RED COLOUR CODE 1795U

WHITE SUBSTRATE COLOUR TO BE PMS 186C

SIGN TO BE CONSTRUCTED FROM UV STABILIZED, NON FLAMMABLE AND NON HEAT DEFORMING MATERIAL

SIGN TO BE PERMANENTLY FIXED

CIRCLE INNER DIAMETER
2 X LETTER HEIGHT



Tasmania Fire Service

References

- (a) Tasmanian Planning Commission 2021, *Tasmanian Planning Scheme – Meander Valley (Effective 19 April 2021)*, C13.0 Bushfire-Prone Areas Code, Tasmania.
- (b) Tasmanian Planning Commission 2021, *Tasmanian Planning Scheme – West Tamar (Effective 9 February 2022)*, C13.0 Bushfire-Prone Areas Code, Tasmania.
- (c) Australian Standards, AS 3959-2018, *Construction of buildings in bushfire-prone areas*, Standards Australia, Sydney NSW.
- (d) Resource Management & Conservation Division of the Department Primary Industry & Water September 2006, TASVEG, *Tasmanian Vegetation Map*, Tasmania.
- (e) Tasmanian Government, Land Information System Tasmania, www.thelist.tas.gov.au

